



ZONING BOARD OF APPEALS MEETING

Tuesday, August 18, 2026 – 7:00 p.m.

City Council Chambers

23600 Liberty Street

Farmington, MI 48335

AGENDA

- 1. Roll Call**
 - A. Define Participating Members**
- 2. Minutes of Previous Meeting of December 11, 2024**
- 3. Minutes of Previous Planning Commission Meetings are available for review on our website www.farmgov.com**
- 4. Election of Officers**
 - A. Chairperson**
 - B. Vice Chairperson**
 - C. Secretary**
- 5. APPEAL OF:**

Benedetto Tiseo, Applicant
19815 Farmington Road
Livonia, MI 48152

Thibault Enterprises, Owner
21021 Kelly Road
Eastpointe, MI 48021

33224 Grand River Avenue, Location
Farmington, MI 48336

 - 1. Owner/applicant requests: A variance to section 35.104.A.4 Building Height, the existing grade of the property which slopes downward from west to east has more than 4 feet of fall. The proposed, allowable four (4) story structure will exceed the allowable height of 45 feet by 3.85 feet on the east end of the building. The overall average height increase is 1'11" and as proposed is not in compliance with the City of Farmington Zoning ordinance requiring the variance.**
 - 2. Further, the building has a parapet wall that screens roof top equipment. Section 35-42 limits the parapet wall height to Six (6) feet. The requested – proposed elevation has the parapet wall at a height of seven (7) feet, for a portion of the front (south) and rear (north) elevation, thus, they are requesting a One (1) foot Variance to this zoning ordinance section.**
- 6. Public comment**
- 7. Adjournment**

BOARD OF ZONING APPEALS MINUTES

A regular meeting of the Farmington Board of Zoning Appeals was held on Wednesday, December 11, 2024 in Council Chambers, 23600 Liberty, Farmington, Michigan. Notice of the meeting was posted in compliance with Public Act 1976.

Acting Chairperson Schiffman called the meeting to order at 7:10 p.m.

ROLL CALL

- PRESENT: Aren, Crutcher, and Schiffman
- OTHERS PRESENT: Building Official Jeff Bowdell

Minutes of Previous Meeting of August 7, 2024

MOTION by Shiffman, supported by Arens to approve the minutes of August 7, 2024. Motion carried, all ayes.

Minutes of Previous Planning Commission Meetings were received and filed and available for review at www.farmgov.com

Election of Officers postponed until a full complement of Board are present.

APPEAL OF: **Norman W Boegner**
Paula K Boegner
22755 Brookdale St
Farmington, MI 48336

Introduction: Schiffman introduced this item and turned it over to staff. He then asked the Applicant if they wanted to proceed with their variance request as there were only three members of the Board present or did he want to wait for a full complement of the Board.

The Boegners stated they'd like to move forward with the variance request.

1. The Boegners are requesting permission to construct a new 28' x 32' detached accessory structure (garage). The City of Farmington Zoning ordinance allows for 15' tall detached structures pursuant to Section 35-43 this proposed structure would meet the defined words provided in Article 21 under "Building Height" however the structure as designed has a dormer that also has ends walls that when utilized as part of the overall calculation raise the mean height of the structure to 17'10" .

2. The property owner requests an interpretation of the building officials to include the dormer walls in the height calculation. .

Case Presentation:

Property owner Normal Boegner explained his variance request and gave reason as to why it should be approved as he has a "larger than normal lot and justice being served as several other structures of similar size in his immediate neighborhood were previously granted permits without variances."

Joe Novitsky, Architect, explained that he believed the variance request was unnecessary as the drawings were in compliance with the ordinance.

Discussion was held on the Building Official's interpretation of the ordinance. It was agreed that the interpretation was keeping with the spirit and intent of the ordinance.

The floor was opened up for comments from the Commission.

Member Crutcher posed a question to the applicant.

Member Arens spoke about the neighborhood in general.

The floor was opened for public comment.

Philip Inland, 22811 Brookdale, spoke in favor of the variance.

Tom Vandever, 22655 Brookdale, spoke in favor of the variance.

A letter from an anonymous neighbor within the 300-foot radius was read in favor of the variance.

MOTION by Crutcher, supported by Schiffman, to approve the variance request citing that only 14% of the roof was over the ordinance requirement and the design did attempt to comply that substantial justice would be served and that it would not be a detriment to the neighborhood.

Motion carried, all ayes.

Revisit tabled variance request by Kenneth Swartz 33600 Shiawassee – June 12, 2024 ZBA meeting.

No action required as applicant removed their request.

Public Comment:

None heard.

Adjournment:

MOTION by Crutcher, supported by Arens, to adjourn the meeting.
Motion carried, all ayes.

The meeting was adjourned at 7:50 p.m.

Secretary



CITY OF FARMINGTON

For office use only

Date Filed: _____

Fee Paid: _____

Board of Zoning Appeals Application

1. Petitioner Name Benedetto Tiseo

2. Location of Property

Address 33224 Grand River Ave.

Cross Streets Warner St.

3. Identification

Applicant Benedetto Tiseo

Address 19815 Farmington Rd

City/State/Zip Livonia, MI 48152

Phone 248-888-1300 Fax N/A

Interest in the Property (e.g. fee simple, land option, etc.)

9 Property Owner 9 Other (Specify) Offer to Purchase

Property Owner Thibault Enterprises

Address 21021 Kelly Rd

City/State/Zip Eastpointe, MI 48021-3127

Phone 313.304.5156 Fax _____

Preparer of Site Plan Tiseo Architects, Inc.

Address 19815 Farmington Rd

City/State/Zip Livonia, MI 48152

Phone 248-888-1300 Fax N/A

4. Property Information

Zoning District CBD Area 30,000 Sq. Ft.

Width 150' Depth 200'

Current Use Retail Store

5. Appeal Request

Indicate grounds for appeal & complete additional section, if specified:

	Specific appeal request type (pick one)	Consult Zoning Ordinance Section	Complete Additional Application Section
☐	APPEALS from any order, requirement, decision or determination made by the Building Official, any administrative official or administrative body where it is alleged that there was an ERROR OR MISINTERPRETATION.	18.04 A.	Section 6.
☐	MAP INTERPRETATIONS	18.04.B.	Section 6.
☐	TEXT INTERPRETATIONS	18.04.C.	Section 6.
☐	NON-CONFORMING SITUATIONS	18.04.D. & Article 17	
☒	HEIGHT MODIFICATIONS	18.04 E.	
☐	VARIANCE from the strict application of the provisions of the Zoning Ordinance; specify type:	18.05 A.-D.	
	☐ Dimensional (Area) Variance ☐ Use Variance ☐ Accessory Reception Antenna Facilities ☐ Cellular Towers and Antenna ☐ Fences	18.05 D.1. 18.05 D.2. 18.05 D.3. 18.05 D.4. 18.05 D.5.	Section 7. Section 8.

Describe your appeal, in general:

The development of this property requires that the building be adjacent to the Grand River Ave R.O.W. At the south property line, there is a 3.05-foot grade difference from the SE corner to the SW corner. The same is true at the east property line where there is a grade difference of 3.85 feet. Given these existing physical restrictions on our property, any proposed 4-story building on this site will need to be raised to accommodate the existing off-site conditions. With a 4-story building there isn't the ability to lower the floor-to-floor height and comply with standard ceiling heights for the Condo units. If the existing grades did not vary as much as they do, no variance for the building height would be required. Due to the height needed, and the scale of the building and materials, the parapet height is designed so that it is in proportion with the rest of the building which results in the need to request a 1-foot variance for this element.

Upon completion of this portion, check above for an additional section to complete, then go to the last page (**Section 9.**) to complete the application.

6. Section 6. Specific criteria for APPEALS and INTERPRETATIONS

The Board of Zoning Appeals is bound by the same rules, procedures, and standards of the Ordinance. The Board of Zoning Appeals should uphold the original decision unless the record clearly shows that the original decision body or official was one of the following:

- a. Arbitrary and capricious; or
- b. Filled to ensure consistency with ordinance standards; or
- c. Made an error, such as relying on false or inaccurate information, or
- d. Constituted an abuse of discretion; or
- e. Was based upon erroneous interpretation of the zoning ordinance or zoning law.

Describe how your appeal meets one of these criteria:

Filled to ensure consistency with the ordinance standards as the Planning Commission required petitioner to obtain ZBA Waivers for the two heights (Building Height and Parapet Height).

7. **Section 7. Criteria for a DIMENSIONAL (Area) Variance**

Please respond to the following statements. The application must meet all criteria in order to obtain a variance.

- a. **Practical Difficulties.** How would the strict compliance with the area, setbacks, frontage, height, bulk, density, or other dimensional and non-use matters create practical difficulties, unreasonably prevent the use of the property for a permitted purpose, or render the conformity unnecessarily burdensome? Note that the showing of mere inconvenience is insufficient to justify a variance.

See section 5 for description.

- b. **Substantial Justice**

How would a variance do substantial justice to the applicant as well as to other property owners in the district?

The proposed development is following the cities desired and promoted use of this property as a 4-Story Mixed-Use Building.

Would a lesser variance than the requested give substantial relief to the applicant and or be more consistent with justice to other properties? If not, please explain why?

A lesser variance for the building height wouldn't be an option since there isn't the ability to lower the floor-to-floor height and comply with the standard ceiling heights for the condo units. Due to the height needed, and the scale of the building and materials, the parapet height is designed so that it is in proportion with the rest of the building. To lower it would make the top look off-balance from the rest of the design.

- c. **Public Safety and Welfare.** Will the granting of the variance materially impair the intent and purpose of this ordinance or compromise the public safety and welfare?

No. The only reason these variances are required is due to the drastic existing grade differences along the east and south property lines.

- d. **Not Self-Created.** Have the special conditions and circumstances relating to the variance request resulted from the actions of the applicant?

No. The only reason these variances are required is due to the drastic existing grade differences at the east and south property lines.

- e. **No Safety Hazard or Nuisance.** Will the granting of variance or appeal increase the hazard of fire or otherwise endanger public safety or create a public nuisance?

No.

- f. **Relationship to Adjacent Land Uses.** Will the development permitted upon granting the variance relate harmoniously in a physical and economic sense with adjacent land uses while not altering the essential character of the neighborhood?

See 7b above. Also, the required variances are minimal and will allow us to create a more harmonious design while meeting the needs of the retail and condo units.

- g. **Minimum Variance Necessary.** Is the variance requested the minimum amount necessary to permit reasonable use of the land? Explain, provide specific figures if necessary.

Yes. In order to make the floor-to-floor heights work for the condo units and provide usable retail spaces, the height proposed is the minimum that we can have to achieve these objectives. The parapet height is the minimum that we feel it can be to achieve a harmonious balance between materials and building design so that it looks proportionate.

8. **Section 8. Criteria for a USE Variance**

Please respond to the following criteria. The application must meet all of the statements in order to obtain the use variance.

- a. **Unreasonable Current Zoning Designation.** Describe how the property cannot be reasonably used for any purpose permitted in the zoning district without the variance. There must be financial proof of inability to realize any return.

Given the purchase price of the property, with its downtown location, the building needs to be developed as a 4-Story Mixed-Use Building to provide a reasonable return on the investment.

- b. **Unique Circumstances.** Describe the unique circumstances peculiar to the property that exist which are not generally applicable in the area or to other properties in the same zoning district. Please describe features that make it impossible to earn a reasonable return without some adjustment.

Given the existing grade differences, compliance with the ordinance would be difficult.

- c. **Not Self-Created.** Have the special conditions and circumstances relating to the variance request resulted from the actions of the applicant or the applicant's predecessors or are they self-created?

No.

- d. **Capacity of Roads, Infrastructure and Public Services.** Will the capacity and operations of public streets and other facilities be compromised?

No.

- e. **Character of Neighborhood.** Will the variance, if granted, alter the essential character of the area? Explain.

No. This development will be a benefit to the CBD.

- f. **Minimum Variance Necessary.** Is the variance requested the minimum amount necessary to permit reasonable use of the land? Explain, provide specific figures if necessary.

See item 7g above.

9. Section 9. Completing the BZA Application

In order to start the review process the applicant must submit a complete application. The following checklist includes all documents required for the Zoning official to declare the application complete and begin the review process:



A. Application, Fees and Copies. Complete the preceding application form, as directed, and sign and date the application in the blanks provided below. Deliver this form, the filing fee, 8 sets of drawings or prints, and one each of any letters, maps, photographs or supplementary information to the City of Farmington Building Department. The City will require 14 days to process the completed application.



B. A completed Elevation Plan. For any applicant requesting a variance when a structure, fence, sign, remodeling, addition and/or any construction will be above grade, the following information must be included on plans drawn to a scale of at least 1/4" to 1" on a sheet or sheets that are at least 24" x 18":



The elevations of all proposed new structures including all portions above grade level



The elevations for the entire structure of any building to be added to or remodeled including all portions above grade level



All doors, windows, roof lines, outdoor mechanical equipment, chimneys, porches, overhangs, signs, fences and other structural or permanent components of the building(s)

A copy of the complete legal description of the property and proof of property ownership should accompany this application.

I, BENEDETTO TISEO (applicant), do hereby swear that the above statements are true.

B. Tiseo 1/5/00

Signature of Applicant

Date

Charles Thibault 6/7/26

Signature of Property Owner

Date

I, CHARLES THIBAUT (property owner), hereby give permission for City of Farmington officials, staff, and consultants to go on the project property for purposes of verifying information provided on the submitted application.

Zoning Board Appeal or Interpretation:

____ Applicable
____ Not Applicable

Approved/Denied: _____

Date: _____

By/2nd: _____

Conditions of Approval: _____

The Farmington
Grand River Ave
Farmington, MI
25029



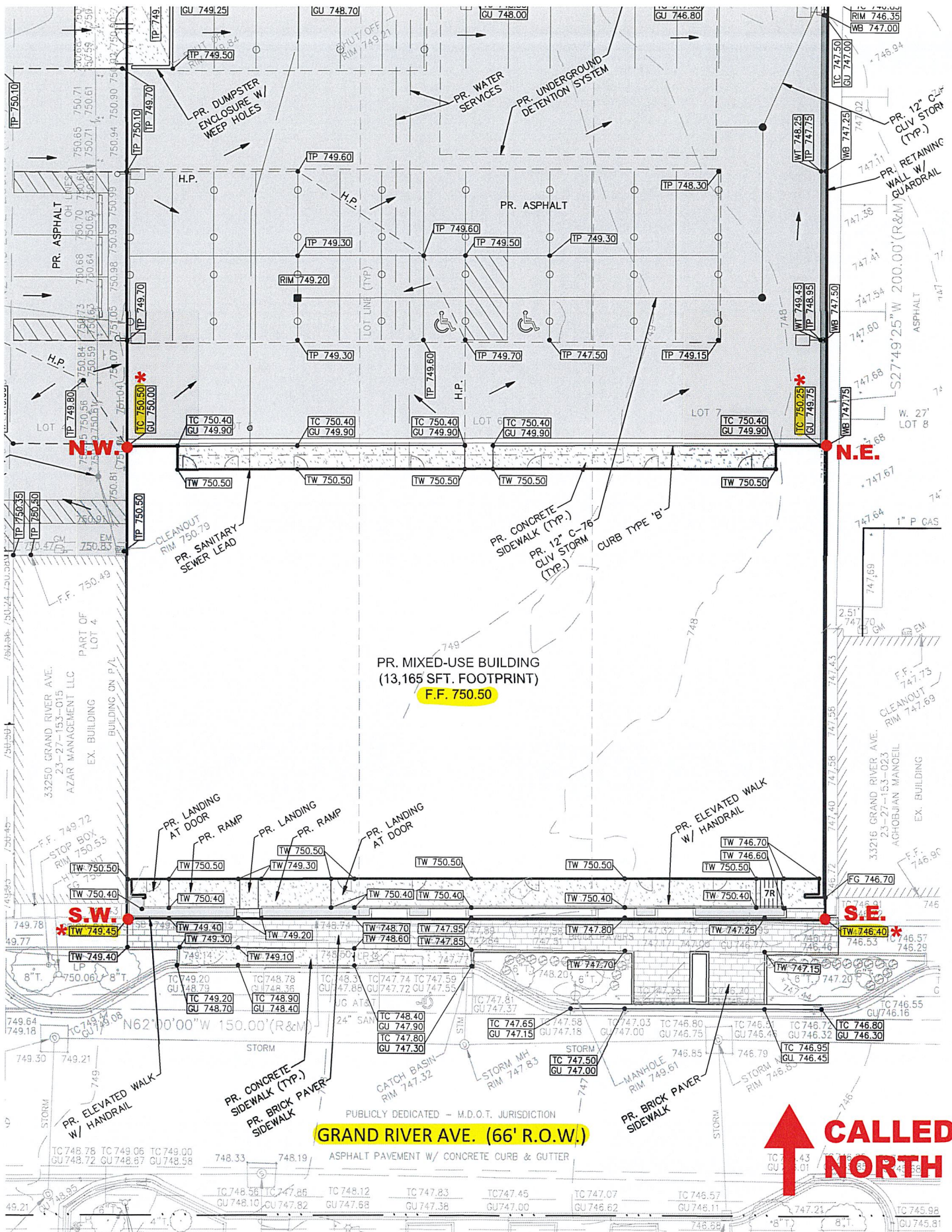
Roof Height Worksheet

Sec. 35-104.A.4: Building Height Requirement = 45 Feet Maximum

Wall	Wall Length Ft	Grade at Property Line Corner		Average Grade Elevation	First Floor Elevation	Average Grade to Finish Floor (Ft)	First Floor To Roof Deck (Ft)	Average Feet Grade to Roof Deck
South	149.33	S.W.	S.E.					
%	30.42%	749.45	746.40	747.925	750.50	2.58	44.33	46.91
	Difference	3.05						46'-11"
							Difference over 45'-0"	1'-11"
West	96.12	S.W.	N.W.					
%	19.58%	749.45	750.50	749.975	750.50	0.52	44.33	44.86
	Difference	1.05						44'-10 ³ / ₈ "
							Difference <u>under</u> 45'-0"	0'-1 ⁵ / ₈ "
North	149.33	N.W.	N.E.					
%	30.42%	750.50	750.25	750.375	750.50	0.13	44.33	44.46
	Difference	0.25						44'-5 ¹ / ₂ "
							Difference <u>under</u> 45'-0"	0'-6 ¹ / ₂ "
East	96.12	N.E.	S.E.					
%	19.58%	750.25	746.40	748.325	750.50	2.17	44.33	46.51
	Difference	3.85						46'-6 ¹ / ₈ "
							Difference over 45'-0"	1'-6"
Total	490.91							
	100.00%							

Sec. 35-42: Parapet walls may be no more than six (6) feet above the height required of the district

CBD Required: 6 - 0"
 Actual: 7'- 0"
 Difference: **1' - 0"**











STREET VIEW RENDERING



PARKING LOT VIEW RENDERING

DRAWING INDEX

ARCHITECTURAL

- P1 COVER SHEET, PROPOSED PLANS, ELEVATIONS
- P2 PROPOSED SITE & CARPORT INFORMATION
- P3 PROPOSED BASEMENT & 1ST FLOOR PLANS
- P4 PROPOSED 2ND FLOOR PLAN
- P5 PROPOSED 3RD FLOOR PLAN
- P6 PROPOSED 4TH FLOOR PLAN
- P7 PROPOSED ROOF PLAN
- P8 PROPOSED 2ND FLOOR FRAMING PLAN
- P9 PROPOSED PLAN DETAILS
- P10 PROPOSED NORTH & SOUTH ELEVATIONS
- P11 PROPOSED EAST & WEST ELEVATIONS
- P12 PROPOSED BUILDING SECTION

CIVIL

- SP0 COVER SHEET
- SP1 BOUNDARY - TOPOGRAPHIC SURVEY
- SP2 DIMENSIONAL SITE PLAN
- SP2.1 TRUCK TURNING PLAN
- SP3 PAVING AND GRADING PLAN
- SP4 CONTECH DETENTION SYSTEM DETAILS

LANDSCAPE

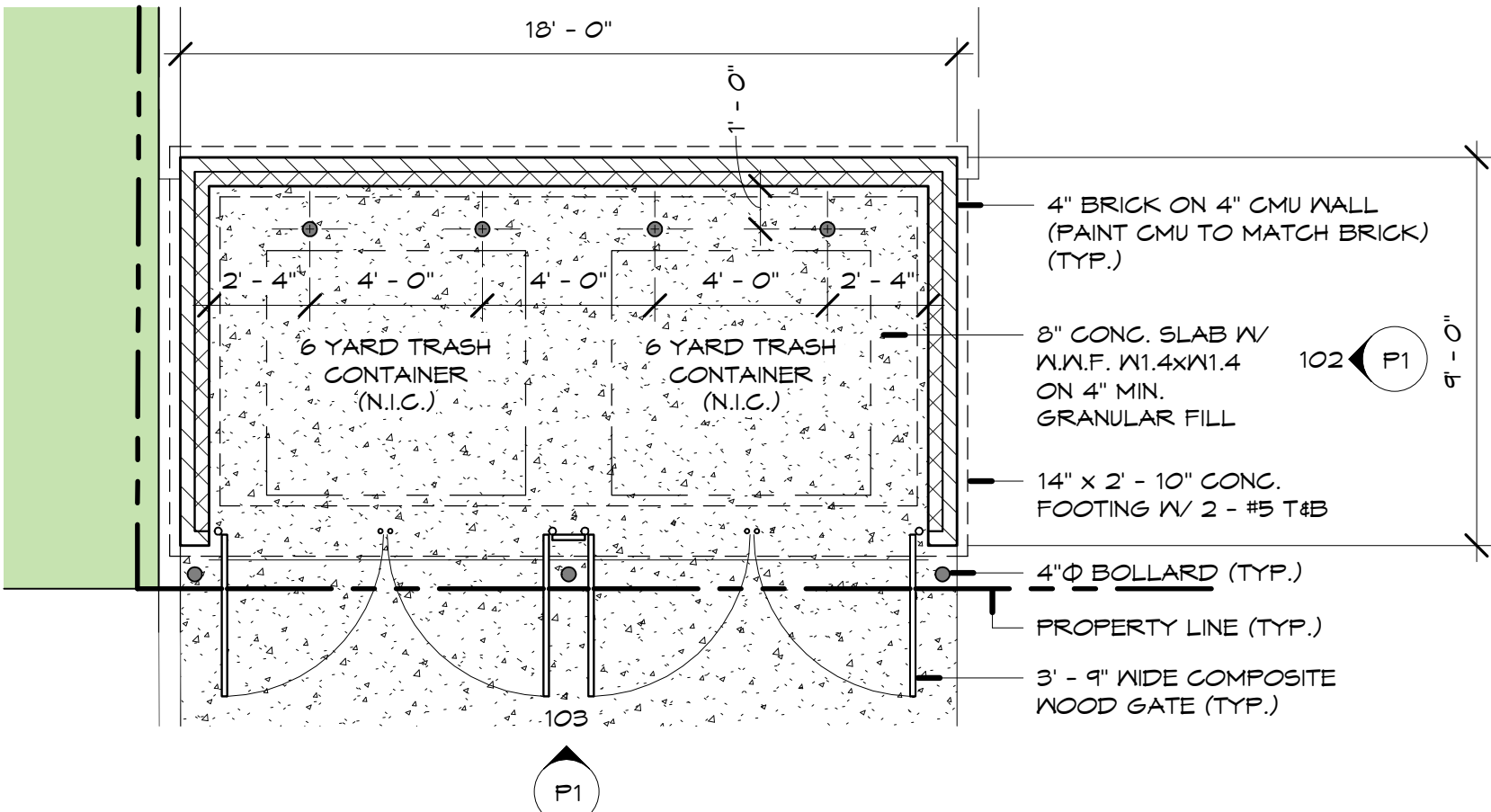
- L1 LANDSCAPE PLAN

PHOTOMETRICS

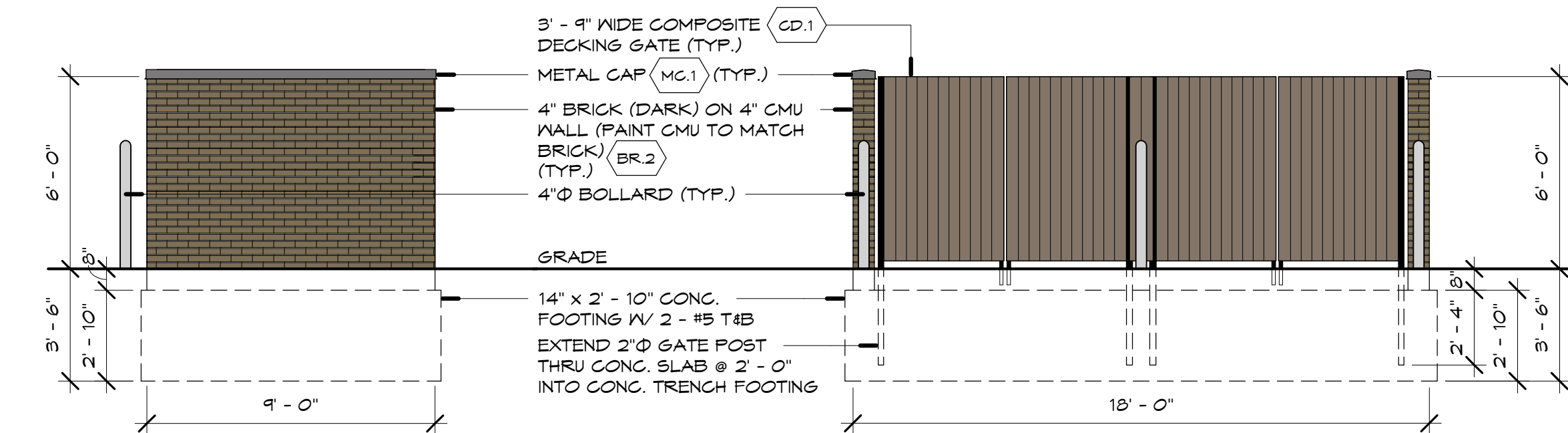
- 1 OF 1 QUICK CALC V3

THE FARMINGTON

33224 Grand River Ave
Farmington, Michigan

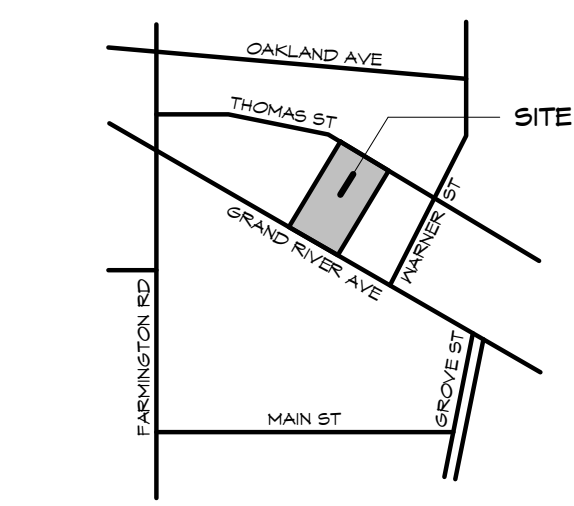


ENLARGED PLAN @ TRASH ENCLOSURE
SCALE: 1/4" = 1'-0"



TRASH ENCLOSURE ELEVATION
SCALE: 1/4" = 1'-0"

- WAIVERS REQUESTED:**
- Roof Height
 - Parapet Height
- WAIVERS APPROVED BY THE PLANNING COMMISSION:**
- Parking Totals
 - Off-Property Trash Access
 - Loading/Unloading Zone
 - Front Setback
 - Exterior Finish Material Percentages



VICINITY MAP
SCALE: No Scale

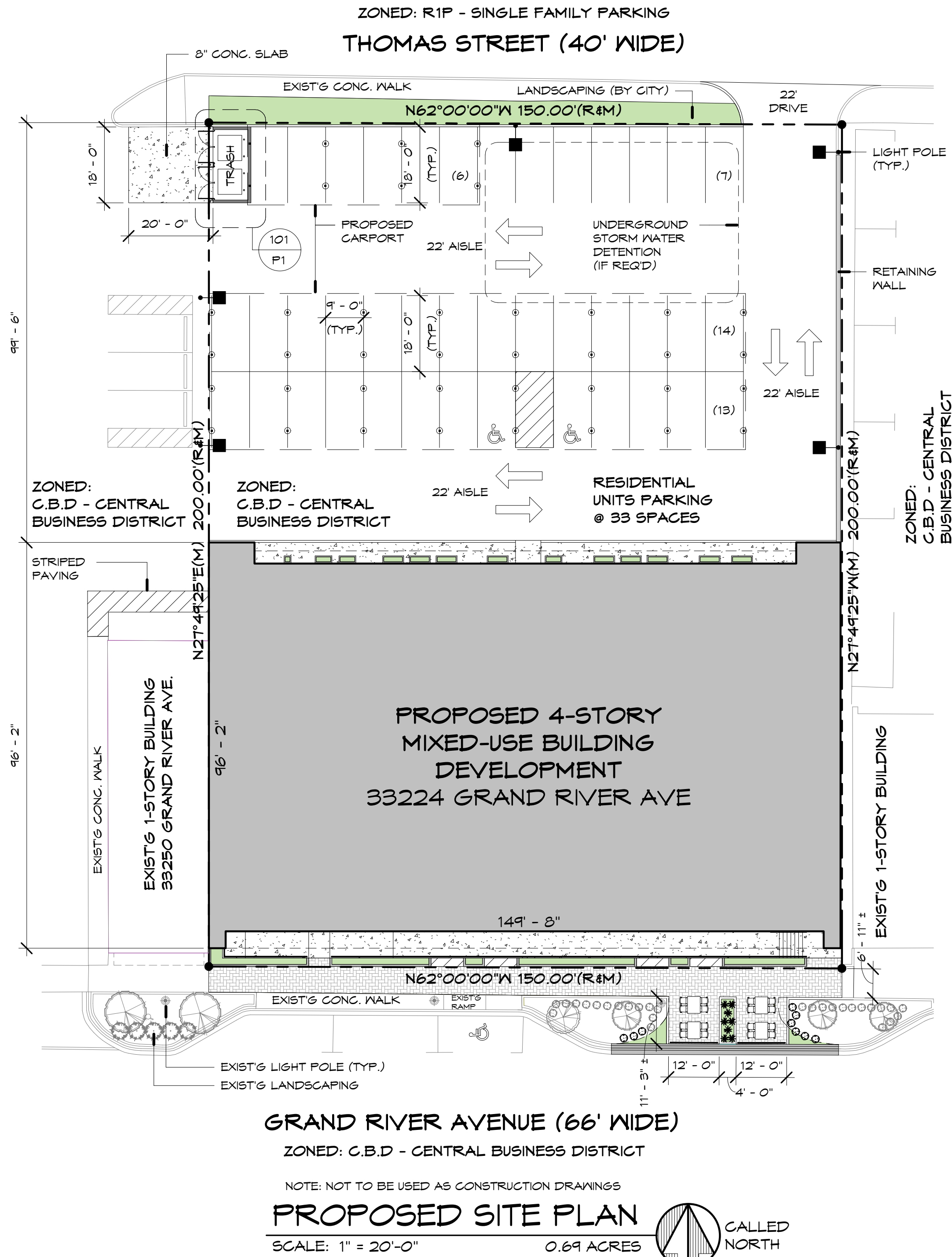
LEGAL DESCRIPTION - PER TITLE COMMITMENT

LAND SITUATED IN THE CITY OF FARMINGTON, COUNTY OF OAKLAND, STATE OF MICHIGAN, AND IS DESCRIBED AS FOLLOWS:
LOT(S) 5, 6 AND 7, BLOCK 2, OF PLAT OF DAVIS ADDITION TO VILLAGE OF FARMINGTON, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 2 OF PLATS, PAGE 36, OAKLAND COUNTY RECORDS.

ADDRESS: 33224 GRAND RIVER AVE., FARMINGTON, MI 48336
TAX ID: 23-27-193-021
CONTAINING: 30,000 SQUARE FEET OR 0.689 ACRES

Site/Building Data			
Existing Site Area:	30,000 Sq Ft±	0.69 Acres	
Proposed Building	59,149 Gross Sq Ft		
Basement	3,684 Gross Sq Ft		
1st Floor:	13,153 Gross Sq Ft		
Retail	12,375 Gross Sq Ft		
Miscellaneous	778 Gross Sq Ft		
2nd Floor:	14,104 Sq Ft	11 Condo Units	
3rd Floor:	14,104 Sq Ft	11 Condo Units	
4th Floor:	14,104 Sq Ft	11 Condo Units	
Zoning Sec. 4.18: CBD - Central Business District			
Uses Permitted:			
Table. 35-102: Retail Businesses under 50,000 sq ft			
Residential Dwellings in upper stories of mixed-uses buildings			

Sec. 35-104.A. Area and Bulk Requirements			
Setback:			
Front (Within 3 feet of Front Line):	4'-4"± & 8'-4"±	Proposed	
Side (None Side Line if Fire Wall):	0'-0" & 4"	Proposed	
Rear (None):	99'-6"±	Proposed	
Bldg Height:			
Minimum (24 Ft & 1 Story):	NA		
Maximum (45 Ft & 4 Stories):	46 Ft & 4 Stories	Proposed	
Off-Street Parking:			
Sec. 35-172 Parking:			
Multi-Family (2/Dwellings)	66	Spaces Required	Spaces Provided
	33		
Retail (4/1000 Sq Ft)	50	Spaces Required	Spaces Provided
	7		
	116		
	40		
Loading/Unloading:			
Sec. 35-174:			
Size: 10' x 50'		Spaces Required	Spaces Provided
5,000 to 20,000 Gross Sq Ft: 1 space			
None			



GRAND RIVER AVENUE (66' WIDE)

ZONED: C.B.D - CENTRAL BUSINESS DISTRICT

NOTE: NOT TO BE USED AS CONSTRUCTION DRAWINGS

PROPOSED SITE PLAN

SCALE: 1" = 20'-0"

0.69 ACRES



Drawn by: Kimberly Lapinski
Checked by: Benedetto Tiseo
Seal / Signature

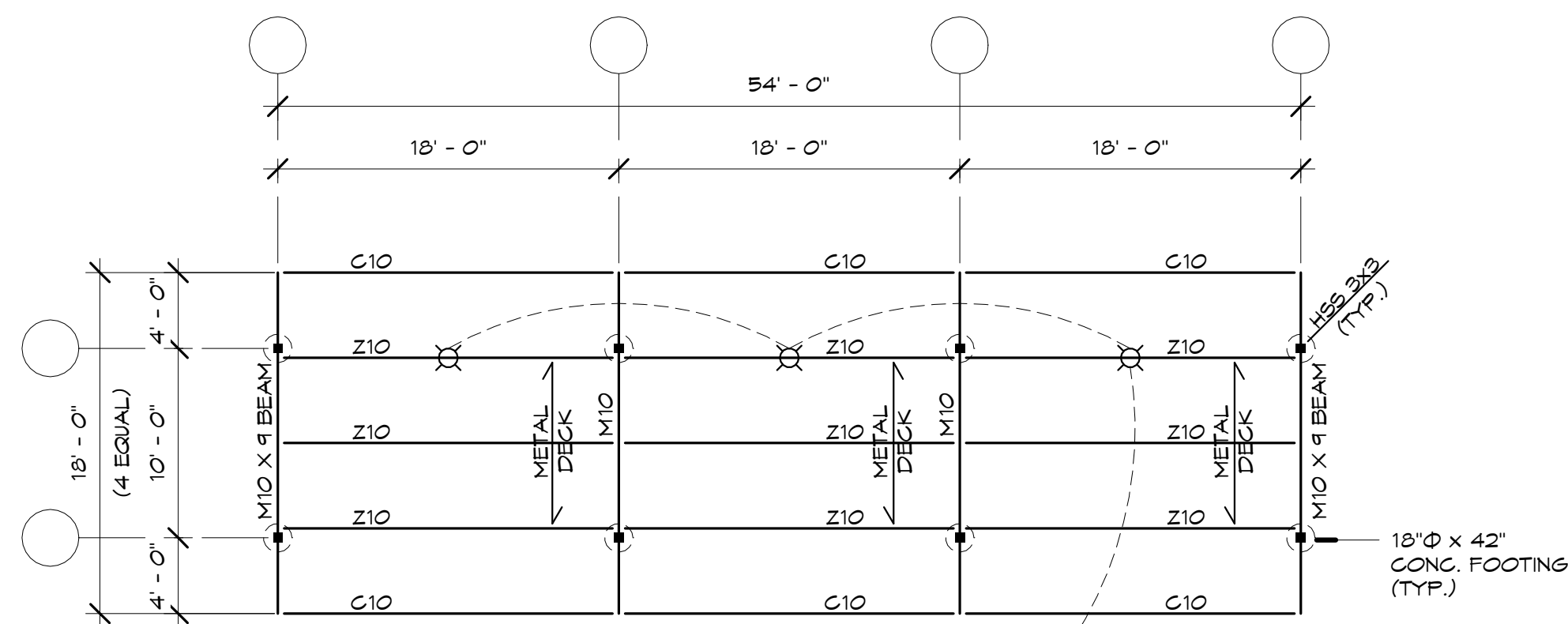


Date	08 JUN 2026
Issued for:	
Date:	
SITE PLAN REVIEW	20 APR 2026
REVISIONS	28 APR 2026
REVISIONS	11 MAY 2026
SITE PLAN APPROVAL	14 MAY 2026
REVISIONS	28 MAY 2026
ZBA	08 JUN 2026

NOT FOR CONSTRUCTION

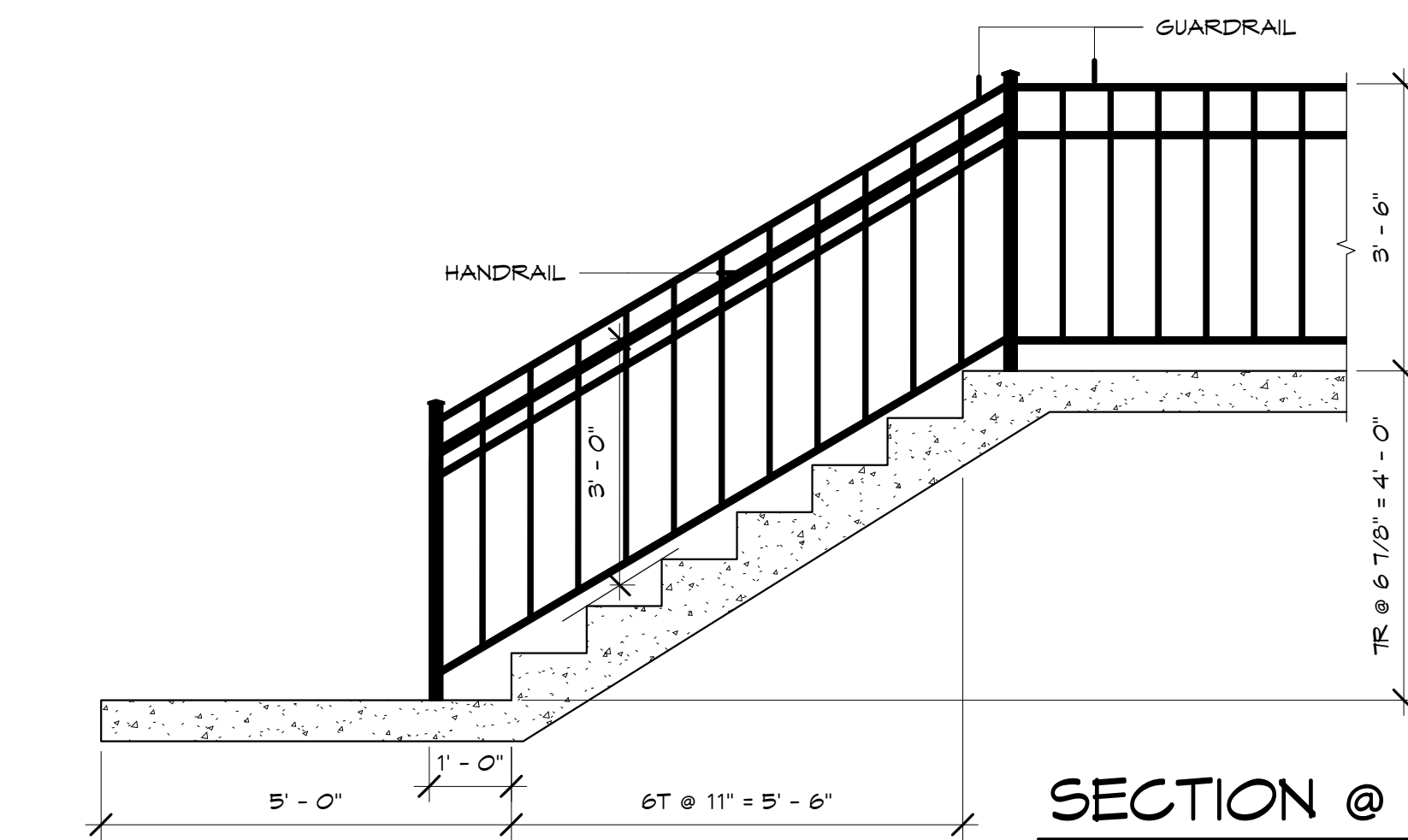
COVER SHEET, PROPOSED PLANS, ELEVATIONS

Project No. 25029
Sheet No. P1
Date Printed:



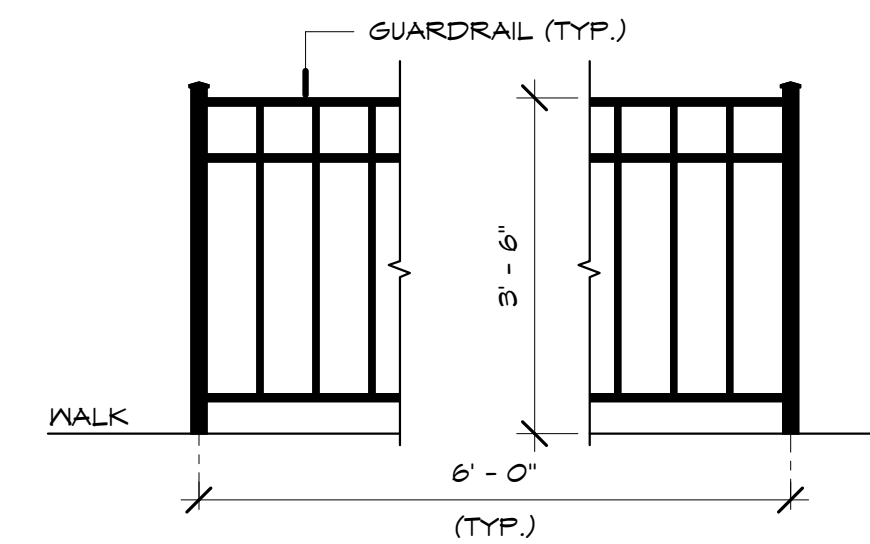
6 CAR CARPORT PLAN

SCALE: 1/8" = 1'-0"



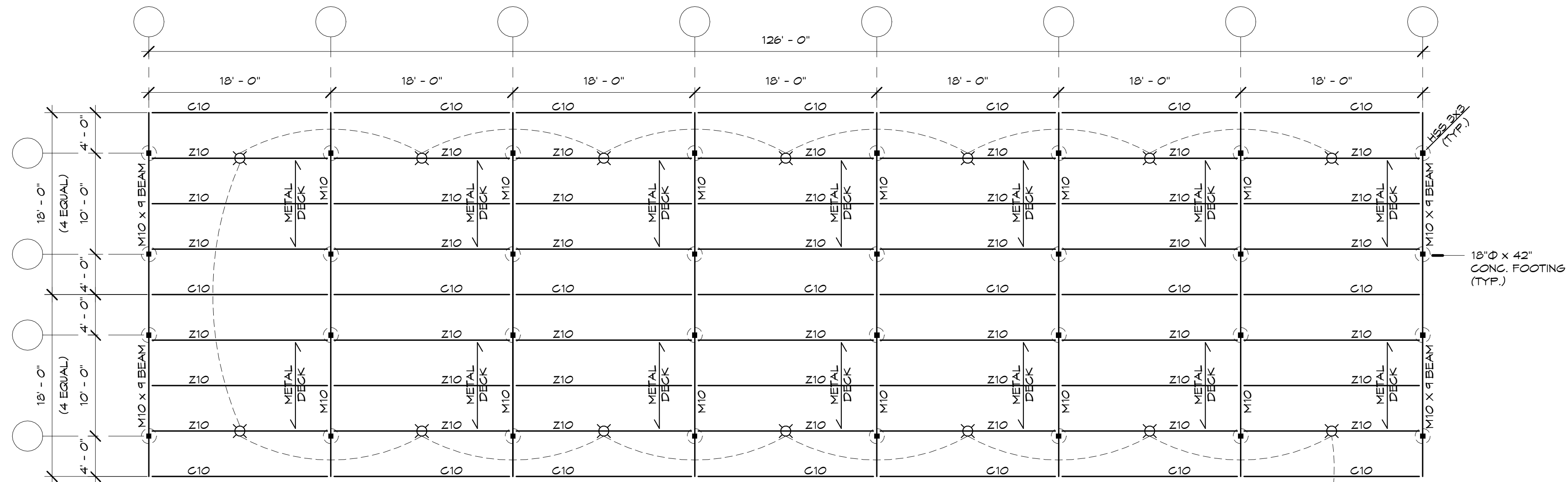
SECTION @ FRONT WALK

SCALE: 1/2" = 1'-0"



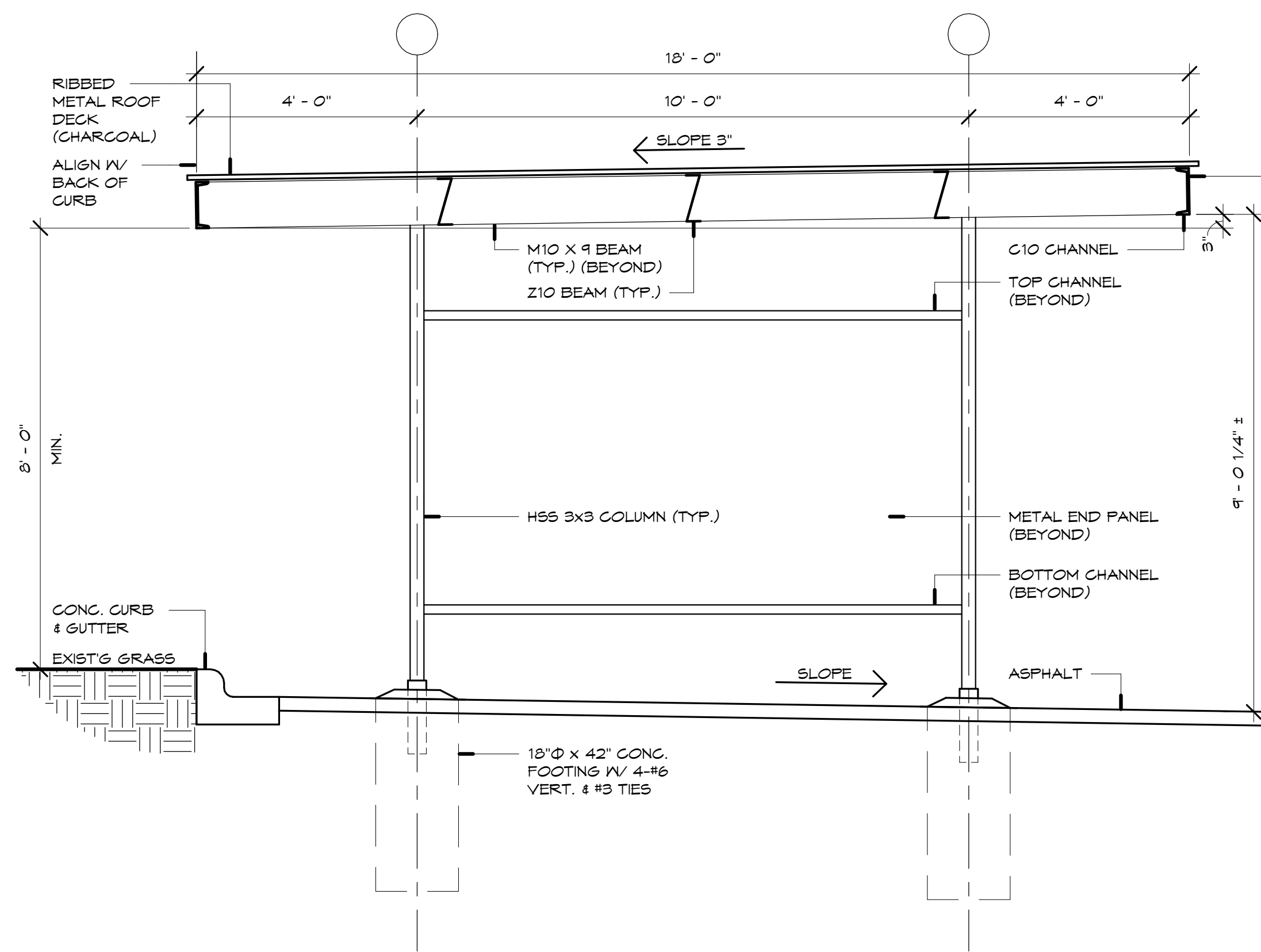
TYPICAL ORNAMENTAL GUARDRAIL ELEVATION

SCALE: 1/2" = 1'-0"



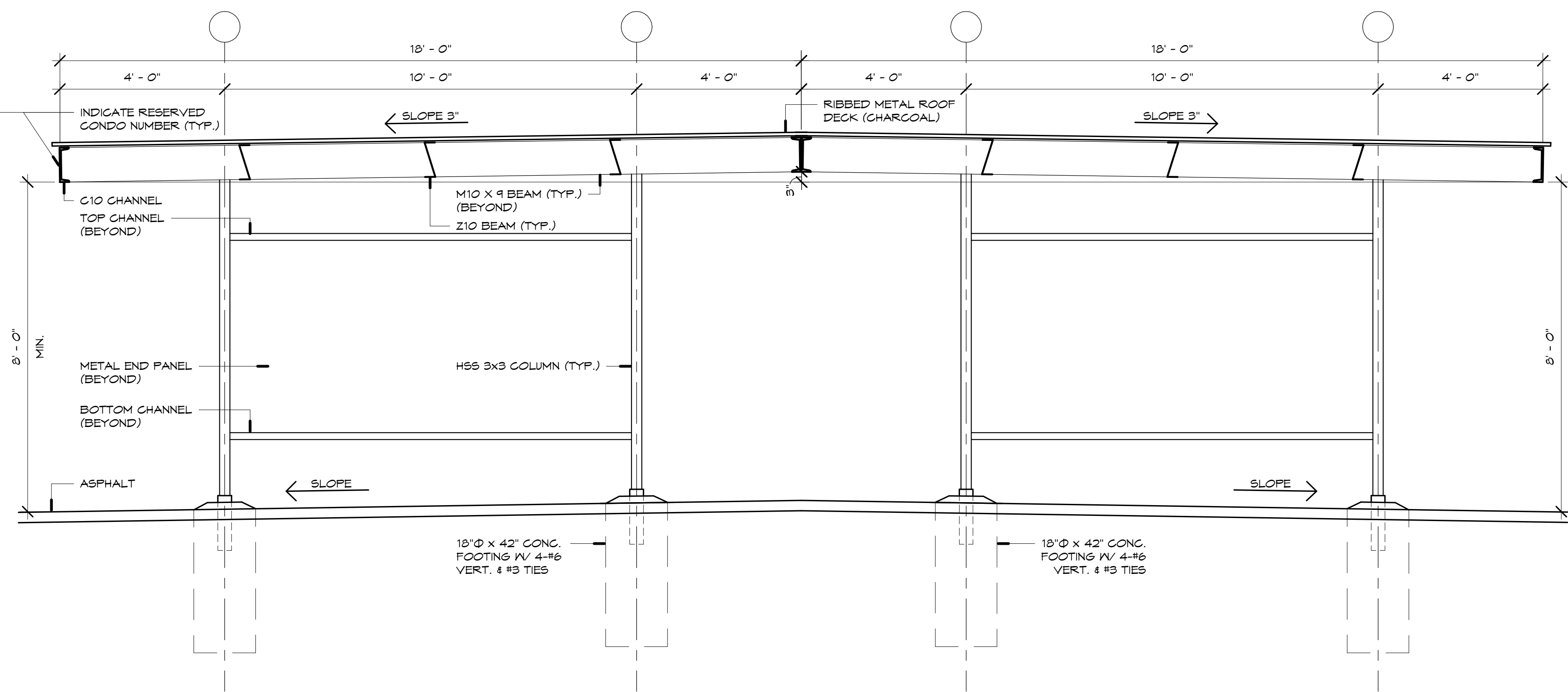
27 CAR CARPORT PLAN

SCALE: 1/8" = 1'-0"



TYPICAL 6 CAR CARPORT SECTION

SCALE: 1/2" = 1'-0"



TYPICAL 27 CAR CARPORT SECTION

SCALE: 1/2" = 1'-0"

THE FARMINGTON

33224 Grand River Ave
Farmington, Michigan

Drawn by: Kimberly Lapinski
Checked by: Benedetto Tiseo

Seal / Signature



Date: 08 JUN 2026

Issued for:	Date:
SITE PLAN REVIEW	20 APR 2026
REVISIONS	11 MAY 2026
SITE PLAN APPROVAL	14 MAY 2026
ZBA	08 JUN 2026

NOT FOR CONSTRUCTION

PROPOSED SITE & CARPORT INFORMATION

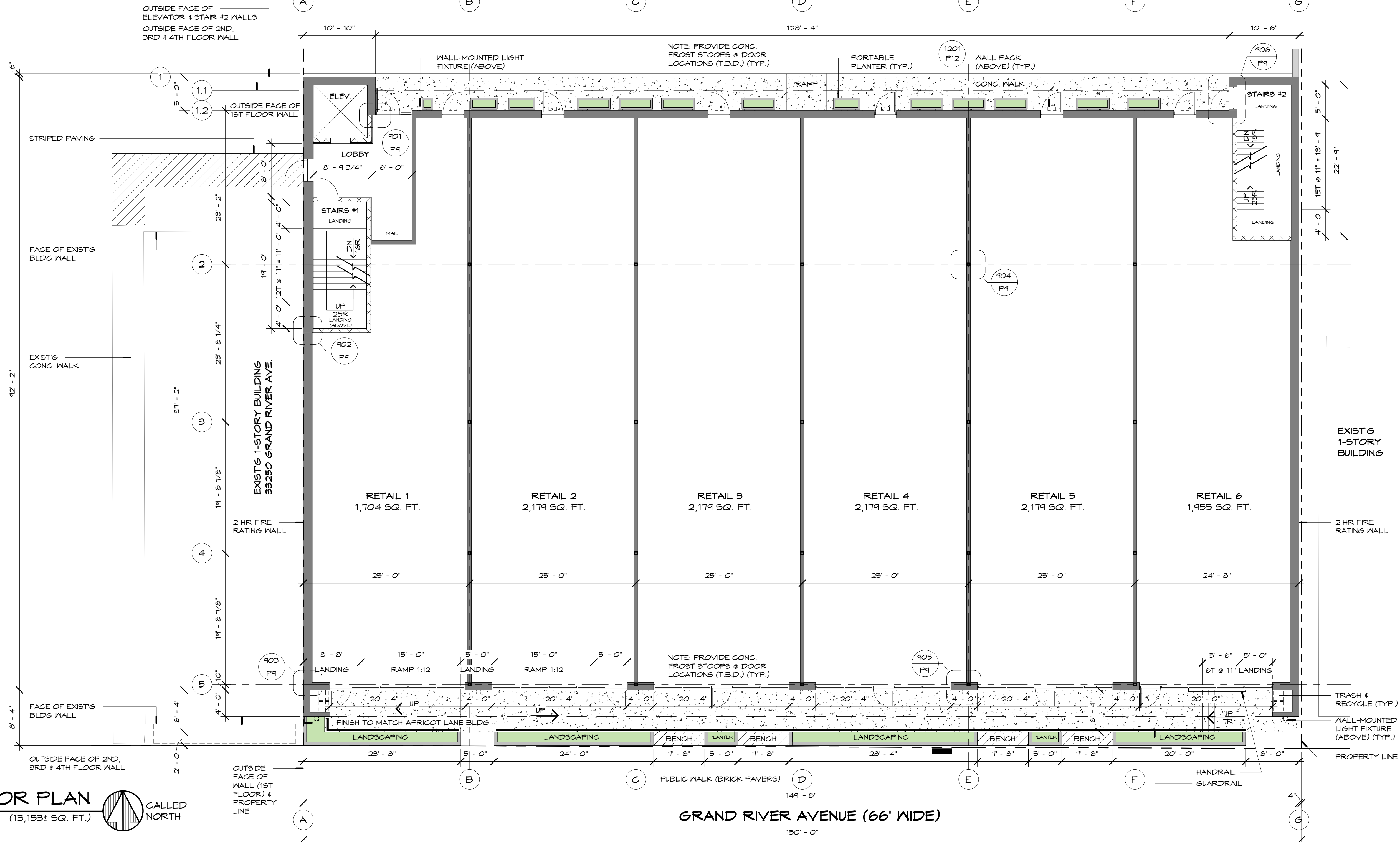
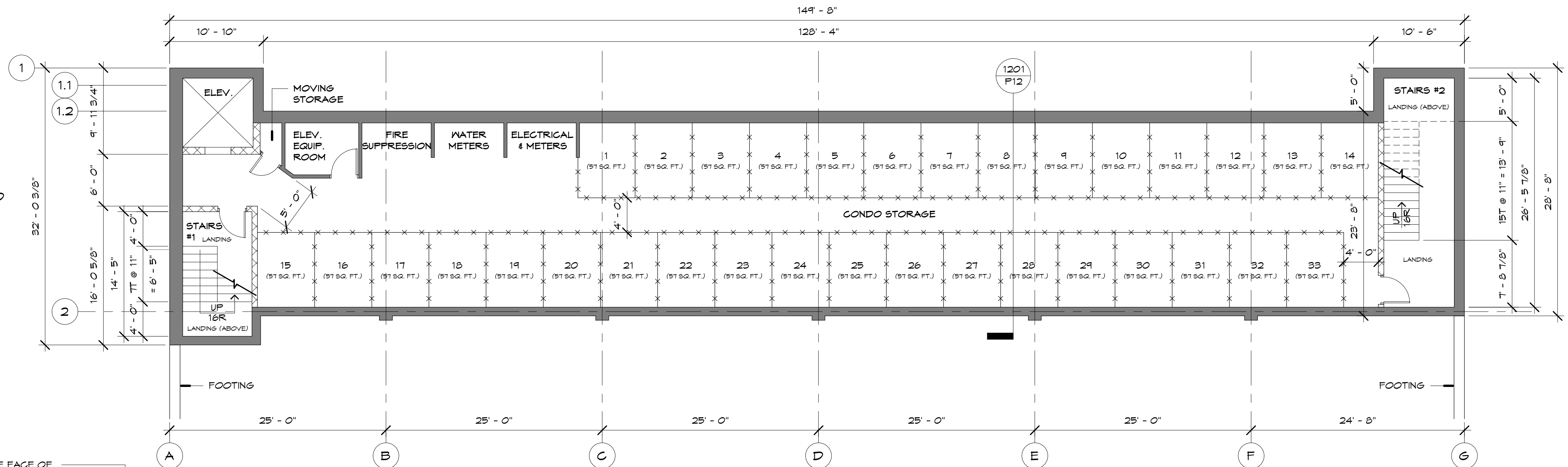
Project No. 52029 Sheet No. P2

Date Printed:

PROPOSED BASEMENT PLAN

SCALE: 1/8" = 1'-0"

(3,684± SQ. FT.)



PROPOSED 1ST FLOOR PLAN

SCALE: 1/8" = 1'-0"

(13,153± SQ. FT.)



THE FARMINGTON

33224 Grand River Ave
Farmington, Michigan

Drawn by: Kimberly Lapinski
Checked by: Benedetto Tiseo

Seal / Signature



Date: 08 JUN 2026

Issued for: Date:

SITE PLAN REVIEW	20 APR 2026
REVISIONS	28 APR 2026
REVISIONS	11 MAY 2026
SITE PLAN APPROVAL	14 MAY 2026
REVISIONS	28 MAY 2026
ZBA	08 JUN 2026

NOT FOR
CONSTRUCTION

PROPOSED
BASEMENT & 1ST
FLOOR PLANS

Project No.

Sheet No.

25029

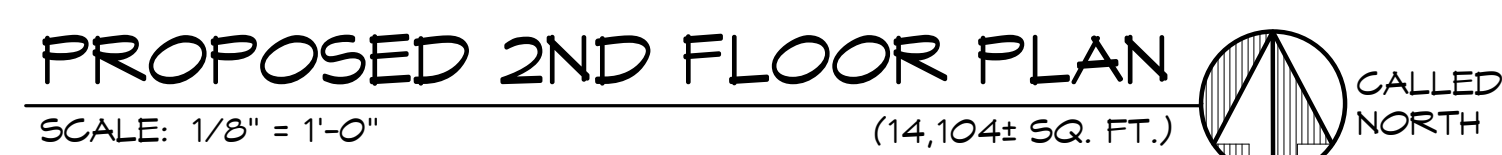
P3

Date Printed:

33224 Grand River Ave
Farmington, Michigan

Issued for:	Date:
SITE PLAN REVIEW	20 APR 2026
REVISIONS	11 MAY 2026
SITE PLAN APPROVAL	14 MAY 2026
ZBA	08 JUN 2026

Date Printed: 2/2026



THE FARMINGTON

33224 Grand River Ave
Farmington, Michigan

Drawn by: Kimberly Lapinski
Checked by: Benedetto Tiseo

Seal / Signature



Date: 08 JUN 2026

Issued for: _____ Date: _____

SITE PLAN REVIEW	20 APR 2026
REVISIONS	11 MAY 2026
SITE PLAN APPROVAL	14 MAY 2026
ZBA	08 JUN 2026

**NOT FOR
CONSTRUCTION**

**PROPOSED 3RD
FLOOR PLAN**

Project No. _____ Sheet No. _____

25029 **P5**

Date Printed: _____



PROPOSED 3RD FLOOR PLAN
SCALE: 1/8" = 1'-0"
(14,104± SQ. FT.)



T:\Projects\25029 Farmington Village Phase - Grand River Farmington\3D Preliminary\25029 - 3rd Flr.rvt 6/7/2026 8:51:15 PM

THE FARMINGTON
33224 Grand River Ave
Farmington, Michigan

Drawn by: Kimberly Lapinski
Checked by: Benedetto Tiseo
Seal / Signature



Date	08 JUN 2026
Issued for:	Date:
SITE PLAN REVIEW	20 APR 2026
REVISIONS	11 MAY 2026
SITE PLAN APPROVAL	14 MAY 2026
ZBA	08 JUN 2026

NOT FOR CONSTRUCTION

PROPOSED 4TH FLOOR PLAN

Project No. **25029** Sheet No. **P6**
Date Printed:

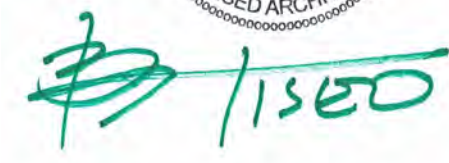


PROPOSED 4TH FLOOR PLAN
SCALE: 1/8" = 1'-0"
(14,104± SQ. FT.)
CALLED NORTH

THE FARMINGTON
33224 Grand River Ave
Farmington, Michigan

Drawn by: Kimberly Lapinski
Checked by: Benedetto Tiseo

Seal / Signature



Date: 08 JUN 2026

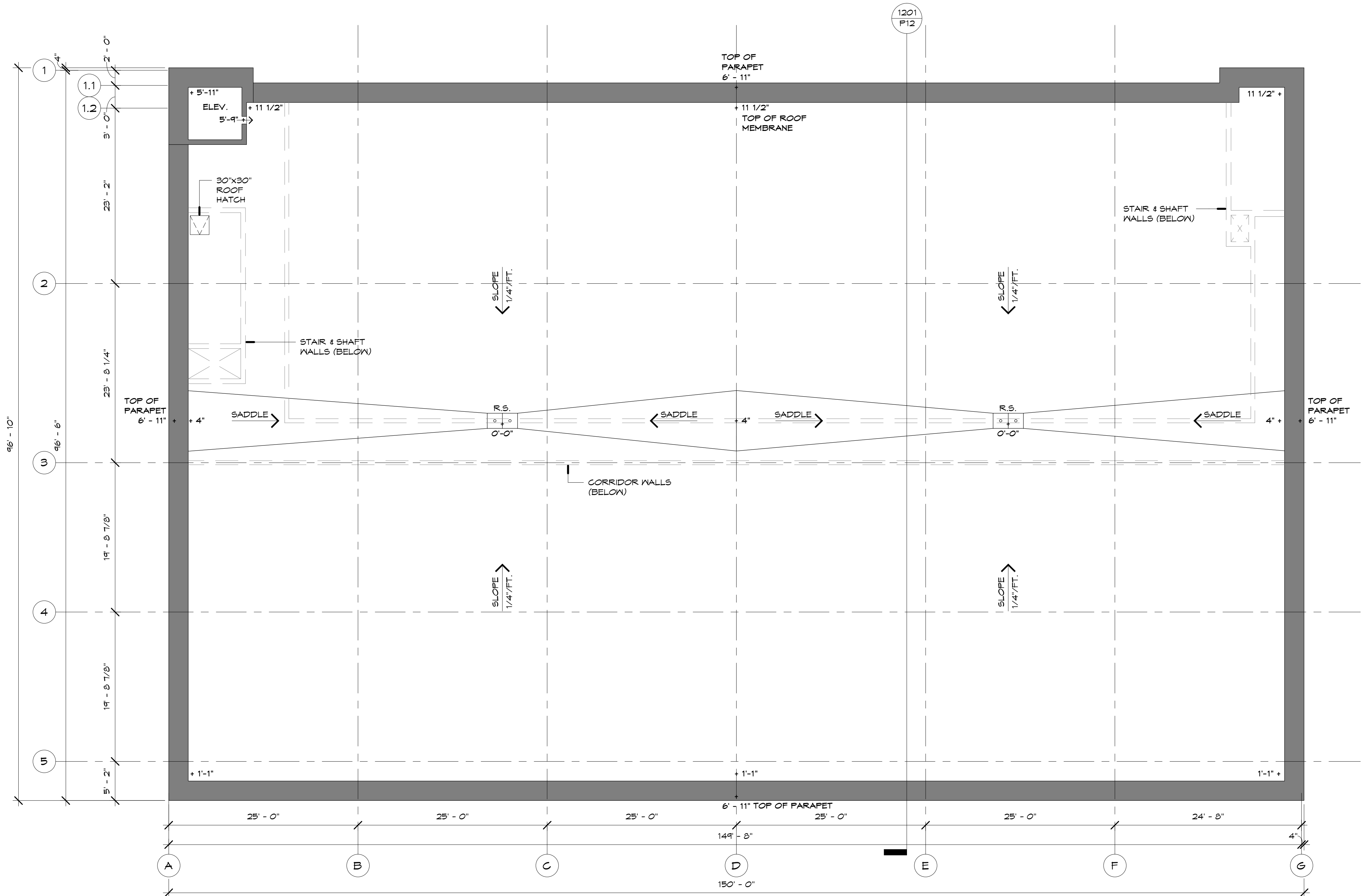
Issued for:	Date:
SITE PLAN REVIEW	20 APR 2026
REVISIONS	11 MAY 2026
SITE PLAN APPROVAL	14 MAY 2026
ZBA	08 JUN 2026

NOT FOR CONSTRUCTION

PROPOSED ROOF PLAN

Project No. 52029 Sheet No. P7

Date Printed:



PROPOSED ROOF PLAN
SCALE: 1/8" = 1'-0"
(14,270± SQ. FT.)
 CALLED NORTH

T:\Projects\52029 Farmington Village Phase - Grand River Farmington\ Preliminary\52029 - SR Plan.rvt 6/7/2026 8:51:16 PM

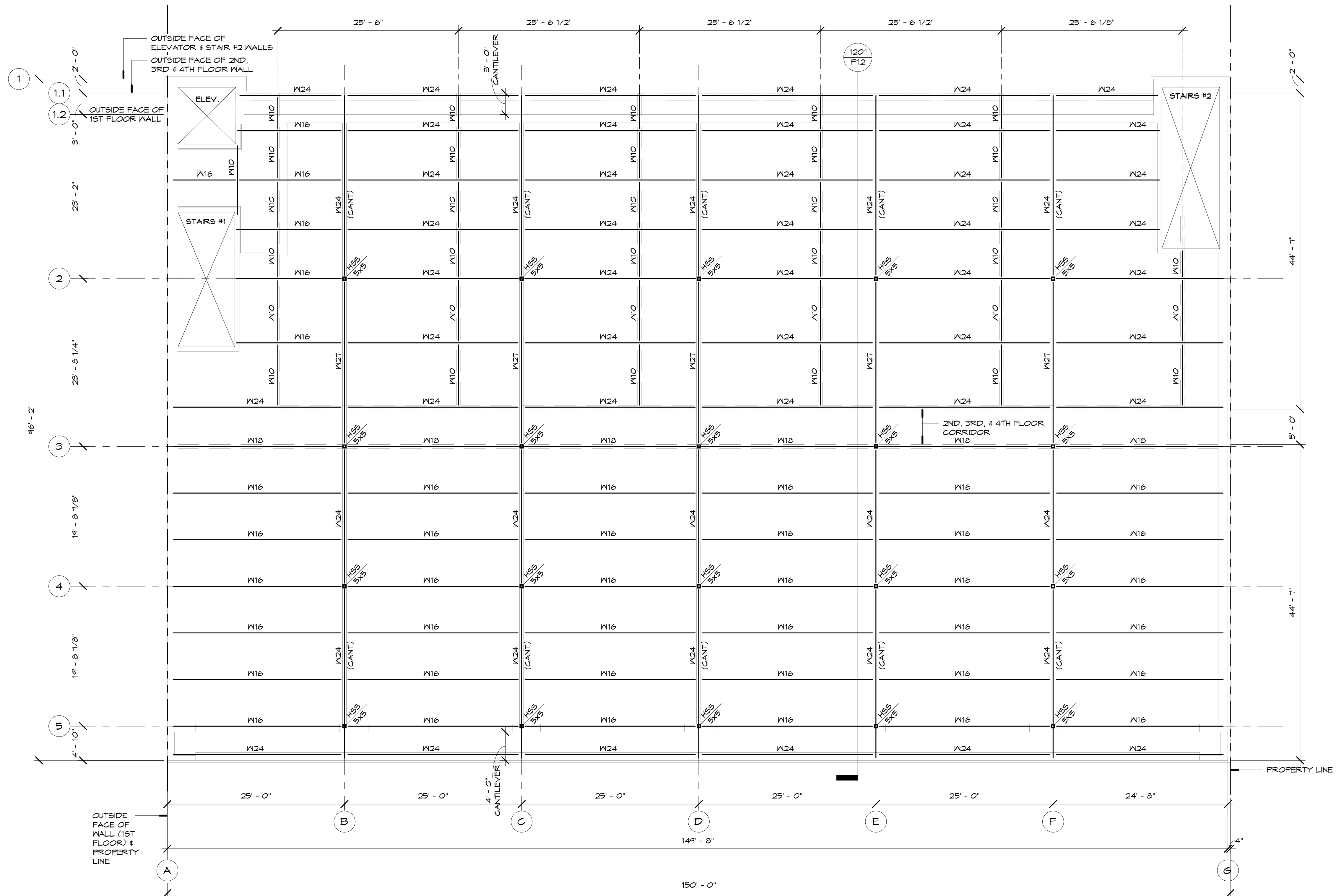
THE FARMINGTON
33224 Grand River Ave
Farmington, Michigan

Drawn by: Kimberly Lapinski
Checked by: Benedetto Tiseo
Seal / Signature



Date: 08 JUN 2026
Issued for: Date:
SITE PLAN REVIEW 20 APR 2026
REVISIONS 11 MAY 2026
SITE PLAN APPROVAL 14 MAY 2026
ZBA 08 JUN 2026

NOT FOR CONSTRUCTION
PROPOSED 2ND FLOOR FRAMING PLAN
Project No. 25029
Sheet No. P8
Date Printed:



PROPOSED 2ND FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"
(13,153± SQ. FT.)
CALLED NORTH



19815 Farmington Road
Livonia, Michigan
48152-1444

248.888.1300
www.tiseo.com

THE FARMINGTON

33224 Grand River Ave
Farmington, Michigan

Drawn by: Kimberly Lapinski
Checked by: Benedetto Tiseo

Seal / Signature



Date: 08 JUN 2026

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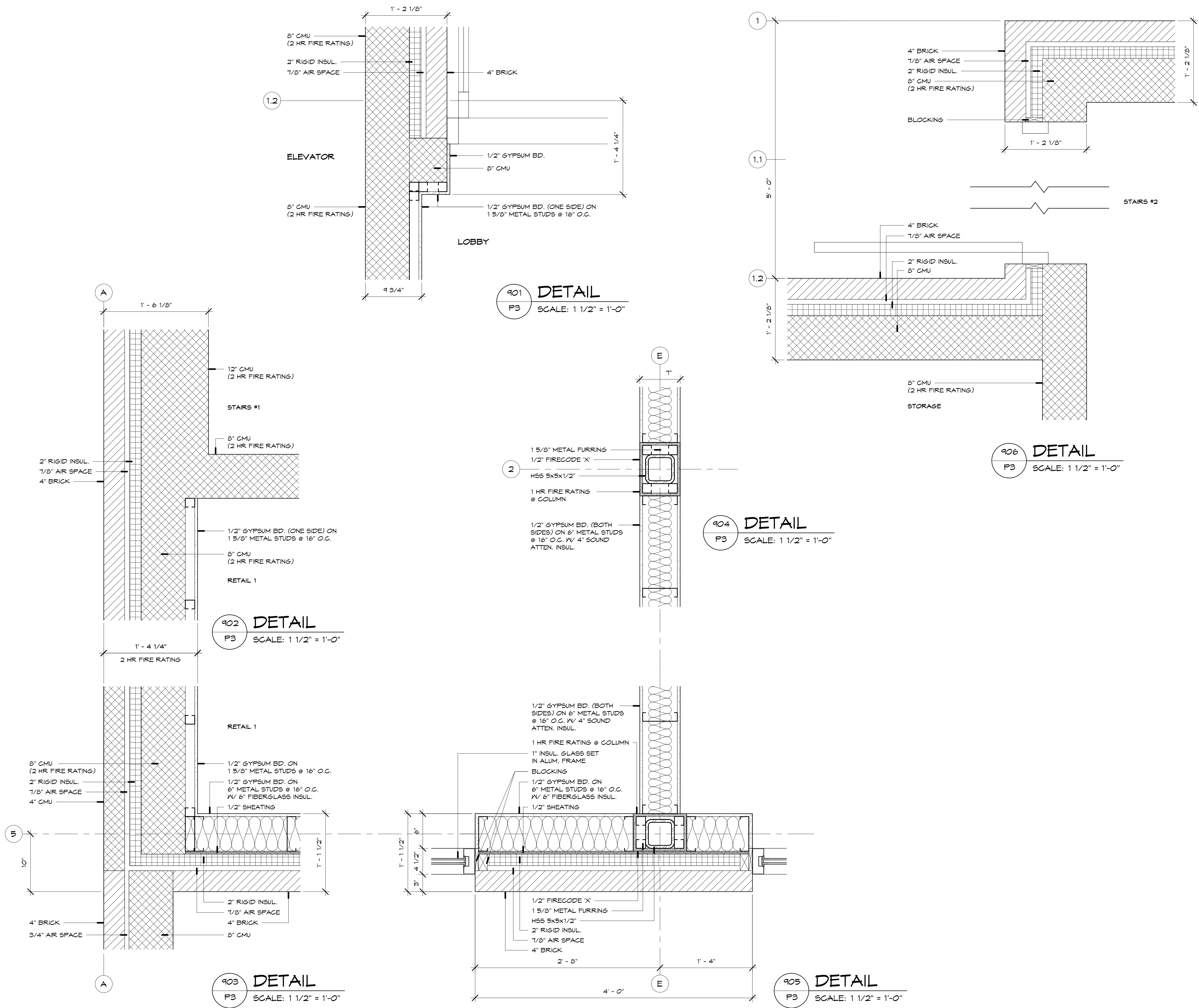
NOT FOR
CONSTRUCTION

PROPOSED PLAN DETAILS

Project No. Sheet No.

25029 P9

Date Printed:



THE FARMINGTON
33224 Grand River Ave
Farmington, Michigan

Drawn by: Kimberly Lapinski
Checked by: Benedetto Tiseo
Seal / Signature



Date: 08 JUN 2026

Issued for:	Date:
SITE PLAN REVIEW	20 APR 2026
REVISIONS	28 APR 2026
REVISIONS	11 MAY 2026
SITE PLAN APPROVAL	14 MAY 2026
REVISIONS	28 MAY 2026
ZBA	08 JUN 2026

NOT FOR CONSTRUCTION
PROPOSED NORTH & SOUTH ELEVATIONS
Project No. **25029** Sheet No. **P10**
Date Printed:

NORTH ELEVATION MATERIAL TAKE-OFFS
(7,669 SQ. FT.)

BRICK & STONE	3,189 SQ. FT.	42%
METAL PANEL & TRIM	2,026 SQ. FT.	27%
COMPOSITE DECKING	601 SQ. FT.	8%
WINDOWS & OPENINGS	1,743 SQ. FT.	23%

BLDG TOTALS (4 ELEVATIONS - 24,326 SQ. FT.)

BRICK & STONE	10,741 SQ. FT.	44%
METAL PANEL & TRIM	7,017 SQ. FT.	29%
COMPOSITE DECKING	1,723 SQ. FT.	7%
WINDOWS & OPENINGS	4,845 SQ. FT.	20%

SOUTH ELEVATION MATERIAL TAKE-OFFS
(7,746 SQ. FT.)

BRICK & STONE	1,962 SQ. FT.	26%
METAL PANEL & TRIM	2,115 SQ. FT.	27%
COMPOSITE DECKING	641 SQ. FT.	8%
WINDOWS & OPENINGS	3,028 SQ. FT.	39%

WINDOW AREA - SOUTH ELEVATION

FIRST FLOOR (Measured Between 2' & 8' Above Grade)	72%
Total Area:	898 SQ. FT.
Window Area:	649 SQ. FT.
UPPER FLOORS	34%
Total Area:	5,624 SQ. FT.
Window Area:	1,932 SQ. FT.



PROPOSED NORTH ELEVATION

SCALE: 1/8" = 1'-0"



PROPOSED SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

THE FARMINGTON
33224 Grand River Ave
Farmington, Michigan

Drawn by: Kimberly Lapinski
Checked by: Benedetto Tiseo

Seal / Signature



Date: 08 JUN 2026

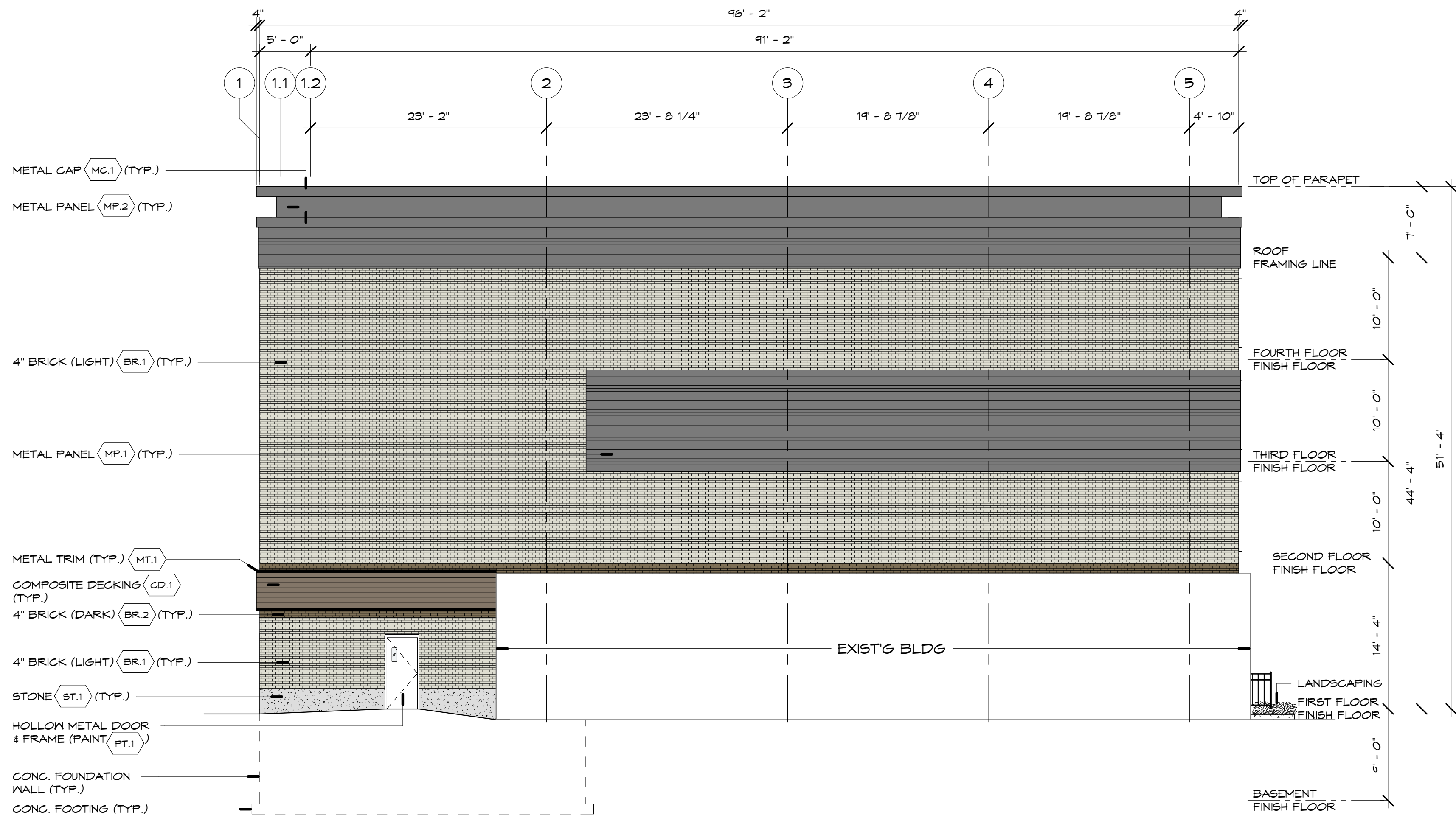
Issued for:	Date:
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REVISIONS	28 APR 2026
REVISIONS	11 MAY 2026
SITE PLAN APPROVAL	14 MAY 2026
REVISIONS	28 MAY 2026
ZBA	08 JUN 2026

NOT FOR CONSTRUCTION

PROPOSED EAST & WEST ELEVATIONS

Project No. 52029 Sheet No. P11

Date Printed:



**WEST ELEVATION MATERIAL TAKE-OFFS
(3,974 SQ. FT.)**

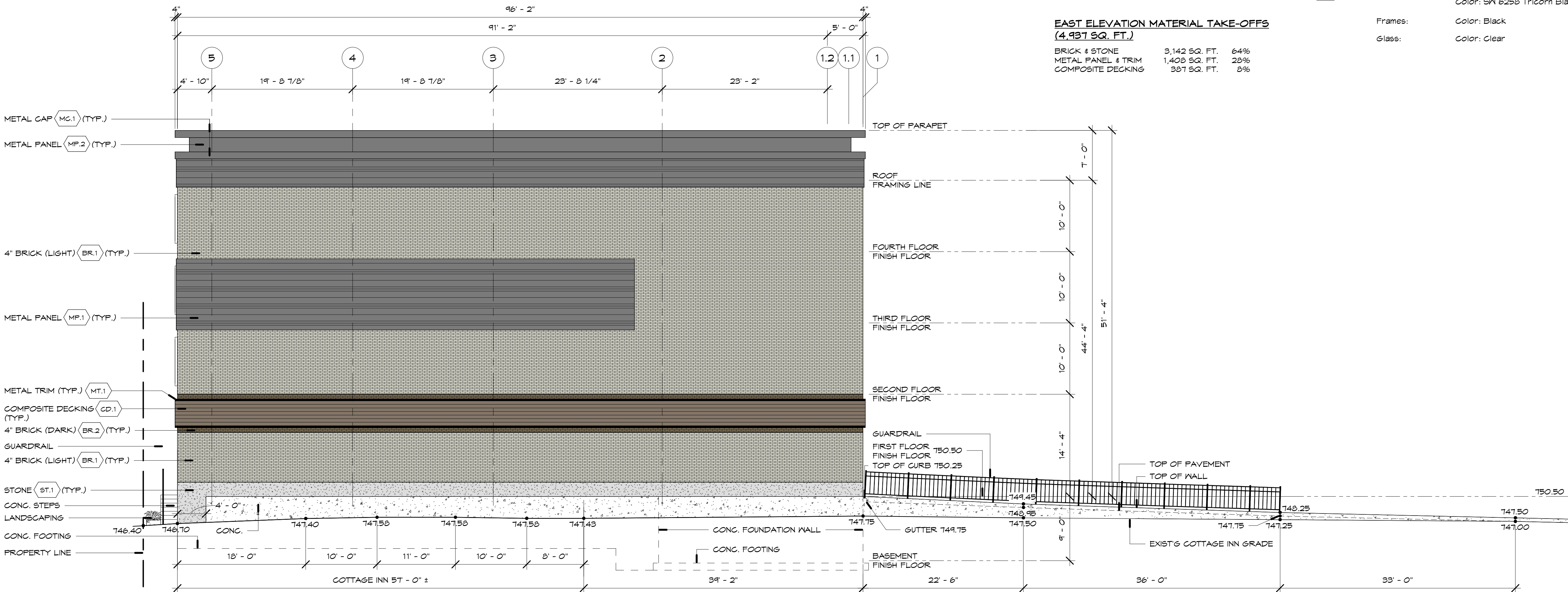
BRICK & STONE	2,448 SQ. FT.	62%
METAL PANEL & TRIM	1,408 SQ. FT.	35%
COMPOSITE DECKING	94 SQ. FT.	2%
WINDOWS & OPENINGS	24 SQ. FT.	1%

COLOR/FINISH SCHEDULE

BR.1	DIV 4	Brick (Light):	"Belden Brick" Color: Sea Gray Smooth 24-23, Size: Modular Mortar Color: Gray
BR.2	DIV 4	Brick (Dark):	"Belden Brick" Color: Brazilwood Smooth, Size: Modular Mortar Color: Gray
ST.1	DIV 4	Stone:	"RockCast" Full Bed Stone Color: Buffstone, Finish: Smooth
CD.1	DIV 6	Composite Decking:	"TimberTech by Azek" Advanced PVC Collection: Vintage, Color: English Walnut
MC.1	DIV 7	Metal Cap:	"Petersen Aluminum" Color: Musket Gray
MP.1	DIV 7	Metal Panel:	"Fac-Clad Petersen" Highline B1 Precision Series Wall Panels Color: Musket Gray
MT.1	DIV 7	Metal Trim:	"Berridge" Kynar 500 Color: Jet Black
MT.2	DIV 7	Metal Trim:	"Berridge" Kynar 500 Color: Shasta White
PT.1	DIV 9	Paint:	"Sherwin Williams" Color: SW 6258 Tricorn Black
Frames:			Color: Black
Glass:			Color: Clear

**EAST ELEVATION MATERIAL TAKE-OFFS
(4,937 SQ. FT.)**

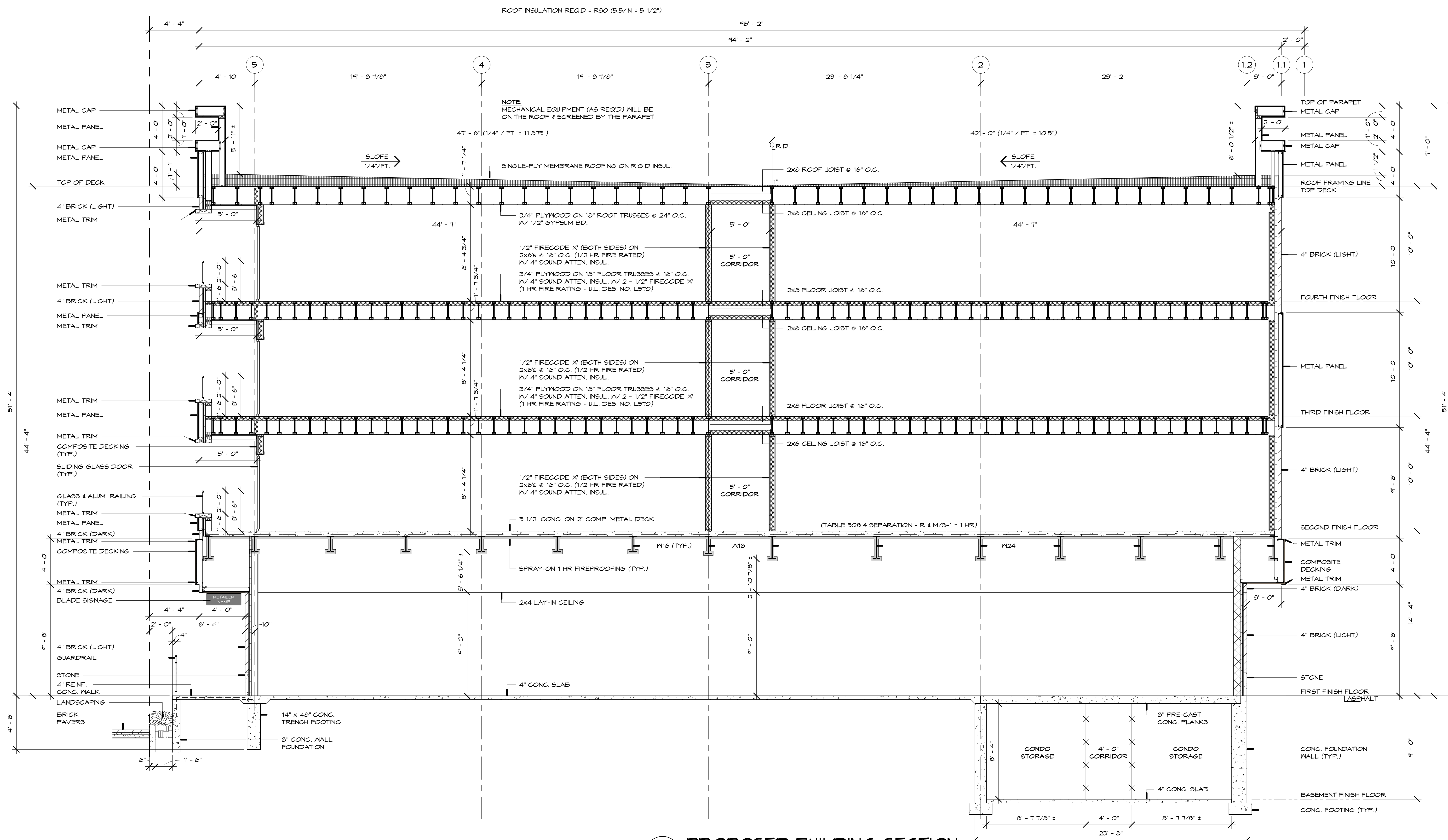
BRICK & STONE	3,142 SQ. FT.	64%
METAL PANEL & TRIM	1,408 SQ. FT.	28%
COMPOSITE DECKING	387 SQ. FT.	8%



PROPOSED EAST ELEVATION

SCALE: 1/8" = 1'-0"

Date Printed:



1201 PROPOSED BUILDING SECTION
A4 SCALE: 1/4" = 1'-0"

Owner / Developer

Tiseo Architects, Inc.
19815 Farmington Rd.
Livonia, MI 48152

Contact:
Mr. Ben Tiseo
Ph: 248-888-1300
Fax: 248-888-1313

Architect

Tiseo Architects, Inc.
19815 Farmington Rd.
Livonia, MI 48152

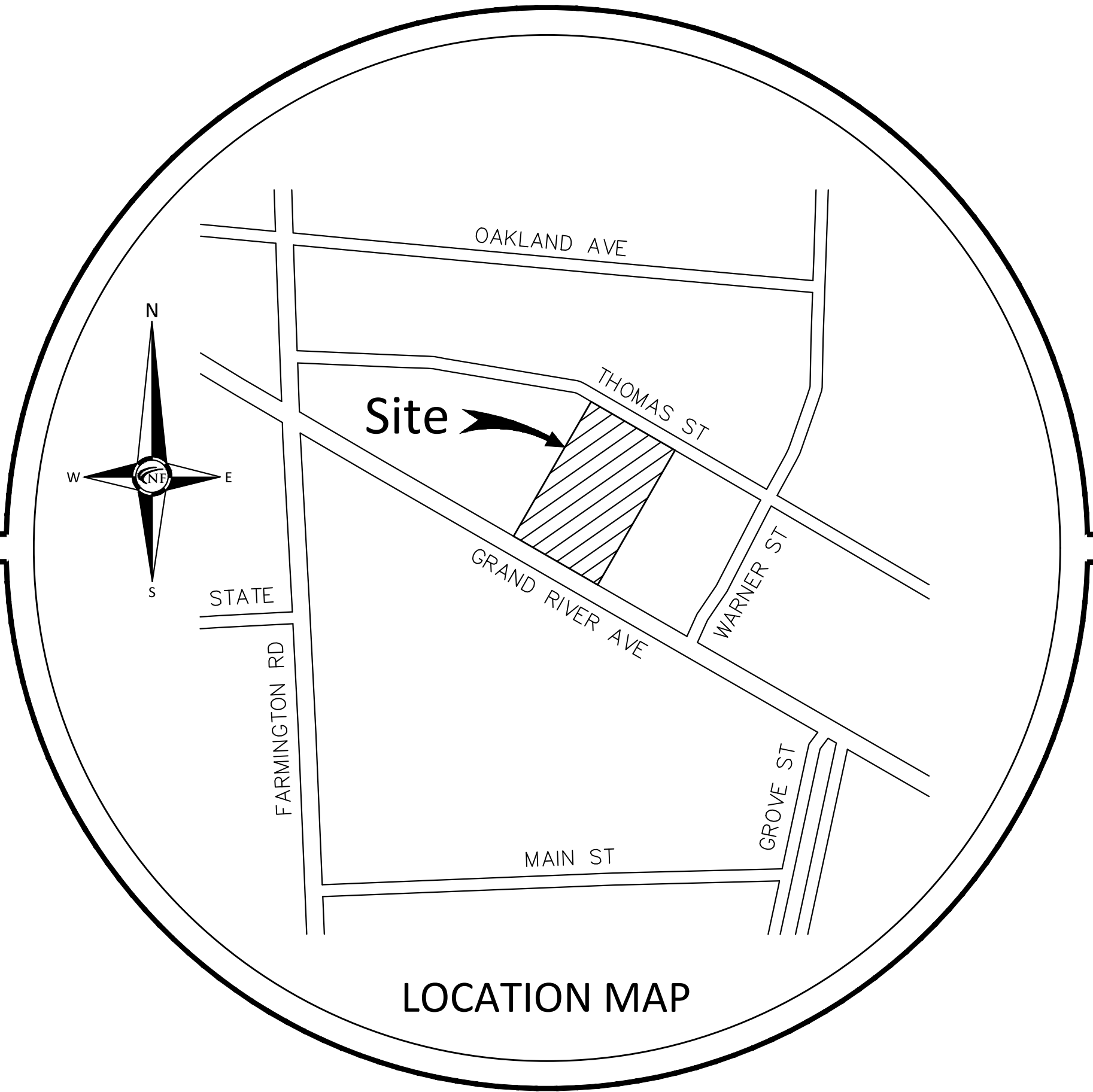
Contact:
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Ph: 248-888-1300
Fax: 248-888-1313

Civil Engineer

Nowak and Fraus Engineers
46777 Woodward Ave.
Pontiac, MI 48342-5032

Contact:
Mr. Allen Eizember, P.E.
Ph: 248-332-7931
Fax: 248-332-8257

City of Farmington,
Oakland County, Michigan
SITE PLAN DOCUMENTS
Prepared For
Tiseo Architects, Inc.



SHEET INDEX

SP0	Cover Sheet
SP1	Boundary - Topographic Survey
SP2	Dimensional Site Plan
SP2.1	Truck Turning Plan
SP3	Paving and Grading Plan
SP4	Contech Detention System Details

LEGAL DESCRIPTION

PER TITLE COMMITMENT -

LAND SITUATED IN THE CITY OF FARMINGTON, COUNTY OF OAKLAND, STATE OF MICHIGAN, AND IS DESCRIBED AS FOLLOWS:

LOT(S) 5, 6 AND 7, BLOCK 2, OF PLAT OF DAVIS ADDITION TO VILLAGE OF FARMINGTON, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 2 OF PLATS, PAGE 36, OAKLAND COUNTY RECORDS.

ADDRESS: 33224 GRAND RIVER AVE., FARMINGTON, MI 48336

TAX ID: 23-27-153-021

CONTAINING: 30,000 SQUARE FEET OR 0.689 ACRES

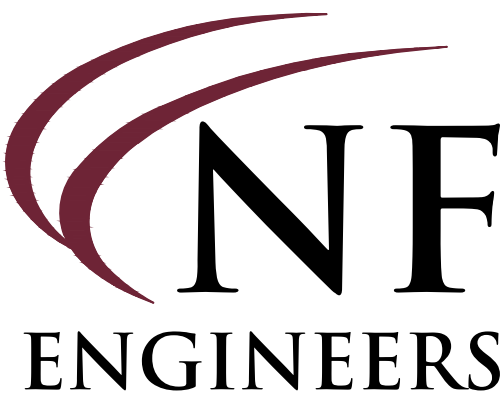
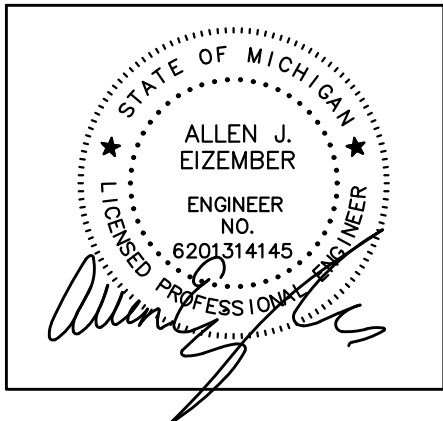
REVISIONS:
04-20-26 ISSUED FOR SITE PLAN REVIEW
04-24-26 REVISED PER CLIENT
05-11-26 REVISED PER CITY MEETING
05-28-26 REVISED PER SITE PLAN REVIEW

Project Name

Multi-Story
Mixed Use
Development

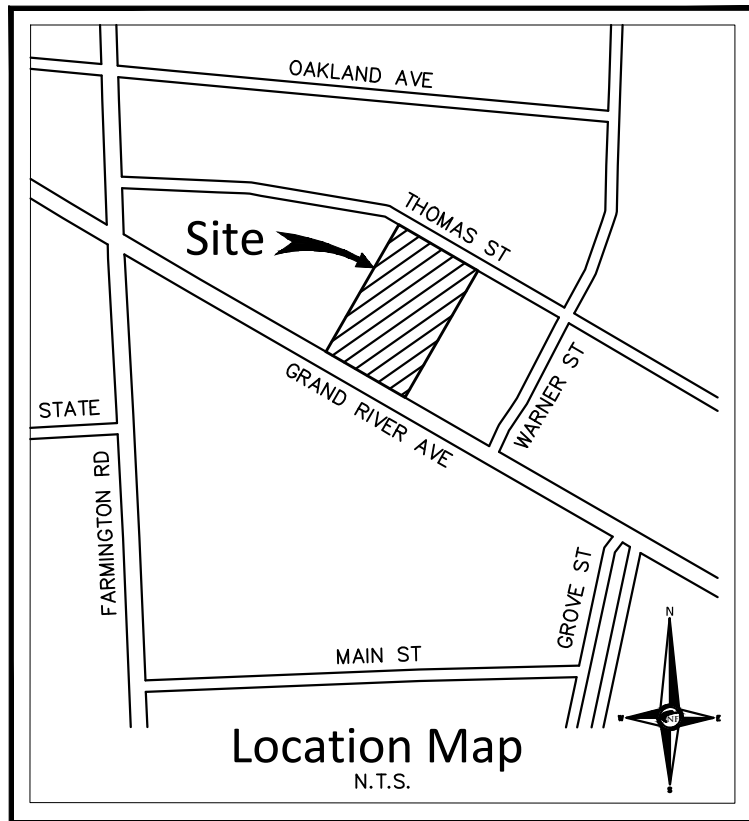
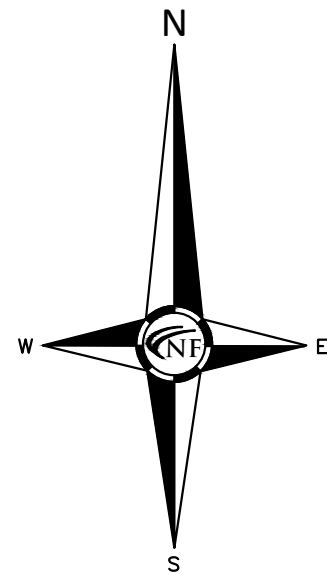


N & F JOB #N780-01



CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257
WWW.NFE-ENGR.COM



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LEGAL DESCRIPTION - PER TITLE COMMITMENT

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ADDRESS: 33224 GRAND RIVER AVE., FARMINGTON, MI 48336

TAX ID: 23-27-153-021

CONTAINING: 30,000 SQUARE FEET OR 0.689 ACRES

SITE DATA

SITE AREA:
30,000 SQUARE FEET OR 0.689 ACRES

ZONED:
CBD, CENTRAL BUSINESS DISTRICT

TOTAL PARKING SPACES:
35 STRIPED SPACES INCLUDING 2 BARRIER-FREE (HANDICAP) SPACES

BUILDING SETBACKS:
FRONT: 5 FEET
SIDE: NONE; 10 FEET OF SIDE BUILDING WALL IS NOT FIRE RATED OR CONTAINS WINDOWS.
REAR: 25 FEET

A SURVEYOR CANNOT MAKE A CERTIFICATION ON THE BASIS OF AN INTERPRETATION OR OPINION OF ANOTHER PARTY. A ZONING ENDORSEMENT LETTER SHOULD BE OBTAINED FROM THE CITY OF FARMINGTON TO INSURE CONFORMITY AS WELL AS MAKE A FINAL DETERMINATION OF THE REQUIRED BUILDING SETBACK REQUIREMENTS.

BASIS OF BEARING NOTE

THE BASIS OF BEARING FOR THIS SURVEY WAS ESTABLISHED BY THE AFORESAID RECORDED PLAT.

FLOOD HAZARD NOTE

THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE PROPERTY LIES WITHIN ZONE X OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NO. 26125C063F BEARING AN EFFECTIVE DATE OF 9/29/2006.

MISS DIG / UTILITY DISCLAIMER NOTE

A MISS DIG TICKET NUMBER 2026022400755, PURSUANT TO MICHIGAN PUBLIC ACT 174 WAS ENTERED FOR THE SURVEYED PROPERTY, DUE TO THE EXTENDED REPORTING PERIOD FOR UNDERGROUND FACILITY OWNERS TO PROVIDE THEIR RECORDS, THE SURVEY MAY NOT REFLECT ALL THE UTILITIES AT THE TIME THE SURVEY WAS ISSUED ON MARCH 16, 2026. THE SURVEY ONLY REFLECTS THOSE UTILITIES WHICH COULD BE OBSERVED BY THE SURVEYOR IN THE FIELD OR AS DEPICTED BY THE UTILITY COMPANY RECORDS FURNISH PRIOR TO THE DATE THIS SURVEY WAS ISSUED. THE CLIENT AND/OR THEIR AUTHORIZED AGENT SHALL VERIFY WITH THE FACILITY OWNERS AND/OR THEIR AUTHORIZED AGENTS, THE COMPLETENESS AND EXACTNESS OF THE UTILITIES LOCATION.

TOPOGRAPHIC SURVEY NOTES

ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.

UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.

THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER.

LEGEND

MANHOLE(MH)	EXISTING SANITARY SEWER
CO	EXISTING SAN. CLEAN OUT
HYDRANT(HYD)	GATE VALVE(GV)
MANHOLE(MH)	CATCH BASIN(CB)
CBB	EXISTING STORM SEWER
EX. BEEHIVE	CATCH BASIN
EX. UNDERGROUND (UG.) CABLE	
UTILITY POLE	GUY WIRE
UP	OVERHEAD (OH.) LINES
LP	LIGHT POLE
+	SIGN
+	EXISTING GAS MAIN
ASPH.	ASPHALT
CONC.	CONCRETE
FD. / FND.	FOUND
RET. WALL	RETAINING WALL
R.O.W.	RIGHT-OF-WAY
SPK	SET PK NAIL
(TYP)	TYPICAL
(R)	RECORD
(W)	MEASURED
C/L	CENTERLINE
P/L	PROPERTY LINE
GM	GAS METER
EM	ELECTRIC METER
LS	LANDSCAPE
DS	DOWNSPOUT
GP	GUARD POST
12" T.	12" TREE

DTE DISCLAIMER NOTE

PLEASE NOTE THAT DTE HAS NEW REGULATIONS THAT MAY IMPACT DEVELOPMENT OUTSIDE THEIR EASEMENT OR THE PUBLIC RIGHT OF WAY. CLIENT SHALL CONTACT DTE TO DETERMINE THE "NEW STRUCTURES AND POWER LINE" REQUIREMENTS AS THEY MAY APPLY TO ANY FUTURE BUILDING OR RENOVATION OF A STRUCTURE. DTE ENERGY CAN BE CONTACTED AT 800-477-4747

SEAL



PROJECT

Multi-Story
Mixed Use Development
33224 Grand River Ave.
Farmington, MI 48336

CLIENT

Tiseo Architects, Inc.
19815 Farmington Rd.
Livonia, MI 48152

Contact:

Mr. Ben Tiseo
Ph: 248-888-1300
Fax: 248-888-1313

PROJECT LOCATION

Part of the NW, 1/4
of Section 27,
T. 1 N., R. 9 E.,
City of Farmington,
Oakland County, Michigan

SHEET

Boundary - Topographic
Survey



DATE ISSUED/REVISED
04-20-26 ISSUED FOR SITE PLAN REVIEW
04-24-26 REVISED PER CLIENT
05-11-26 REVISED PER CITY MEETING
05-28-26 REVISED PER SITE PLAN REVIEW

DRAWN BY:

M. Carnaghi

DESIGNED BY:

APPROVED BY:

K. Navaroli

DATE:

March 16, 2026

SCALE: 1" = 20'

20 10 0 10 20 30

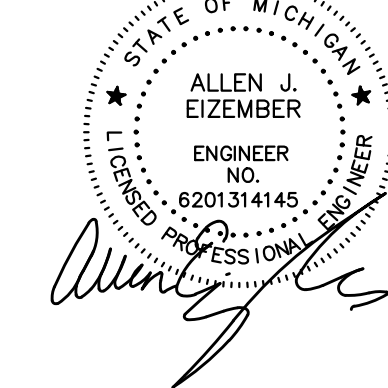
NFE JOB NO.

N781-01

SHEET NO.

SP1

SEAL



PROJECT
Multi-Story
Mixed Use Development
33224 Grand River Ave.
Farmington, MI 48336

CLIENT
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19815 Farmington Rd.
Livonia, MI 48152

Contact:
Mr. Ben Tiseo
Ph: 248-888-1300
Fax: 248-888-1313

PROJECT LOCATION
Part of the NW, 1/4
of Section 27,
T. 1 N., R. 9 E.,
City of Farmington,
Oakland County, Michigan

SHEET
Dimensional Site Plan



DATE ISSUED/REVISED
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04-24-26 REVISED PER CLIENT
05-11-26 REVISED PER CITY MEETING
05-28-26 REVISED PER SITE PLAN REVIEW

DRAWN BY:
R. Johnson

DESIGNED BY:
A. Eizember

APPROVED BY:
A. Eizember

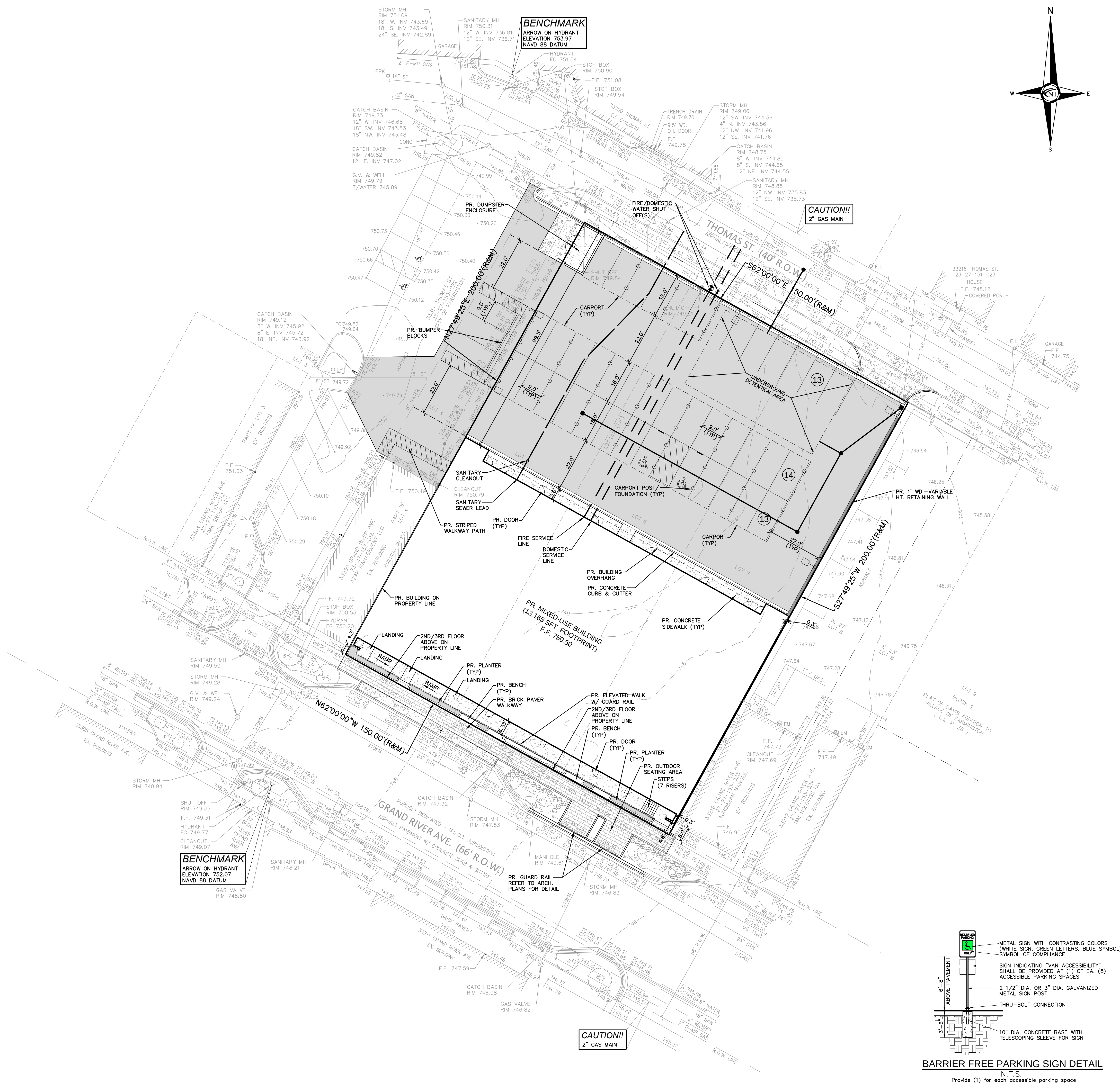
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March 16, 2026

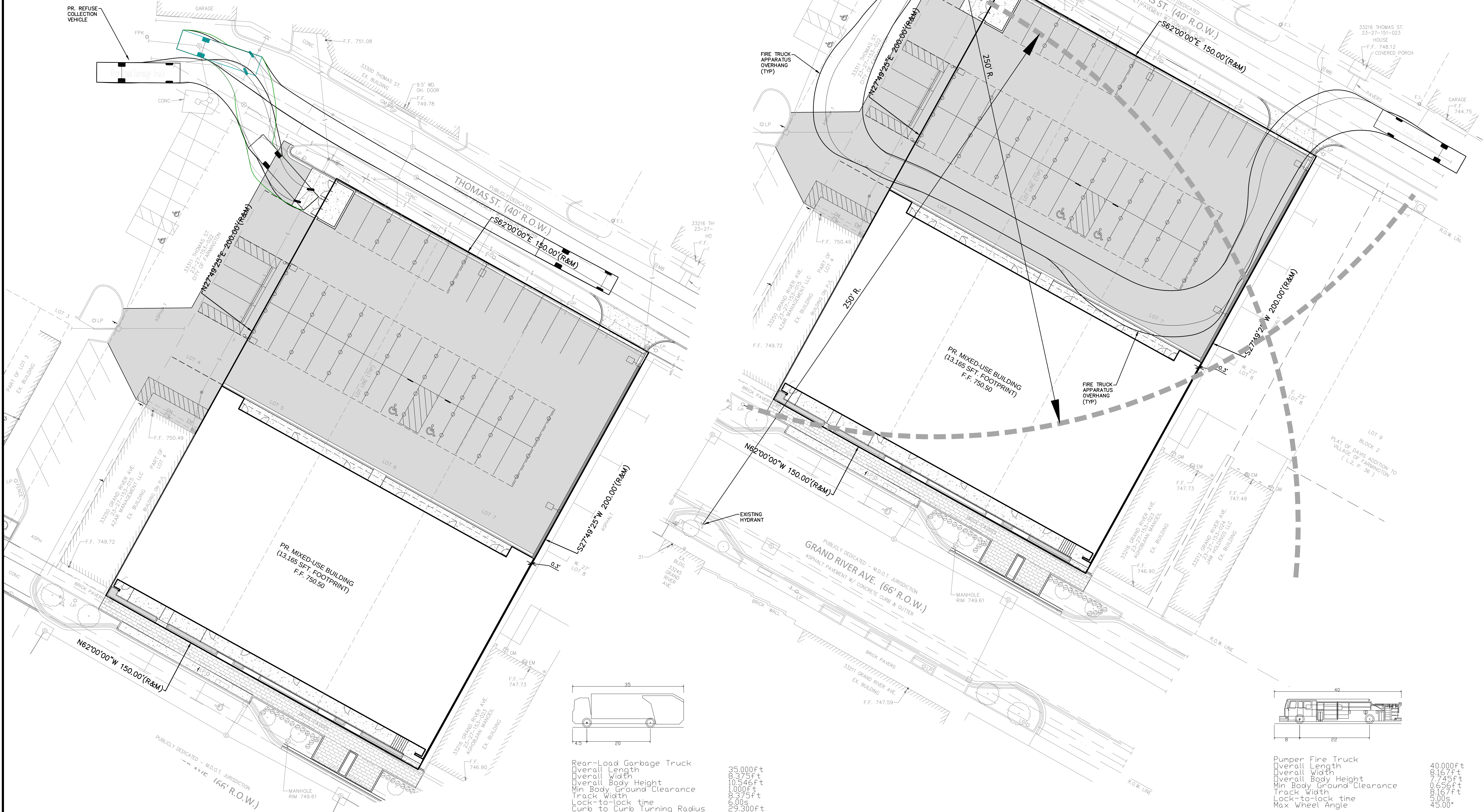
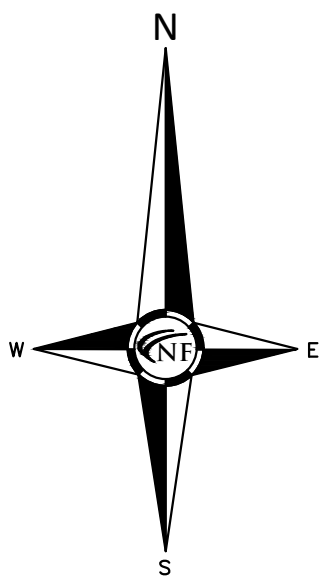
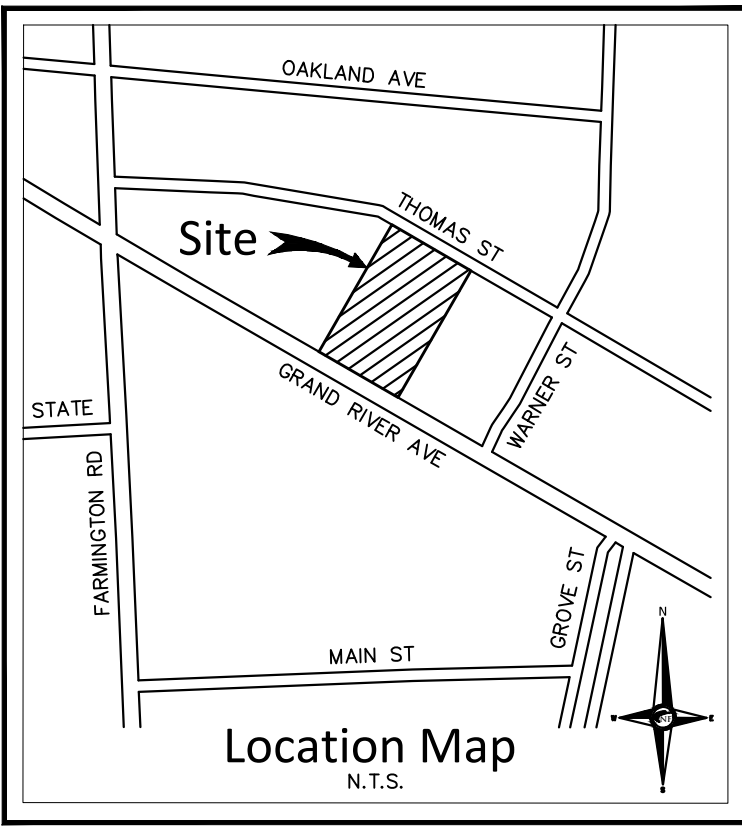
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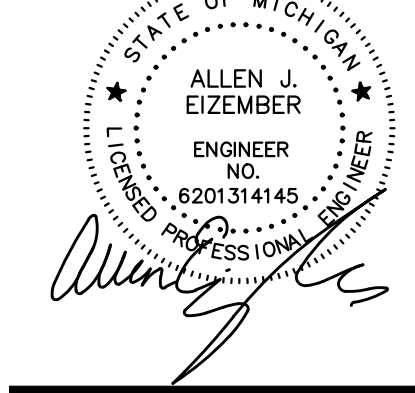
NFE JOB NO.
N781-01

SHEET NO.
SP2





SEAL



PROJECT
Multi-Story
Mixed Use Development
33224 Grand River Ave.
Farmington, MI 48336

CLIENT
Tiseo Architects, Inc.
19815 Farmington Rd.
Livonia, MI 48152

Contact:
Mr. Ben Tiseo
Ph: 248-888-1300
Fax: 248-888-1313

PROJECT LOCATION
Part of the NW, 1/4
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T. 1 N., R. 9 E.,
City of Farmington,
Oakland County, Michigan

SHEET
Truck Turning Plan

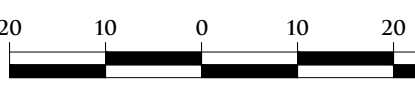


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05-28-26	REVISED PER SITE PLAN REVIEW

DRAWN BY:
R. Johnson
DESIGNED BY:
A. Eizember
APPROVED BY:
A. Eizember

DATE:
March 16, 2026

SCALE: 1" = 20'



NFE JOB NO. 781-01
SHEET NO. SP2.1

PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

ASPHALT: BASE COURSE - MDOT HMA 4E ML (TIER I OR II);
SURFACE COURSE - MDOT HMA 5E ML (TIER I OR II);
BOND COAT - MDOT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD

ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.

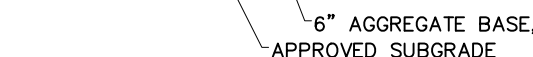
ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.

ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.

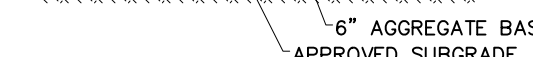
FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKewise ARRANGE FOR ALL INSPECTION.

EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII.

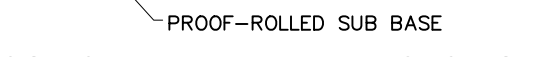
ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.



CONCRETE CURB DETAIL 'A'
N.T.S.



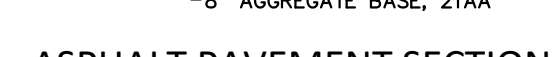
CONCRETE CURB DETAIL 'E'
N.T.S.



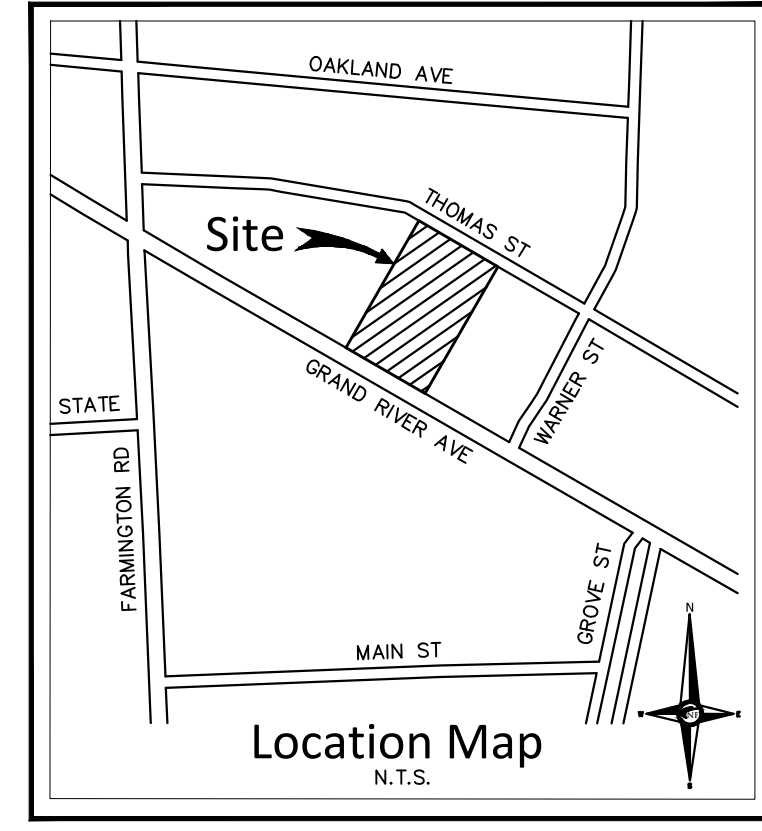
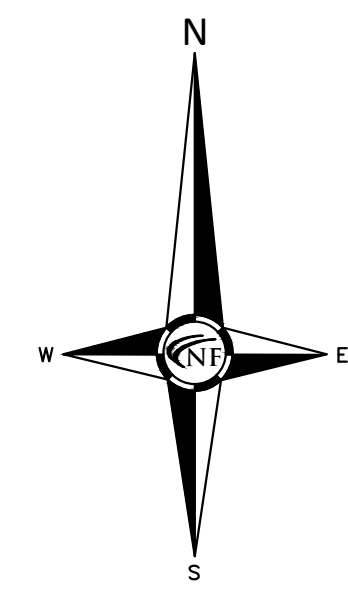
CONCRETE PAVEMENT SECTION
N.T.S.



CONCRETE SIDEWALK SECTION
N.T.S.



ASPHALT PAVEMENT SECTION
(DRIVE AND PARKING)



NF
ENGINEERS
CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

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PROJECT LOCATION
Part of the NW. 1/4
of Section 27,
T. 1 N., R. 9 E.,
City of Farmington,
Oakland County, Michigan

SHEET

Paving and Grading Plan



Know what's **below**
Call before you dig.

REQUIRED DETENTION VOLUME CALCULATIONS	
100 Year Post-Development Detention Volume	
Name of Project:	33224 Grand River
Location of Project:	Farmington, MI
NFE Project No.:	N781-01
Contributing Acreage "A":	0.69 ac
Weighted Runoff Coefficient "C":	0.95
Time of Concentration "Tc":	10.00 min
1. Calculate Required Water Quality Volume [Vwq] (1" Rainfall Event)	
$Vwq = 3.630(C)A$	2,379 cft
2. Calculate Required Water Quality Rate [Qwq]	
$Qwq = (C)A(30.27/Tc+9.17)^{-0.81}$	1.81 cfs
3. Calculate Required Channel Protection Volume (Vcpv) (1.3" Rainfall Event)	
$Vcpv = 4.715(C)A$	3,093 cft
4. Calculate Required Extended Detention Volume (Ved) (1.9" Rainfall Event)	
$Ved = 6.897(C)A$	4,521 cft
5. Calculate Extended Detention Outlet Rate (Qed) (48 hr discharge)	
$Qed = Ved / [(48 \text{ hr}(60 \text{ min}/60 \text{ sec})) - Ved/172.800]$	0.03 cfs
6. Calculate 100-year Rainfall Intensity (I100)	
$I100 = 83.3/(Tc+9.17)^{0.81}$	7.62 in/hr
7. Calculate 100-year Post-Development Peak Inflow Rate (Q100-in)	
$Q100-in = (C)I100(A)$	4.99 cfs
8. Calculate the Allowable Release Rate (Qvrr)	
$Qvrr =$	1.00 cfs/ac
Restricted Outlet rate per local municipality	N/A cfs/ac
9. Calculate Allowable 100-year Storm Outlet Rate (Q100p)	
$Q100p = (Qvrr)A$	0.69 cfs
10. Calculate Storage Curve Factor (R)	
$R = 0.20E-[(0.15) \ln(Q100p/Q100-in)]$	0.503
11. Calculate Required 100-year Storm Volume in (V100R)	
$V100R = 18.985(C)A$	12,445 cft
12. Calculate 100-year Storm Detention Storage Volume (V100D)	
$V100D = (V100R)(R)$	6,258 cft
$Vcp(\text{credit})$	0 cft
TOTAL DETENTION VOLUME REQUIRED:	6,258 cft
TOTAL DETENTION VOLUME PROVIDED:	6,258 cft

PAVING LEGEND

PROPOSED CONCRETE PAVEMENT

PROPOSED ASPHALT PAVEMENT

LEGEND

 MANHOLE	EXISTING SANITARY SEWER
 HYDRANT	SAN. CLEAN OUT
 GATE VALVE	EXISTING WATERMAIN
 CATCH BASIN	EXISTING STORM SEWER
 EX. R. Y. CATCH BASIN	EXISTING BURIED CABLES
 UTILITY POLE	OVERHEAD LINES
 GUY POLE	LIGHT POLE
 GUY WIRE	SIGN
 EXISTING GAS MAIN	PR. SANITARY SEWER
 C.O.	PR. WATER MAIN
 HYDRANT	PR. STORM SEWER
 INLET	PR. R. Y. CATCH BASIN
 C.B.	PROPOSED LIGHT POLE
 MANHOLE	PR. TOP OF CURB ELEVATION
 PR. GUTTER ELEVATION	PR. TOP OF WALK ELEVATION
TC 600.00	PR. TOP OF P.W.M.T. ELEVATION
GU 600.00	FINISH GRADE ELEVATION
TW 600.00	WALL TOP/BOTTOM ELEVATION
TP 600.00	
FG 600.00	
WT 600.00	
WB 600.00	

DATE	ISSUED/REVISED
04-20-26	ISSUED FOR SITE PLAN REVIEW
04-24-26	REVISED PER CLIENT
05-11-26	REVISED PER CITY MEETING
05-28-26	REVISED PER SITE PLAN REVIEW

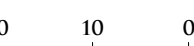
DRAWN BY:
R. Johnson

DESIGNED BY:
A. Eizember

APPROVED BY:
A. Eizember

DATE:
March 16, 2006

SCALE: 1" = 20'



NFE JOB NO. **N781-01** SHEET NO. **SP3**

PROJECT SUMMARY

CALCULATION DETAILS

- LOADING = HS20S18.25
- APPROX. LINEAR FOOTAGE = 364 LF
- STORAGE SUMMARY
- STORAGE VOLUME REQUIRED = 6,256 CF
- PIPE STORAGE VOLUME = 4,574 CF
- BACKFILL STORAGE VOLUME = 1,684 CF
- TOTAL STORAGE PROVIDED = 6,256 CF
- STONE VOID = 40%

PIPE DETAILS

- DIAMETER = 48"
- CORRUGATION = 2.23x1/2
- GAGE = 16
- COATING = ALT2
- WALL TYPE = PERFORATED
- BARREL SPACING = 24"

BACKFILL DETAILS

- WIDTH AT ENDS = 12"
- ABOVE PIPE = 0"
- WIDTH AT SIDES = 12"
- BELOW PIPE = 0"

NOTES

- ALL RISER AND STUB DIMENSIONS ARE TO CENTERLINE. ALL ELEVATIONS, DIMENSIONS, AND LOCATIONS OF RISERS AND INLETS, SHALL BE VERIFIED BY THE ENGINEER OF RECORD PRIOR TO RELASING FOR FABRICATION.
- ALL FITTINGS AND REINFORCEMENT COMPLY WITH ASTM A886.
- ALL RISERS AND STUBS ARE 22" x 1/2" CORRUGATION AND 18 GAGE UNLESS OTHERWISE NOTED.
- RISER TO BE FIELD TRIMMED TO GRADE.
- QUANTITY OF PIPE SHOWN DOES NOT PROVIDE EXTRA PIPE FOR CONNECTING THE SYSTEM TO EXISTING PIPE OR DRAINAGE STRUCTURES. OUR SYSTEM AS DETAILED PROVIDES NOMINAL INLET AND/OR OUTLET PIPE STUB FOR CONNECTION TO EXISTING DRAINAGE FACILITIES. IF ADDITIONAL PIPE IS NEEDED IT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- BAND TYPE TO BE DETERMINED UPON FINAL DESIGN.
- THE PROJECT SUMMARY IS REFLECTIVE OF THE DYODS DESIGN. QUANTITIES ARE APPROX. AND SHOULD BE VERIFIED UPON FINAL DESIGN AND APPROVAL. FOR EXAMPLE, TOTAL EXCAVATION DOES NOT CONSIDER ALL VARIABLES SUCH AS SHORING AND ONLY ACCOUNTS FOR MATERIAL WITHIN THE ESTIMATED EXCAVATION FOOTPRINT.
- THESE DRAWINGS ARE FOR CONCEPTUAL PURPOSES AND DO NOT REFLECT ANY LOCAL PREFERENCES OR REGULATIONS. PLEASE CONTACT YOUR LOCAL CONTECH REP FOR MODIFICATIONS.

CONTECH ENGINEERING SOLUTIONS LLC
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CMP DETENTION SYSTEMS
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DRAWING

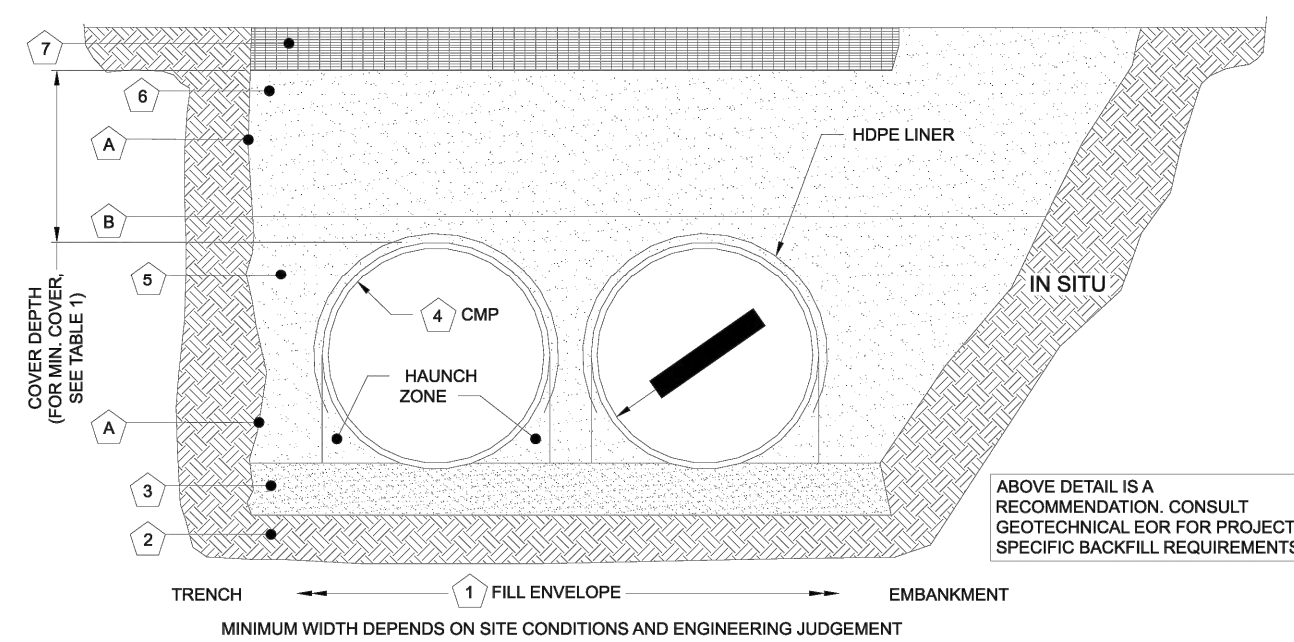
DYO102471 Tiseo - Farmington
Detention System
Farmington, MI
DETENTION SYSTEM

PROJECT NO. 75500
DESIGNED BY DYO
CHECKED BY DYO
SHEET NO. 1

TABLE 1:

DIAMETER, D	MIN. COVER	CORR. PROFILE
6"-10"	12"	1 1/2" x 1/4"
12"-48"	12"	2 2/3" x 1/2"
>48"-56"	12"	3" x 1", 5" x 1"
>56"	D18	3" x 1", 5" x 1"

- STRUCTURAL BACKFILL MUST EXTEND TO LIMITS OF THE TABLE
- TOTAL HEIGHT OF COMPACTED COVER FOR CONVENTIONAL HIGHWAY LOADS IS MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TOP OF RIGID PAVEMENT.



INSTALLATION NOTES

- WHEN PLACING THE FIRST LIFTS OF BACKFILL IT IS IMPORTANT TO MAKE SURE THAT THE BACKFILL IS PROPERLY COMPACTED UNDER AND AROUND THE PIPE HAUNCHES.
- OTHER ALTERNATE BACKFILL MATERIAL MAY BE ALLOWED DEPENDING ON SITE SPECIFIC CONDITIONS, AS APPROVED BY SITE ENGINEER.
- AN HDPE MEMBRANE LINER WILL BE PLACED ON THE CROWN OF EACH PIPE TO PROVIDE AN IMPERMEABLE BARRIER AGAINST ENVIRONMENTAL CHANGES THAT MAY ADVERSELY AFFECT THE SYSTEM OVER TIME. PLEASE REFER TO THE CORRUGATED METAL PIPE DETENTION DESIGN GUIDE FOR ADDITIONAL TECHNICAL DETAILS.

TABLE 2: PERFORATED STANDARD

MATERIAL LOCATION	MATERIAL SPECIFICATION	DESCRIPTION
FILL ENVELOPE WIDTH	PER ENGINEER OF RECORD	MINIMUM TRENCH WIDTH MUST ALLOW ROOM FOR PROPER COMPACTION OF YOUR CONTACT REPRESENTATIVE FOR NONSTANDARD SPACING. PIPE > 12": 3.0 PIPE > 12": 1.5D + 12"
FOUNDATION	AASHTO M 26.5.2 - PER ENGINEER OF RECORD	PRIOR TO RECORDING THE BEDDING, THE FOUNDATION MUST BE CONSTRUCTED TO A UNIFORM AND STABLE GRADE. IN THE EVENT THAT UNSUITABLE FOUNDATION MATERIALS ARE ENCOUNTERED DURING EXCAVATION, THEY SHALL BE REMOVED AND FOUNDATION BROUGHT BACK TO GRADE WITH A FILL MATERIAL APPROVED BY THE ENGINEER OF RECORD.
BEDDING	AASHTO M 43, 3, 357, 4, 467, 5, 56, 57	ENGINEER OF RECORD TO DETERMINE IF BEDDING IS REQUIRED. PIPE MAY BE PLACED ON THE TRENCH BOTTOM OF A RELATIVELY LOOSE, NATIVE SUITABLE WELL GRADED GRANULAR MATERIAL THAT IS ROUGHLY SHAPED TO FIT THE BOTTOM OF THE PIPE, 2" MIN DEPTH. THE BEDDING MATERIAL MAY BE SUITABLE OPEN GRADED GRANULAR BEDDING CONFORMING TO AASHTO SOIL CLASSIFICATIONS AT 1, 2, OR A3 WITH MAXIMUM PARTICLE SIZE OF 3" PER AASHTO M 26.5.1
BACKFILL	FREE-DRAINING, ANGULAR, NATURALLY OCCURRING WASHED-STONE PER M 43, 3, 357, 4, 467, 5, 56, 57 OR AASHTO M 26.5.2	HAUNCH ZONE MATERIAL SHALL BE HAND SHOVELED OR SHOVEL SLICED INTO PLACE TO ALLOW FOR PROPER COMPACTION WITHOUT SOFT SPOTS. BACKFILL SHALL BE PLACED IN 8" +/- LOOSE LIFTS AND COMPACTED TO 90% STANDARD PROCTOR PER AASHTO T 99. BACKFILL SHALL BE PLACED SUCH THAT THERE IS NO MORE THAN 1" (10") DIFFERENTIAL BETWEEN ANY OF THE PIPES AT ANY TIME DURING THE BACKFILL PROCESS. THE BACKFILL SHOULD BE ADVANCED ALONG THE LENGTH OF THE SYSTEM TO AVOID DIFFERENTIAL LOADING. WHERE CONVENTIONAL COMPACTION TESTING IS NOT PRACTICAL, THE MATERIAL SHALL BE MECHANICALLY COMPACTED UNTIL NO FURTHER YIELDING OF MATERIAL IS OBSERVED UNDER THE COMPACTOR. AREAS WITH HIGH WATER TABLE FLUCTUATIONS THAT INTERACT WITH THE PIPE ZONE, CONSIDER INSTALLING A GEOTEXTILE SEPARATION LAYER TO PREVENT SOIL MIGRATION.
COVER MATERIAL	UP TO MIN. COVER - AASHTO M 145: A-1, A-2, A-3 ABOVE MIN. COVER - PER ENGINEER OF RECORD	COVER MATERIAL MAY INCLUDE NON-BITUMINOUS, GRANULAR ROADBASE MATERIAL WITHIN MIN COVER LIMITS
RIGID OR FLEXIBLE PAVEMENT (IF APPLICABLE)	PER ENGINEER OF RECORD	FLEXIBLE PAVEMENT SHOULD NOT BE COUNTED AS PART OF THE FILL HEIGHT OVER THE CMP FINAL BACKFILL MATERIAL. SELECTION AND COMPACTION REQUIREMENTS SHALL FOLLOW THE PROJECT PLANS AND SPECIFICATIONS PER THE ENGINEER OF RECORD.
OPTIONAL SIDE GEOTEXTILE	NONE	GEOTEXTILE LAYER IS RECOMMENDED ON SIDES OF EXCAVATION TO PREVENT SOIL MIGRATION.
GEOTEXTILE BETWEEN LAYERS	NONE	IF SOIL TYPES DIFFER AT ANY POINT ABOVE PIPE INVERT, A GEOTEXTILE LAYER IS RECOMMENDED TO BE PLACED BETWEEN THE LAYERS TO PREVENT SOIL MIGRATION.

NOTES

- FOR MULTIPLE BARREL INSTALLATIONS, THE RECOMMENDED STANDARD SPACING BETWEEN PARALLEL PIPE RUNS SHALL BE THE PIPE DIAMETER / 2 BUT NO LESS THAN 12" FOR DIAMETERS < 72". FOR 72" AND LARGER DIAMETERS, THE MINIMUM SPACING IS 36". CONTACT YOUR CONTACT REPRESENTATIVE FOR NONSTANDARD SPACING.
- APPROVED REGIONAL EQUIVALENTS FOR SECTION 5 INCLUDE CA-7, M107, 6A, 6A, OR 5G, PROVIDED THEY MEET THE PARTICLE SIZES INDICATED.

MANUFACTURER RECOMMENDED BACKFILL

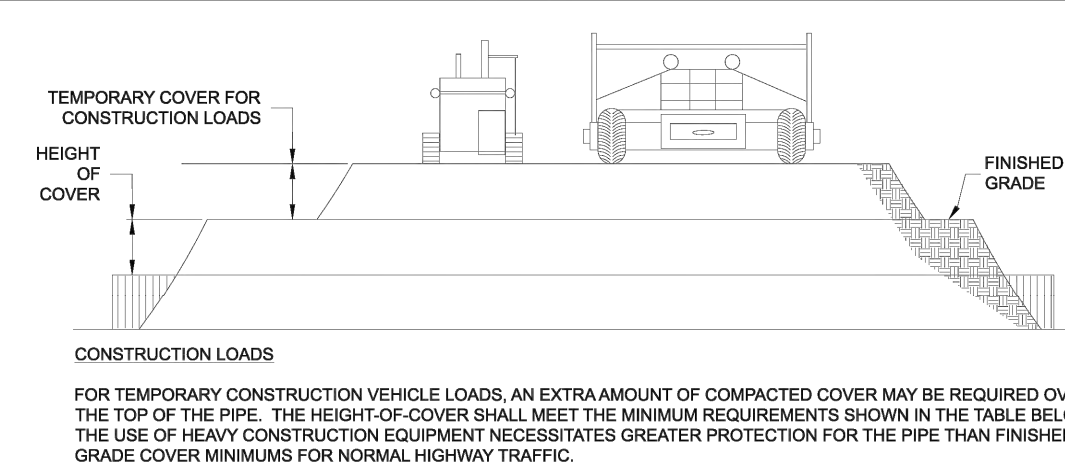
NOT TO SCALE

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CONTECH
CMP DETENTION SYSTEMS
DYODS
DRAWING

DYO102471 Tiseo - Farmington
Detention System
Farmington, MI
DETENTION SYSTEM

PROJECT NO. 75500
DESIGNED BY DYO
CHECKED BY DYO
SHEET NO. 1



CONSTRUCTION LOADING DIAGRAM

SCALE: N.T.S.

SPECIFICATION FOR DESIGNED DETENTION SYSTEM:

- SCOPE: THIS SPECIFICATION COVERS THE MANUFACTURE AND INSTALLATION OF THE DESIGNED DETENTION SYSTEM DETAILED IN THE PROJECT PLANS.
- MATERIAL: THE MATERIAL SHALL CONFORM TO THE APPLICABLE REQUIREMENTS LISTED BELOW.
- ALUMINIZED TYPE 2 STEEL COILS SHALL CONFORM TO THE REQUIREMENTS OF AASHTO M-274 OR ASTM A-92.
- THE GALVANIZED STEEL COILS SHALL CONFORM TO THE REQUIREMENTS OF AASHTO M-274 OR ASTM A-92.
- THE POLYMER COATED STEEL COILS SHALL CONFORM TO THE REQUIREMENTS OF AASHTO M-274 OR ASTM A-92.
- THE ALUMINUM COILS SHALL CONFORM TO THE APPLICABLE OF AASHTO M-197 OR ASTM B-744.
- CONSTRUCTION LOADS: CONSTRUCTION LOADS MAY BE HIGHER THAN FINAL LOADS. FOLLOW THE MANUFACTURER'S OR NSCPA GUIDELINES.
- NOTE: THESE DRAWINGS ARE FOR CONCEPTUAL PURPOSES AND DO NOT REFLECT ANY LOCAL PREFERENCES OR REGULATIONS. PLEASE CONTACT YOUR LOCAL CONTECH REP FOR MODIFICATIONS.
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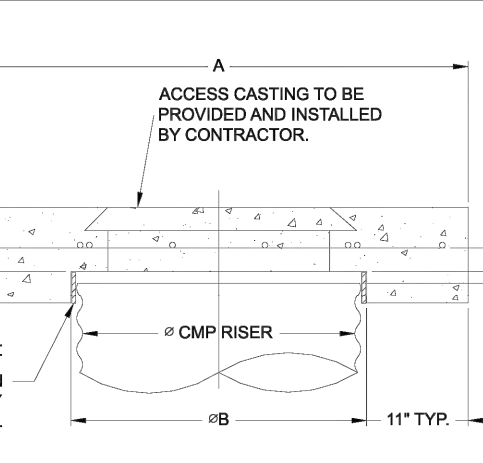
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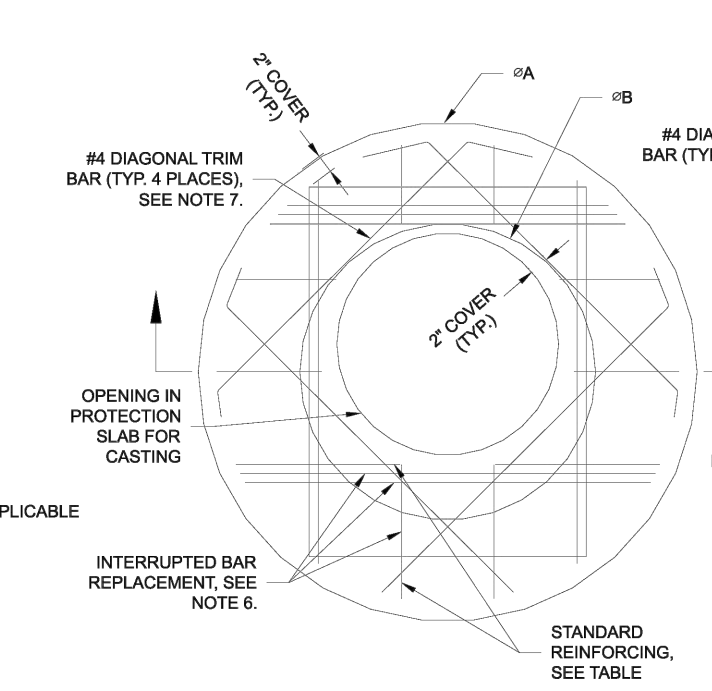
CONTECH
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DRAWING

DYO102471 Tiseo - Farmington
Detention System
Farmington, MI
DETENTION SYSTEM

PROJECT NO. 75500
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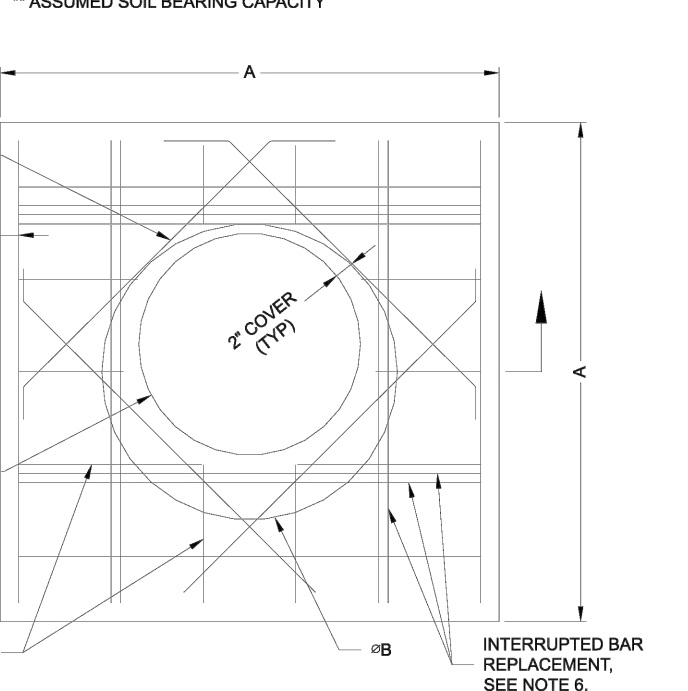
SECTION VIEW



ROUND OPTION PLAN VIEW

Ø CMP RISER	A	Ø B	REINFORCING	**BEARING PRESSURE (PSF)
24"	4"	26"	#5 @ 12" OCEW #5 @ 12" OCEW	2,410 1,760
30"	4"	32"	#5 @ 12" OCEW #5 @ 12" OCEW	2,120 1,530
36"	5"	38"	#5 @ 10" OCEW #5 @ 10" OCEW	1,860 1,350
42"	5"	44"	#5 @ 10" OCEW #5 @ 10" OCEW	1,720 1,210
48"	6"	50"	#5 @ 8" OCEW #5 @ 8" OCEW	1,600 1,100

** ASSUMED SOIL BEARING CAPACITY



SQUARE OPTION PLAN VIEW

NOTES:

- DESIGN IN ACCORDANCE WITH AASHTO, 17th EDITION.
- DESIGN LOAD HS25.
- EARTH COVER = 1' MAX.
- CONCRETE STRENGTH = 3,500 psi
- REINFORCING STEEL = ASTM A615, GRADE 60.
- PROVIDE ADDITIONAL REINFORCING AROUND OPENINGS EQUAL TO THE BARS INTERRUPTED, HALF EACH SIDE. ADDITIONAL BARS TO BE IN THE SAME PLANE.
- TRIM OPENING WITH DIAGONAL #4 BARS, EXTEND BARS A MINIMUM OF 12" BEYOND OPENING, BEND BARS AS REQUIRED TO MAINTAIN BAR COVER.
- PROTECTION SLAB AND ALL MATERIALS TO BE PROVIDED AND INSTALLED BY CONTRACTOR.
- DETAIL DESIGN BY DELTA ENGINEERING, BINGHAMTON, NY.

MANHOLE CAP DETAIL

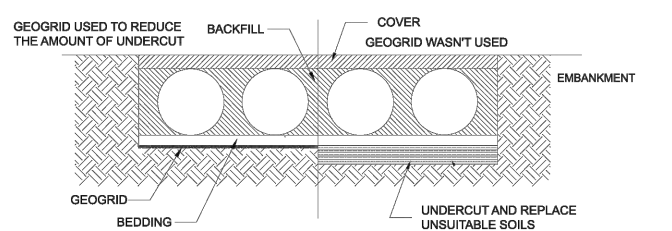
SCALE: N.T.S.

CMP DETENTION INSTALLATION GUIDE

PROPER INSTALLATION OF A FLEXIBLE UNDERGROUND DETENTION SYSTEM WILL ENSURE LONG-TERM PERFORMANCE. THE CONFIGURATION OF THESE SYSTEMS OFTEN REQUIRES SPECIAL CONSTRUCTION PRACTICES THAT DIFFER FROM CONVENTIONAL FLEXIBLE PIPE CONSTRUCTION. CONTECH ENGINEERED SOLUTIONS STRONGLY SUGGESTS SCHEDULING A PRE-CONSTRUCTION MEETING WITH YOUR LOCAL SALES ENGINEER TO DETERMINE IF ADDITIONAL MEASURES, NOT COVERED IN THIS GUIDE, ARE APPROPRIATE FOR YOUR SITE.

FOUNDATION

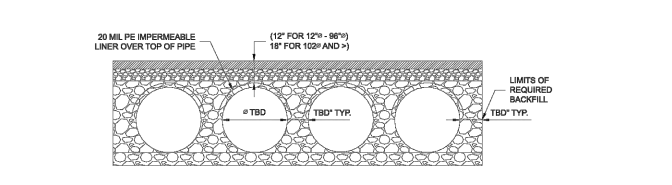
CONSTRUCT A FOUNDATION THAT CAN SUPPORT THE DESIGN LOADING APPLIED BY THE PIPE AND ADJACENT BACKFILL WEIGHT AS WELL AS MAINTAIN ITS INTEGRITY DURING CONSTRUCTION. IF SOFT OR UNSUITABLE SOILS ARE ENCOUNTERED, REMOVE THE POOR SOILS DOWN TO A SUITABLE DEPTH AND THEN BUILD UP TO THE APPROPRIATE ELEVATION WITH A COMPLETE BACKFILL MATERIAL. THE STRUCTURAL FILL MATERIAL GRADATION SHOULD NOT ALLOW THE MIGRATION OF FINES, WHICH CAN CAUSE SETTLEMENT OF THE DETENTION SYSTEM OR PAVEMENT ABOVE. IF THE STRUCTURAL FILL MATERIAL IS NOT COMPATIBLE WITH THE UNDERLYING SOILS AN ENGINEERING FABRIC SHOULD BE USED AS A SEPARATOR. IN SOME CASES, USING A STIFF REINFORCING GEOTEXTILE REDUCES OVER EXCAVATION AND REPLACEMENT FILL QUANTITIES.



GRADE THE FOUNDATION SUBGRADE TO A UNIFORM OR SLIGHTLY SLOPING GRADE. IF THE SUBGRADE IS CLAY OR RELATIVELY NON-POROUS AND THE CONSTRUCTION SEQUENCE WILL LAST FOR AN EXTENDED PERIOD OF TIME, IT IS BEST TO SLOPE THE GRADE TO ONE END OF THE SYSTEM. THIS WILL ALLOW EXCESS WATER TO DRAIN QUICKLY, PREVENTING SATURATION OF THE SUBGRADE.

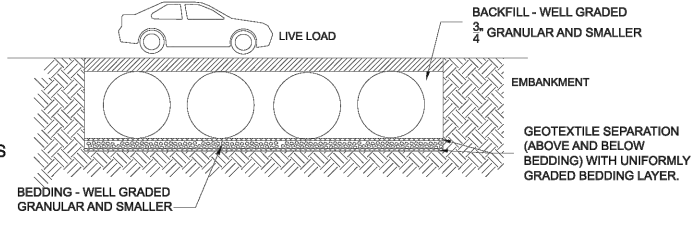
GEOMEMBRANE BARRIER

THE RESISTIVITY OF A PROJECT SITE MAY CHANGE OVER TIME DUE TO THE USE OF VARIOUS SALTING, DE-ICING, AND AGRICULTURAL AGENTS APPLIED ON OR NEAR THE AREA. TO MITIGATE THE POTENTIAL IMPACT OF THESE AGENTS, AN HDPE MEMBRANE LINER WILL BE INSTALLED ON THE CROWN OF EACH PIPE, CREATING AN IMPERMEABLE BARRIER. THIS MEASURE IS DESIGNED TO PROTECT THE SYSTEM FROM ENVIRONMENTAL CHANGES THAT COULD LEAD TO PREMATURE CORROSION AND REDUCE THE OVERALL SERVICE LIFE.



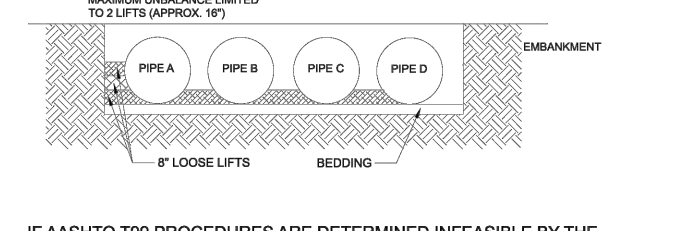
IN-SITU TRENCH WALL

IF EXCAVATION IS REQUIRED, THE TRENCH WALL NEEDS TO BE CAPABLE OF SUPPORTING THE LOAD THAT THE PIPE BEARS AS THE SYSTEM IS LOADED. IF SOILS ARE NOT CAPABLE OF SUPPORTING THESE LOADS, THE PIPE CAN DEFLECT. PERFORM A SIMPLE SOIL PRESSURE CHECK USING THE APPLIED LOADS TO DETERMINE THE LIMITS OF EXCAVATION BEYOND THE SPRING LINE OF THE OUTER MOST PIPES. IN MOST CASES THE REQUIREMENTS FOR A SAFE WORK ENVIRONMENT AND PROPER BACKFILL PLACEMENT AND COMPACTION TAKE CARE OF THIS CONCERN.



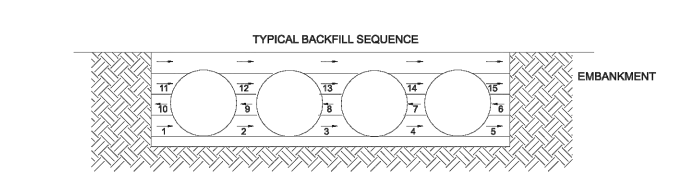
BACKFILL PLACEMENT

MATERIAL SHALL BE WORKED INTO THE PIPE HAUNCHES BY MEANS OF SHOVEL, SLICING, RODDING, AIR TAMPER, VIBRATORY ROD, OR OTHER EFFECTIVE METHODS.

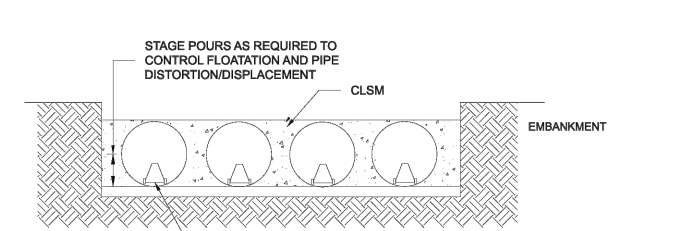


IF AASHTO T99 PROCEDURES ARE DETERMINED INFEASIBLE BY THE GEOTECHNICAL ENGINEER OF RECORD, COMPACTION IS CONSIDERED ADEQUATE WHEN NO FURTHER YIELDING OF THE MATERIAL IS OBSERVED UNDER THE COMPACTOR, OR UNDER FOOT AND THE GEOTECHNICAL ENGINEER OF RECORD (OR REPRESENTATIVE THEREOF) IS SATISFIED WITH THE LEVEL OF COMPACTION.

FOR LARGE SYSTEMS, CONVEYOR SYSTEMS, BACKHOES WITH LONG REACHES OR DRAGLINES WITH STONE BUCKETS MAY BE USED TO PLACE BACKFILL. ONCE MINIMUM COVER FOR CONSTRUCTION LOADING ACROSS THE ENTIRE WIDTH OF THE SYSTEM IS REACHED, ADVANCE THE EQUIPMENT TO THE END OF THE RECENTLY PLACED FILL, AND BEGIN THE SEQUENCE AGAIN UNTIL THE SYSTEM IS COMPLETELY BACKFILLED. THIS TYPE OF CONSTRUCTION SEQUENCE PROVIDES ROOM FOR STOCKPILED BACKFILL MATERIAL BEHIND THE BACKHOE, AS WELL AS THE MOVEMENT OF CONSTRUCTION TRAFFIC. MATERIAL STOCKPILES ON TOP OF THE BACKFILLED DETENTION SYSTEM SHOULD BE LIMITED TO 8' TO 10' FEET HIGH AND MUST PROVIDE BALANCED LOADING ACROSS ALL BARRELS TO DETERMINE THE PROPER COVER OVER THE PIPES TO ALLOW THE MOVEMENT OF CONSTRUCTION EQUIPMENT. SEE TABLE 1, OR CONTACT YOUR LOCAL CONTECH SALES ENGINEER.



WHEN FLOWABLE FILL IS USED, YOU MUST PREVENT PIPE FLOATATION. TYPICALLY, SMALL LIFTS ARE PLACED BETWEEN THE PIPES AND THEN ALLOWED TO SET UP PRIOR TO THE PLACEMENT OF THE NEXT LIFT. THE ALLOWABLE THICKNESS OF THE CLSM LIFT IS A FUNCTION OF A PROPER BALANCE BETWEEN THE UPLIFT FORCE OF THE CLSM, THE OPPOSING WEIGHT OF THE PIPE, AND THE EFFECT OF OTHER RESTRAINING MEASURES. THE PIPE CAN CARRY LIMITED FLUID PRESSURE WITHOUT PIPE DISTORTION OR DISPLACEMENT, WHICH ALSO AFFECTS THE CLSM LIFT THICKNESS. YOUR LOCAL CONTECH SALES ENGINEER CAN HELP DETERMINE THE PROPER LIFT THICKNESS.

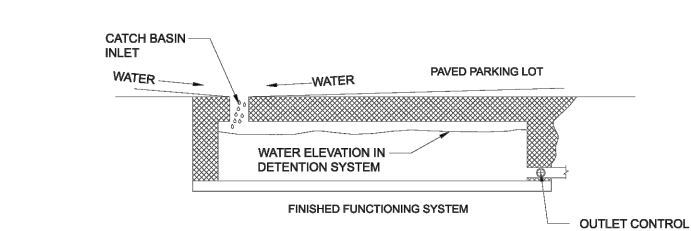


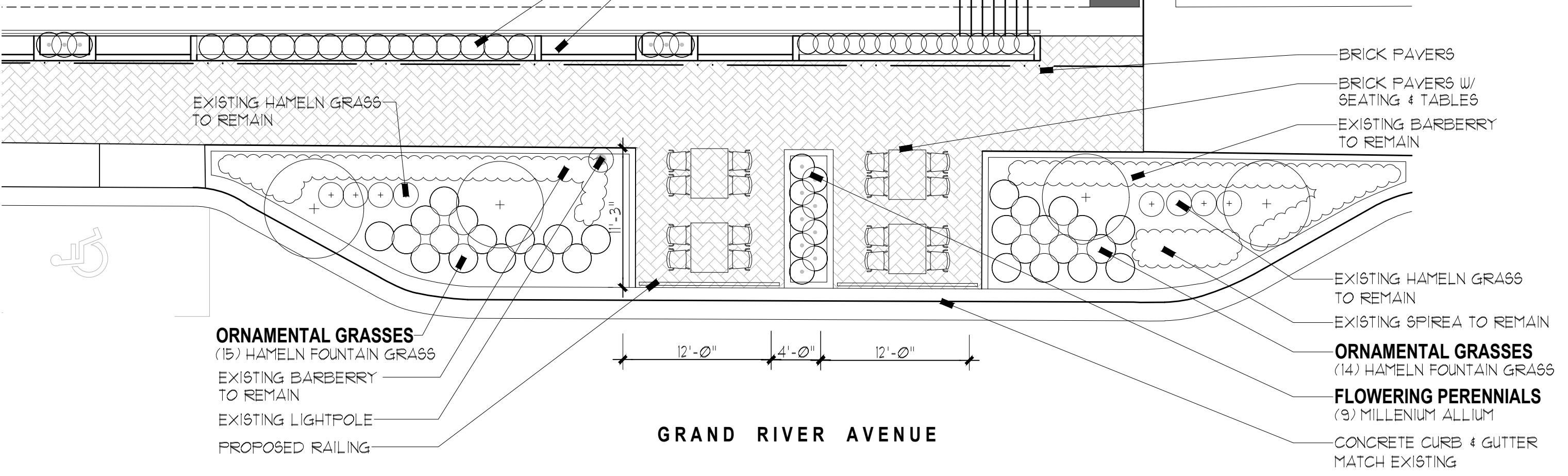
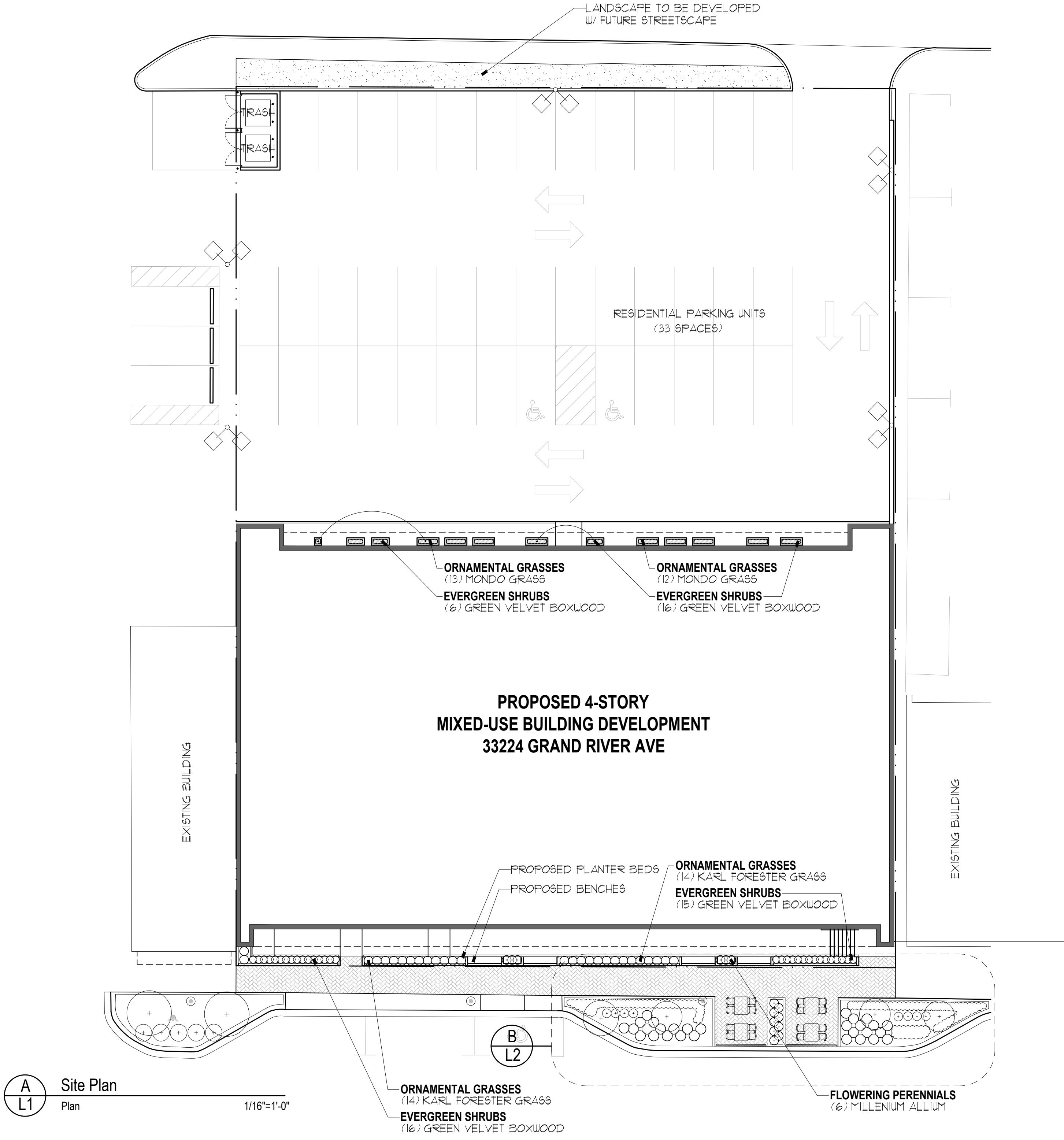
CONSTRUCTION LOADING

TYPICALLY, THE MINIMUM COVER SPECIFIED FOR A PROJECT ASSUMES H-20 LIVE LOAD. BECAUSE CONSTRUCTION LOADS OFTEN EXCEED DESIGN LIVE LOADS, INCREASED TEMPORARY MINIMUM COVER REQUIREMENTS ARE NECESSARY. SINCE CONSTRUCTION EQUIPMENT VARIES FROM JOB TO JOB, IT IS BEST TO ADDRESS EQUIPMENT SPECIFIC MINIMUM COVER REQUIREMENTS WITH YOUR LOCAL CONTECH SALES ENGINEER DURING YOUR PRE-CONSTRUCTION MEETING.

ADDITIONAL CONSIDERATIONS

BECAUSE MOST SYSTEMS ARE CONSTRUCTED BELOW-GRADE, RAINFALL CAN RAPIDLY FILL THE EXCAVATION, POTENTIALLY CAUSING FLOATATION AND MOVEMENT OF THE PREVIOUSLY PLACED PIPES. TO HELP MITIGATE POTENTIAL PROBLEMS, IT IS BEST TO START THE INSTALLATION AT THE DOWNSTREAM END WITH THE OUTLET ALREADY CONSTRUCTED TO ALLOW A ROUTE FOR THE WATER TO ESCAPE. TEMPORARY DIVERSION MEASURES MAY BE REQUIRED FOR HIGH FLOWS DUE TO THE RESTRICTED NATURE OF THE OUTLET PIPE.





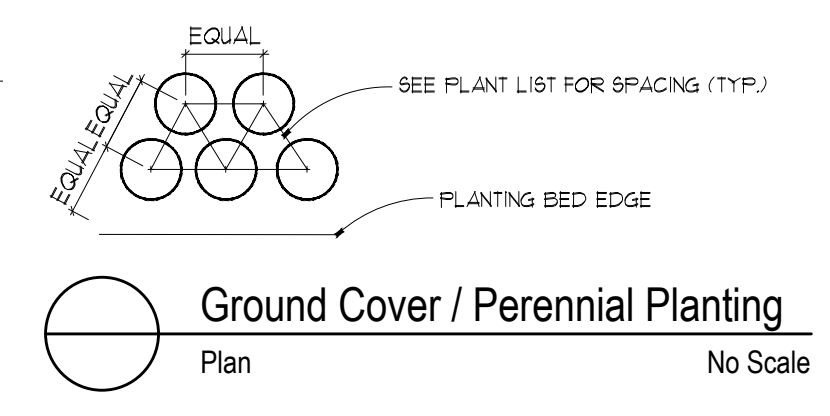
B
L2
Enlarged Planting Plan
Plan 1/8"=1'-0"

PLANT AND MATERIAL SCHEDULE						
Qty.	Botanical Name	Common Name	Size	Root	Comments	
Ornamental Grasses & Perennials						
29	Pennisetum alopecuroides 'Hameln'	Hameln Fountain Grass	1 gal.	Can	Space 26" o.c.	
53	Buxus x microphylla 'Green Velvet'	Green Velvet Boxwood	15-18"	B&B	Space 15" o.c.	
12	Allium 'Millenium'	Millenium Ornamental Onion	1 gal.	Can	Space 18" o.c.	
28	Calamagrostis x acutiflora 'Karl Forester'	Karl Forester Grass	1 gal.	Can	Space 24" o.c.	
25	Ophiopogon japonicus 'Nana'	Dwarf Mondo Grass	1 gal.	Can	Space 15" o.c.	
Materials						
3 cy	Shredded pine bark mulch (seasoned), 3" deep in perennial and groundcover beds, 4" depth in shrub/tree beds.					
7 cy	Planting mix - 3 parts well drained screened imported topsoil, to 1 part clean sand, to 1 part Canadian sphagnum peat moss.					

IRRIGATION

Retrofit and adjust existing irrigation to accomodate proposed landscape plantings in ROW beds.

Install new irrigation (drip) for planter bed along building foundation.



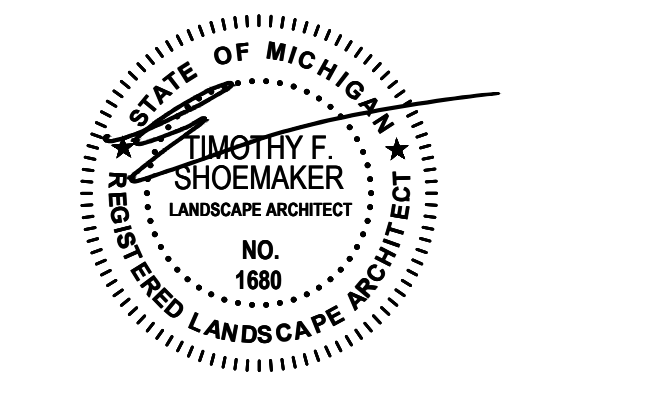
Farmington Village
33224 Grand River Ave
Farmington, MI 48336

PROJECT

PRELIMINARY

Landscape Development
LANDSCAPE PLAN

SHEET TITLE



See Detail

NORTH

SCALE

PROJECT NUMBER: 26126
DRAWN: M. Bayer
CHECKED: T. Shoemaker
DATE: April 27, 2026
REVISIONS: REVISIONS May 28, 2026

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Zoning Board of Appeals for the City of Farmington will meet at 7:00 p.m. on Tuesday, August 18th, 2026, in the Council Chambers, 23600 Liberty, Farmington, Michigan in accordance with Article XVIII of the Farmington City Code. All property owners within 300 feet of the site in question are being notified.

LOCATION: 33224 Grand River

SIDWELL: 20-23-27-153-021

ZONING: CBD, Central Business District

APPLICANT: Benedetto Tiseo – Developer (Purchase Agreement)

OWNER: Thibault Enterprises Inc.

APPEAL: Owner / Applicant requests a variance for:

1. A variance to section 35.104.A.4 Building Height, the existing grade of the property which slopes downward from west to east has more than 4 feet of fall. The proposed, allowable four (4) story structure will exceed the allowable height of 45 feet by 3.85 feet on the east end of the building. The overall average height increase is 1'11" and as proposed is not in compliance with the City of Farmington Zoning ordinance requiring the variance.
2. Further, the building has a parapet wall that screens roof top equipment. Section 35-42 limits the parapet wall height to Six (6) feet. The requested – proposed elevation has the parapet wall at a height of seven (7) feet, for a portion of the front (south) and rear (north) elevation, thus they are requesting a One (1) foot Variance to this zoning ordinance section.

This is a Public Hearing, and comments may be directed to the Board during the meeting. When replying by mail, write your comments on the back of this notice and address it to the **City of Farmington, Board of Zoning Appeals, 23600 Liberty Street, Farmington, MI 48335**. All written comments will be read at the meeting and become part of the record.

Jeffrey Bowdell, Building Inspector
Publish: August 1st, 2026 in the Oakland Press



AFFIDAVIT OF PUBLICATION

39949 Garfield Rd., Suite D, Clinton Twp., MI 48038

City of Farmington
23600 Liberty St.
Farmington, MI 48335

STATE OF MICHIGAN COUNTY OF OAKLAND

The undersigned, **NOELLE KLOMP** being duly sworn he/she is the principal clerk of **The Oakland Press**, published in the English language for the dissemination of local or transmitted news and intelligence of a general character, which are duly qualified newspapers, and the annexed hereto is a copy of certain order, notice, publication or advertisement of:

33224 Grand River - Jolene Leitner

Published in the following edition(s)

The Oakland Press: 14 Jun 2026

A handwritten signature in black ink, appearing to read 'Noelle Klomp'.

Signature of Principle Clerk

Noelle Klomp

Name of Principle Clerk

Sworn to and subscribed before me this 15 Jun 2026,

A handwritten signature in black ink, appearing to read 'Vicki Arsenault'.

Notary Public, State of Michigan
Acting in Oakland County

VICKI ARSENAULT
Notary Public - State of Michigan
County of Oakland
My Commission Expires 05/11/2032
Acting in the County of _____

Advertiser Name / ID: City of Farmington / 261172 - Ad ID: 87913-334547 - PO: - Affidavit ID: 26730



NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Zoning Board of Appeals for the City of Farmington will meet at 7:00 p.m. on Wednesday, July 1, 2026, in the Council Chambers, 23600 Liberty, Farmington, Michigan in accordance with Article XVIII of the Farmington City Code. All property owners within 300 feet of the site in question are being notified.

LOCATION: 33224 Grand River

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Jeffrey Bowdell, Building Inspector
Publish: June 14, 2026 in the Oakland Press

Advertiser Name / ID: City of Farmington / 261172 - Ad ID: 87913-334547 - PO: - Affidavit ID: 26730