



PLANNING COMMISSION MEETING
Monday, May 14, 2018 – 7:00 p.m.
City Council Chambers
23600 Liberty Street
Farmington, MI 48335

AGENDA

- 1. Roll Call**
- 2. Approval of Agenda**
- 3. Approval of Items on the Consent Agenda**
 - A. April 9, 2018 Minutes**
- 4. Site Plan Review for Façade Improvement and Outdoor Seating – Sidecar Slider Bar, 32720 Grand River Avenue**
- 5. Site Plan Review – 33705 Grand River Garage Addition**
- 6. Resolution in Support of The 8 Mile Boulevard Association Unifying Framework**
- 7. Discussion of City Master Plan Update**
- 8. Public Comment**
- 9. Planning Commission Comment**
- 10. Adjournment**

FARMINGTON PLANNING COMMISSION PROCEEDINGS
City Council Chambers, 23600 Liberty Street
Farmington, Michigan
April 9, 2018

Chairperson Crutcher called the Meeting to order at 7:00 p.m. at City Council Chambers, 23600 Liberty Street, Farmington, Michigan, on Monday, April 9, 2018.

ROLL CALL

Present: Chiara, Crutcher, Gronbach, Majoros, Perrot, Waun

Absent: Kmetzo

A quorum of the Commission was present.

OTHER OFFICIALS PRESENT: Director Christiansen, Recording Secretary Murphy

APPROVAL OF AGENDA

MOTION by Chiara, seconded by Majoros, to approve the Agenda.

Motion carried, all ayes.

APPROVAL OF ITEMS ON CONSENT AGENDA

a. March 12, 2018 Minutes

MOTION by Majoros, seconded by Chiara, to approve the items on the Consent Agenda.

Motion carried, all ayes.

SITE PLAN REVIEW – 33309 SHIAWASSEE ADDITION

Chairperson Crutcher introduced this agenda item and turned it over to staff.

Christiansen thanked the Chairman and stated that Section 13.02 of the Zoning Ordinance specifies uses subject to the site plan approval requirements in the Zoning Ordinance. Construction and renovation and expansion within the Historical District are subject to Planning Commission approval. The Code further states prior to submittal of the site plan to the Planning Commission, a site plan shall be submitted to the City's Historical Commission for review and comment. The City received an application from Pine Building Company, Inc. on behalf of James Schachern, 33309 Shiawassee, to construct a 557 square foot rear addition to the existing two-story single family residence. The design and location of the addition is shown on the plans and information that are attached with the staff report.

The Historical Commission reviewed the plans on March 22nd at its meeting in March and unanimously recommends approval of the plans as submitted.

The Planning Commission is to review the esthetics of the proposed addition and the addition as proposed is in accordance with the Zoning Board and its site plan requirements and the Building Department requirements of the single-family residential zoning district where this property is located.

If you look at your staff packet and up on screen we have this information as well. He showed an aerial photo of the subject property located on Shiawasse, single-family homes are adjacent to both the east, west and south of the property. He pointed out a photograph submitted by the Petitioner, the front view, front elevation of the existing home and the detached two-car garage. He showed a photograph of the rear of the single-family residence showing the rear of the house and also the existing deck. He showed another view of the rear from the southwest corner showing the addition as proposed. A picture of the adjacent property to the east at 33221 Shiawasse was also shown. A photograph of the property from the front was also put on the screen as well as the survey from the property showing the existing conditions. He indicated this is an area of older single-family homes, part of the Historic District.

He went over the floor layout as submitted by the Petitioner, showing the existing floor plan and stated the Petitioner is proposing to modify those areas and to expand the footprint of the home to the rear, so that the family room and deck area being enclosed and expanded into to create an expanded family room and a nook area, and modifications to the kitchen, and to the bathroom as well, a powder room and walk-in closet and walk-in pantry, so the bathroom becomes a powder room and a walk-in pantry in the kitchen. The master bedroom expansion takes some of the bathroom area, an expansion of the walk-in closet, and the expansion of the master bedroom includes a master bathroom. There is a relocation of the deck, a new deck.

The elevation drawings were shown that were submitted by the Petitioner, depicting the expanded family room, chimney area, flue and the nook, the nook area being where the deck is currently at. The new deck will be to the west that comes outside of the expanded master bedroom which accesses onto the deck and the east and west elevations were shown as well.

He reiterated these plans were reviewed by the Historical Commission at their March 22nd, 2018 meeting where they unanimously recommended for approval to the Planning Commission.

He stated the homeowner is present at the meeting and the contractor as well.

Crutcher thanked Christiansen and called the contractor to the podium.

Lou Aiello, from Pine Building Company, came to the podium and stated he would be happy to answer any questions the Commissioners might have.

Chiara asked when he anticipated starting the project and stated his office staff will schedule a date approximately two weeks after receiving the permit and bank approval for the financing.

Gronbach stated that customarily samples of the materials they are going to be used are brought to show the Planning Commission and asked if they would be compatible to the existing siding, and color scheme and the Petitioner stated they would match with what is on the home now.

Crutcher stated it looks like they are adding on to the footprint of the building and asked if it complied with all setback requirements and the Petitioner responded in the affirmative, that all setbacks are complied with. Crutcher stated that the site plan should reflect that and the Petitioner stated they would include it in the site plan.

Christiansen pointed out the existing survey of the property shows that the addition as proposed is in line with both the east side and the west side of the existing footprint of the house and goes into the rear and that the setback requirements are met.

MOTION by Gronbach, supported by Chiara, to approve the site plan addition at 33309 Shiawassee.

Motion carried, all ayes.

Waun thanked the homeowner for staying in the community and expanding his house.

James Schachern, 33309 Shiawassee, stated he loves the historical aspects of his home, that he grew up in a home like this and they planned on keeping the traditional look of the home and that the expansion will help by providing more room for him and his family. He thanked the Planning Commission for their approval.

PUBLIC COMMENT

None heard.

PLANNING COMMISSION COMMENTS

Commissioner Perrot stated that he had an opportunity to attend a workshop last month offered by the Michigan Association of Planning, a nonprofit organization that basically supports smaller communities to understand planning and the requirements thereof. He

indicated it was an excellent learning tool for both his seat on the Planning Commission and the Zoning Board of Appeals and would recommend it highly. He said he came away seeing how well off Farmington is as far as organization and Master Plan development and the Capital Improvement Plan and how all the plans fit in together.

He thanked City Administration for their help in getting him registered for the event and stated he is looking forward to more workshops in the future.

ADJOURNMENT

MOTION by Majoros, supported by Chiara, to adjourn the meeting.
Motion carried, all ayes.

The meeting was adjourned at 7:15 p.m.

Respectfully submitted,

Secretary

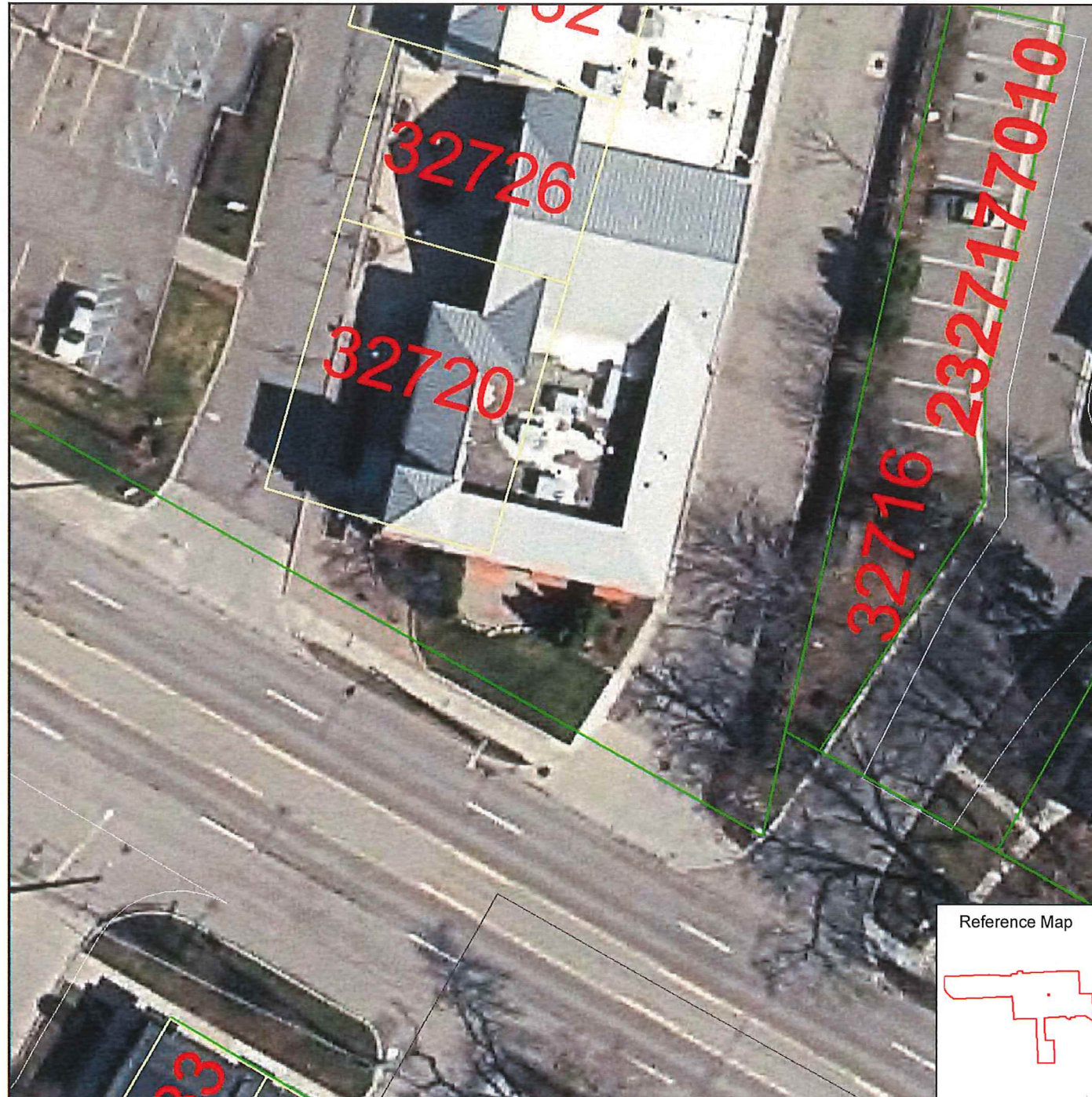
Farmington Planning Commission Staff Report	Planning Commission Date: May 14, 2018	Reference Number 4
Submitted by: Kevin Christiansen, Economic & Community Development Director		
Description Site Plan Review for Façade Improvement and Outdoor Seating – Sidecar Slider Bar, 32720 Grand River Avenue		
<p><u>Background</u></p> <p>The owner of Sidecar Slider Bar, Scot Pelc, has submitted a Site Plan Application for proposed façade improvements and outdoor seating for his new existing restaurant located at 32720 Grand River Avenue (formerly Bellacino’s) in the CBD Central Business District. Façade improvements and outdoor seating in the CBD requires review and approval by the Downtown Development Authority (DDA) and the Planning Commission. No changes regarding building dimensions or other site improvements are proposed. The DDA Design Committee is scheduled to review the proposed façade improvements and outdoor seating for Sidecar Slider Bar at their next meeting.</p> <p>The applicant/petitioner has submitted plans for the proposed façade improvements and outdoor seating area including a layout of the proposed outdoor seating area and the proposed outdoor seating tables and chairs, and fire pits. The applicant/petitioner intends to review the plans and site plan information with the Planning Commission at the May 14, 2018 meeting.</p> <p>Attachments</p>		



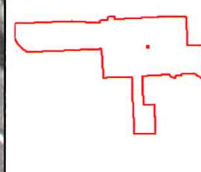
City of Farmington CivicSight Map

MAP LEGEND:

- CITY BOUNDARY
- / RIVERS-STREAMS
- MULTITENANTBUILDING (Type)
 - BUILT
 - PROPOSED
 - COMM_INDUST BLDGS
 - RAPHAEL STREET(POLY)2
 - RAPHAEL STREET(POLY)
 - PARCELS
 - ROADS OUTSIDE FARMINGTON
 - RIGHTOFWAY
 - MULTITENANTPAVING
 - ROW EXTEND
 - / LOT HISTORY
- OPEN WATER (FEATURETYP)
 - DetentionPond
 - StreamRiver
 - LakePond
 - Channel
 - SwampMarsh
- 2015 AERIAL PHOTOS (Image)



Reference Map



Map Scale: 1 inch = 32 feet

Map Date: 5/11/2018

Data Date: April 13, 2018

Sources: City of Farmington, Oakland County GIS Utility, River's Edge GIS, LLC.



Disclaimer:
Note: The information provided by this program has been compiled from recorded deeds, plats, taxmaps, surveys, and other public records and data. It is not a legally recorded map or survey and is not intended to be used as one. Users of this data are hereby notified that the information sources mentioned above should be consulted for verification of the information. Once again, USE AT YOUR OWN RISK !!!



CITY OF FARMINGTON

For office use only

Date Filed: _____

Fee Paid: _____

Site Plan Application

1. Project Name SIDECAR SLIDER BAN

2. Location of Property

Address 32720 GRAND RIVER AVE

Cross Streets _____

Tax ID Number _____

3. Identification

Applicant SCOT PERC

Address 32720 GRAND RIVER AVE

City/State/Zip FARMINGTON MI

Phone 313-410-0255 Fax _____

Interest in the Property (e.g. fee simple, land option, etc.)

Property Owner Other (Specify) TENANT

Property Owner JOHN G. LIADIS
FARMINGTON VILLAGE COMPLEX LLC

Address 3100 NORTHWIND HAVY SUITE 200

City/State/Zip FARMINGTON HILLS MI 48337

Phone _____ Fax _____

Preparer of Site Plan SCOPE DATA

Address 381 DEER PATH TRL

City/State/Zip WATERFORD MI 48327

Phone 248-739-6390 Fax 248-562-1450

4. Property Information

Total Acres _____

Lot Width _____ Lot Depth _____

Zoning District _____

Zoning District of Adjacent Properties to the

North _____ South _____ East _____ West _____

5. Use

Current Use of Property RESTAURANTS / RETAIL

Proposed Use

G Residential Number of Units _____

G Office Gross Floor Area _____

G Commercial Gross Floor Area _____

G Industrial Gross Floor Area _____

G Institutional Gross Floor Area _____

G Other _____ Gross Floor Area _____

Proposed Number of Employees _____

A copy of the complete legal description of the property and proof of property ownership should accompany this application.

I, Scot Pele (applicant), do hereby swear that the above statements are true.

[Signature] Date 4-20-18

[Signature] Date 4-26-18

Signature of Property Owner MEMBER, FARMINGTON VILLAGE COMPLEX LLC

I, _____ (property owner), hereby give permission for City of Farmington officials, staff, and consultants to go on the property for which the above referenced site plan is proposed for purposes of verifying information provided on the submitted application.

City Action

Approved/Denied: _____

Date: _____

By: _____

Conditions of Approval: _____



CITY OF FARMINGTON

Site Plan Review Checklist

a. Site Plan Descriptive and Identification Data	Provided	Not Provided
Site plans shall consist of an overall plan for the entire development, drawn to an engineer's scale of not less than 1 inch = 50 feet for property less than three acres, or one inch = 100 feet for property 3 acres or more in size	_____	_____
Sheet size shall be at least 24 x 36 inches	_____	_____
If a large development is shown in sections on multiple sheets, then one overall composite sheet shall be included	_____	_____
Title block with sheet number/title; name, address and telephone number of the applicant and firm or individual who prepared the plans; and date(s) of submission and any revisions (month, day, year)	_____	_____
Scale and north-point	_____	_____
Location map drawn to a separate scale with north-point, showing surrounding land uses, water features and streets within a quarter mile	_____	_____
"Not to be Used as Construction Drawings" must be noted on the site plan	_____	_____
Legal and common description of property	_____	_____
Identification and seal of registered or licensed architect, civil engineer, land surveyor, landscape architect or community planner who prepared drawings	_____	_____
Zoning classification of petitioner's parcel and all abutting parcels	_____	_____
Proximity to section corner and major thoroughfares	_____	_____
Net acreage (minus rights-of-way) and total acreage	_____	_____
b. Site Data	Provided	Not Provided
Existing lot lines, building lines, structures, parking areas and other improvements on the site and within 100 feet of the site	_____	_____

Where grading is proposed, topography on the site and within 100 feet of the site at two-foot contour intervals, referenced to a U.S.G.S. benchmark

_____	_____
_____	_____

Proposed lot lines, lot dimensions, property lines, setback dimensions, structures and other improvements on the site and within 100 feet of the site

_____	_____
_____	_____

Location of existing drainage courses, floodplains, rivers and MDEQ regulated wetlands with elevations

_____	_____
_____	_____

All existing and proposed easements

_____	_____
_____	_____

Details of exterior lighting including locations, height, fixtures, method of shielding and a photometric grid overlaid on the proposed site plan indicating the overall lighting intensity of the site (in footcandles)

_____	_____
_____	_____

Location of waste receptacle(s) and mechanical equipment and method of screening

_____	_____
_____	_____

Location, size, height and lighting of all proposed freestanding and wall signs

_____	_____
_____	_____

Location, size, height and material of construction for all walls or fences with cross-sections

_____	_____
_____	_____

Extent of any outdoor sales or display area

_____	_____
_____	_____

Location, height and outside dimensions of all storage areas and facilities

_____	_____
_____	_____

c. Access and Circulation

Provided

Not Provided

Dimensions, curve radii and centerlines of existing and proposed access points, roads and road rights-of-way or access easements

_____	_____
_____	_____

Driveways and intersections within 250 feet of site

_____	_____
_____	_____

Cross section details of existing and proposed roads, driveways, parking lots, sidewalks and pathways illustrating materials, width and thickness

_____	_____
_____	_____

Dimensions of acceleration, deceleration and passing lanes

_____	_____
_____	_____

Dimensions of parking spaces, islands, circulation aisles and loading zones

_____	_____
_____	_____

Radii for driveways and parking lot islands

_____	_____
_____	_____

Calculations for required number of parking and loading spaces	_____	_____
Designation of fire lanes	_____	_____
Traffic regulatory signs and pavement markings	_____	_____
Shared parking or access easements, where applicable	_____	_____

d. Landscape Plans (city reserves the right to require plans be prepared and sealed by a registered landscape architect)	Provided	Not Provided
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The general location, type and size of all existing plant material, with an identification of materials to be removed and materials to be preserved	_____	_____
Limits of grading and description of methods to preserve existing landscaping	_____	_____
The location of proposed lawns and landscaped areas	_____	_____
Landscape plan, including location, of all proposed shrubs, trees and other plant material	_____	_____
Planting list for proposed landscape materials with callper size or height of material, spacing of species, botanical and common names, and quantity	_____	_____
Calculations for required greenbelts, buffer zones, parking lot trees, detention ponds and interior landscaping	_____	_____
Method of installation and proposed dates of plant installation	_____	_____
Landscape maintenance program	_____	_____

e. Building and Structure Details	Provided	Not Provided
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Location, height, and outside dimensions of all proposed buildings or structures	_____	_____
Building floor plans and total floor area	_____	_____
Details on accessory structures and any screening	_____	_____
Building facade elevations for all sides, drawn at an appropriate scale	_____	_____
Method of screening for all ground-, building- and roof-mounted equipment	_____	_____

Description of exterior building materials including colors (samples or photographs may be required)

f. Information Concerning Utilities, Drainage and Related Issues	Provided	Not Provided
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Location of sanitary sewers and septic systems, existing and proposed

Location and size of existing and proposed water mains, water service, storm sewers and drains, and fire hydrants

Storm water retention and detention ponds, including grading, side slopes, depth, high water elevation, volume and outfalls

Location of above and below ground gas, electric and telephone lines, existing and proposed

Location of utility boxes

g. Additional Information Required for Multiple-family Residential Development	Provided	Not Provided
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The number and location of each type of residential unit (one bedroom units, two bedroom units, etc.)

Density calculations by type of residential unit (dwelling units per acre)

Garage and/or carport locations and details, if proposed

Mailbox clusters

Location, dimensions, floor plans and elevations of common building(s) (e.g., recreation, laundry, etc.), if applicable

Swimming pool fencing detail, including height and type of fence, if applicable

Location and size of recreation and open space areas

Indication of type of recreation facilities proposed for recreation area

h. Miscellaneous	Provided	Not Provided
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A general operations plan including description of the nature of the proposed use or activity, noise impacts, hours of operation, the number of employees, etc

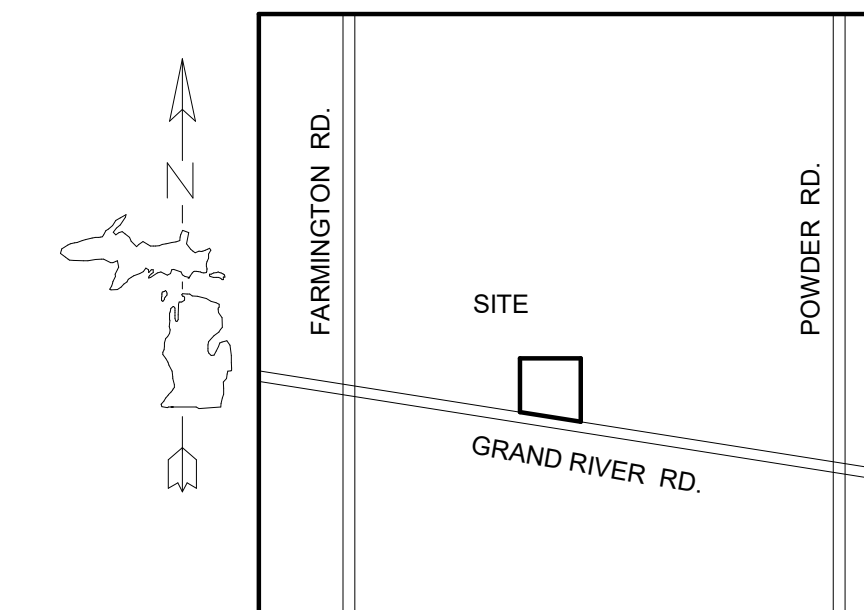
Assessment of potential impacts from the use, processing, or movement of hazardous materials or chemicals, if applicable

For additions and expansions, a clear distinction between existing buildings, structures and impervious surface areas and any proposed development must be made

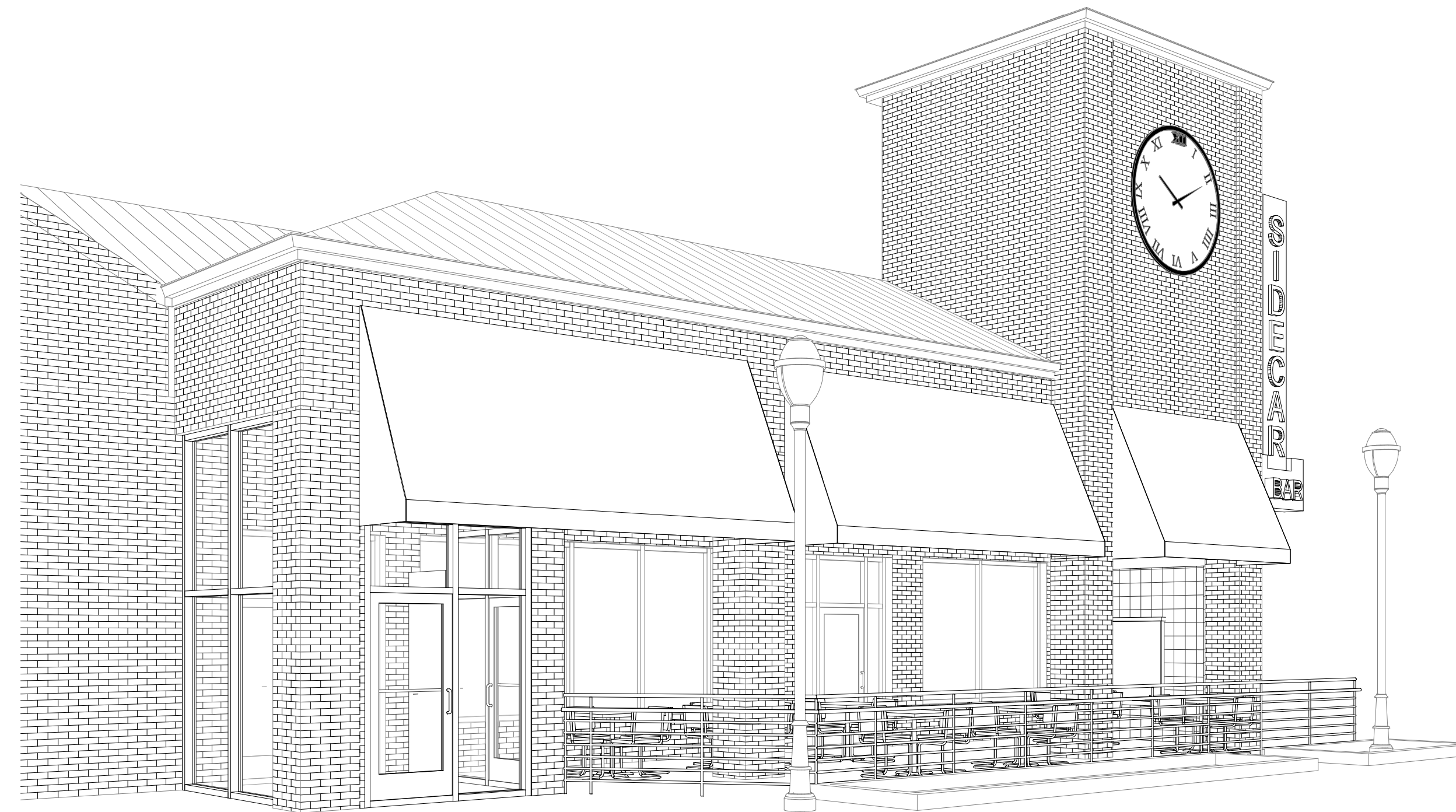
Any additional graphics or written materials requested by the planning commission to assist in determining the compliance with site plan or special land use standards, such as but not limited to: aerial photography; cross-sections which illustrate impacts on views and relationship to adjacent land uses; photographs; traffic impact studies and parking demand studies; and environmental impact studies; such information shall be prepared by a qualified individual or firm with experience in the specific discipline

SIDE CAR

32720 GRAND RIVER AVE
FARMINGTON, MI



4 EXISTING



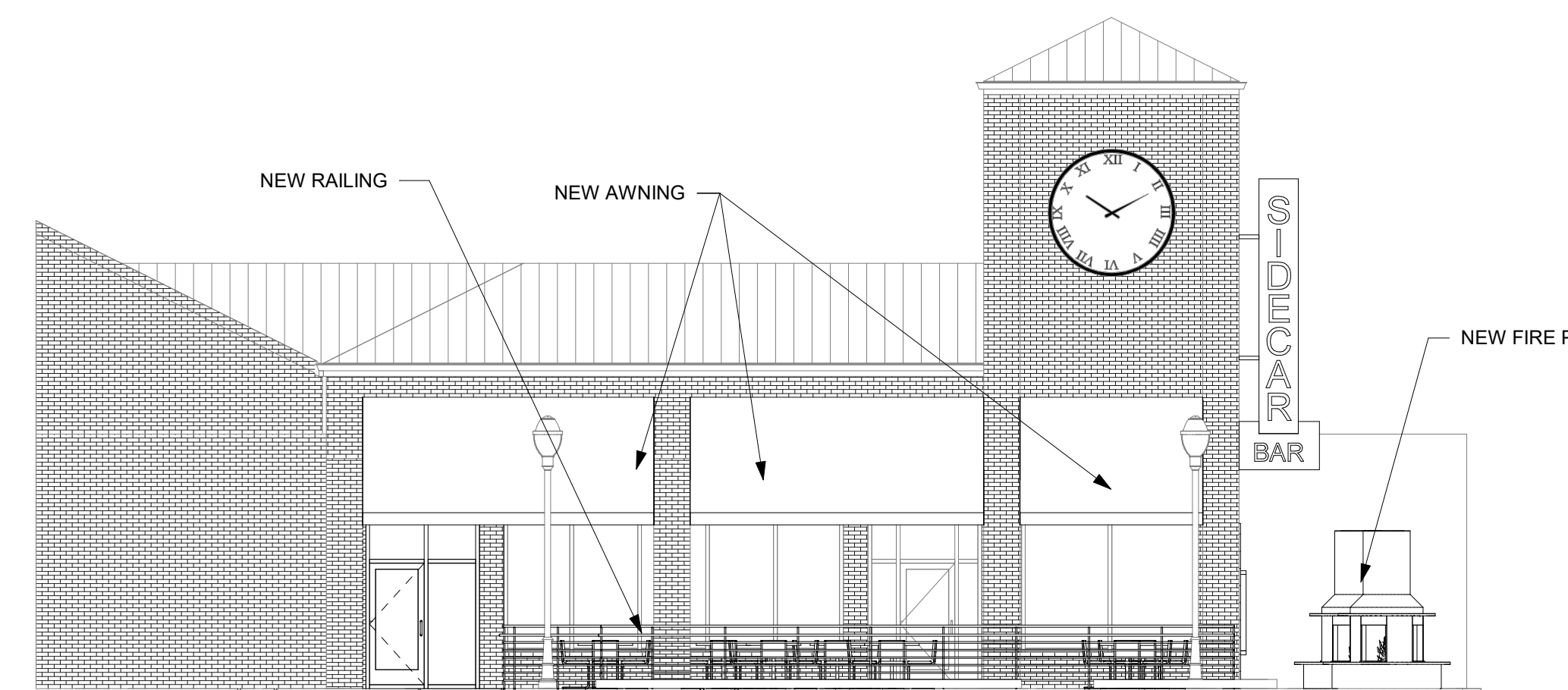
JURISDICTION:	FARMINGTON TWP
GOVERNING CODE:	1. 2015 MICHIGAN BUILDING CODE 2. 2015 MICHIGAN MECHANICAL CODE 3. 2015 MICHIGAN PLUMBING CODE 4. MICHIGAN ELECTRICAL CODE, 2011 NEC WITH PART 8 STATE AMENDMENTS 5. ICC/ANSI A 117-1-2003 AND MICHIGAN BARRIER FREE DESIGN LAW OF PUBLIC ACT 1 OF 1966 AS AMENDED 6. MICHIGAN UNIFORM ENERGY CODE RULES PART 10 WITH ANSI/ASHRAE/IESNA Standard 90.1-2007 7. INTERNATIONAL FIRE CODE 2009 APPROVED PLANS TO BE ON SITE AT ANY TIME PERMIT MUST BE OBTAINED FROM THE CITY PRIOR TO ANY TYPE OF WORK
USE GROUP:	A2
TYPE OF CONSTRUCTION	3B
BUILDING AREA:	3099
ZONING:	CBD
TOTAL OCCUPANTS	98 INTERIOR -28 EXTERIOR
NUMBER OF EGRESS	3 EXIT- BUILDING IS SPRINKLERED

GENERAL CONSTRUCTION NOTES:

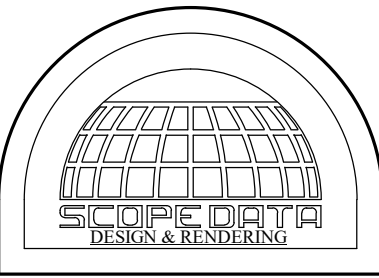
- THE SUB CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO BIDDING AND ASSUME FULL SUBCONTRACTOR RESPONSIBILITY FOR VISUAL OBSERVATION OF EXISTING CONDITIONS. DURING THE VISIT THE CONTRACTOR SHALL RELATE THE PROPOSED FLOOR PLANS TO THE EXISTING SPACE CONDITIONS AND BE FAMILIAR WITH THE AREAS WHERE WORK WILL BE PERFORMED. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES, IF ANY, PRIOR TO SUBMITTING THE BID AND START OF CONSTRUCTION.
- THE SUB CONTRACTOR SHALL ACCEPT THE SITE IN THE CONDITION IN WHICH IT EXISTS AT THE TIME OF THE CONTRACT AWARD. ALL EXCLUSIONS SHALL BE MADE ON THE BID PROPOSAL AND SUBMITTED TO THE OWNER FOR REVIEW.
- THE SUB CONTRACTOR SHALL PROVIDE ALL LABOR, EQUIPMENT, AND MATERIALS NECESSARY TO COMPLETE THE WORK SPECIFIED ON THE DRAWINGS AND HEREINAFTER SPECIFIED.
- LAYOUT OF THE WORK, LOCATION OF REFERENCES AND DIMENSIONS PER PLANS AND COORDINATE LOCATION OF ALL CHASES, OPENINGS, DUCTS, LINES, CONDUITS, FIXTURES AND EQUIPMENT.
- TEMPORARY PARTITIONS, DUST PROTECTORS, ENCLOSING OF OPENINGS, RAMPS AND CAT WALKS AS REQUIRED BY OSHA FOR SAFETY.
- NO ALLOWANCE SHALL BE MADE ON BEHALF OF THE CONTRACTOR ON ACCOUNT OF AN ERROR ON HIS PART OR HIS NEGLIGENCE OF FAILURE TO ACQUAINT HIMSELF WITH THE EXISTING CONDITIONS OF THE SPACE.
- USE MEANS NECESSARY TO PREVENT DUST FROM BECOMING A NUISANCE TO THE PUBLIC, GUESTS, OR OTHER WORK BEING PERFORMED NEAR THE SITE.
- THE SUB CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH THE FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS.
- MAINTAIN SAFE CONSTRUCTION ACCESS TO THE WORK AREA AT ALL TIMES AND POST WARNING SIGNS AT ALL PEDESTRIAN TRAVEL PATHS.
- ALL ASSOCIATED ELECTRICAL, PLUMBING, ETC. TO BE DEMOLISHED SHALL BE DISCONNECTED AND REMOVED TO THE SOURCE.
- EACH SUBCONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE CLEANUP OF DEBRIS AND CUTTING MATERIALS DAILY
- OWNER TO OBTAIN FINAL ENGINEERING REPORT IF NECESSARY



3 EXISTING ELEVATION
1/8" = 1'-0"



2 NEW LOOK ELEVATION
1/8" = 1'-0"



SCOPE DATA, LLC.
381 DEER PATH TRL
WATERFORD
MICHIGAN 48327
WWW.SCOPEDATA.COM

CONTACT NUMBER
PH: (248) 739-6390
FAX: (248) 562-1450

EMAIL:
INFO@SCOPEDATA.COM

PROJECT:
SIDE CAR

ADDRESS
32720 GRAND RIVER
AVE
FARMINGTON, MI

OWNER
Daniel Linnen

CONTRACTOR

SUBMITTALS

REVISIONS

#	Revision Date

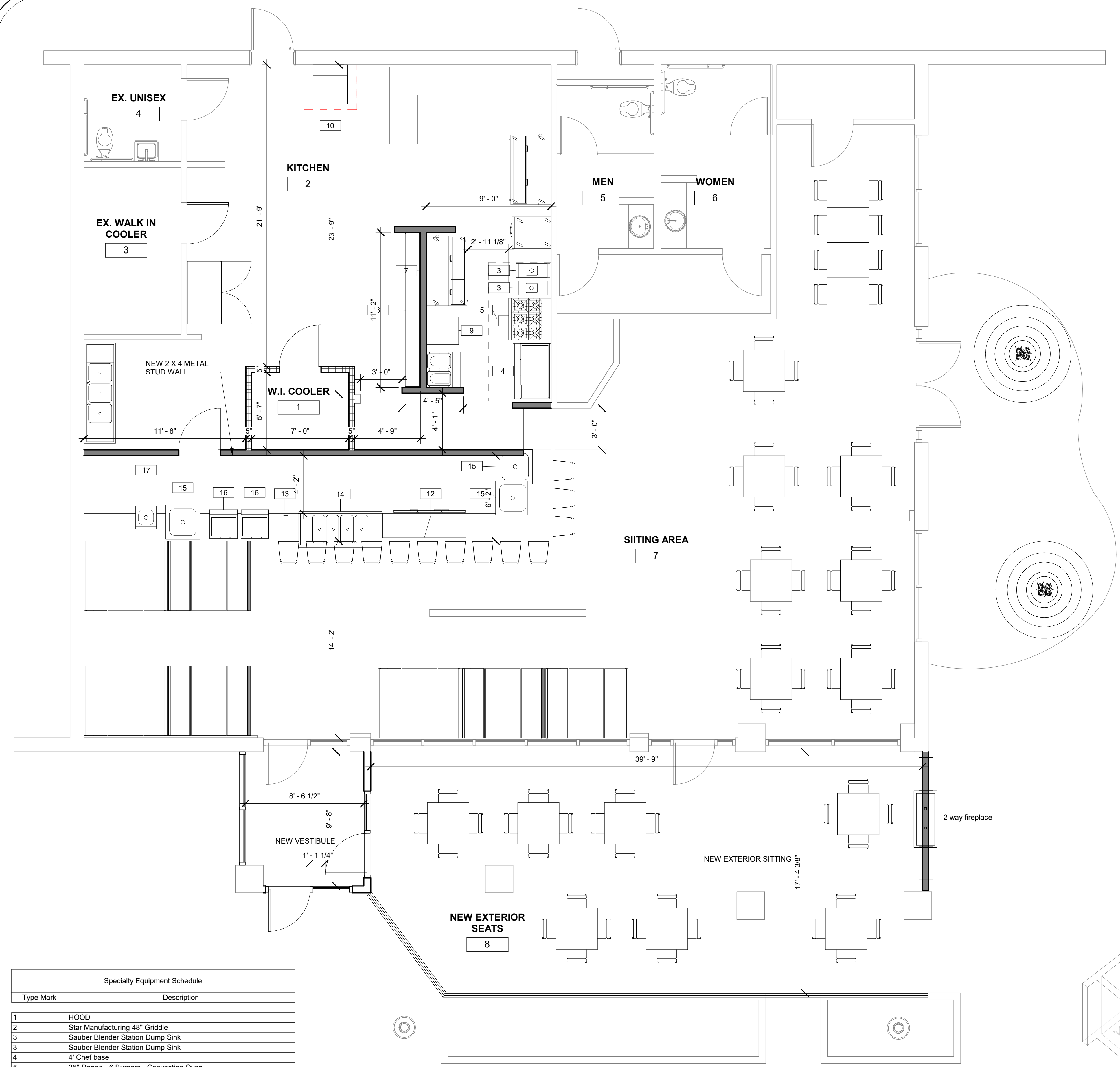
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DATE
03/22/18

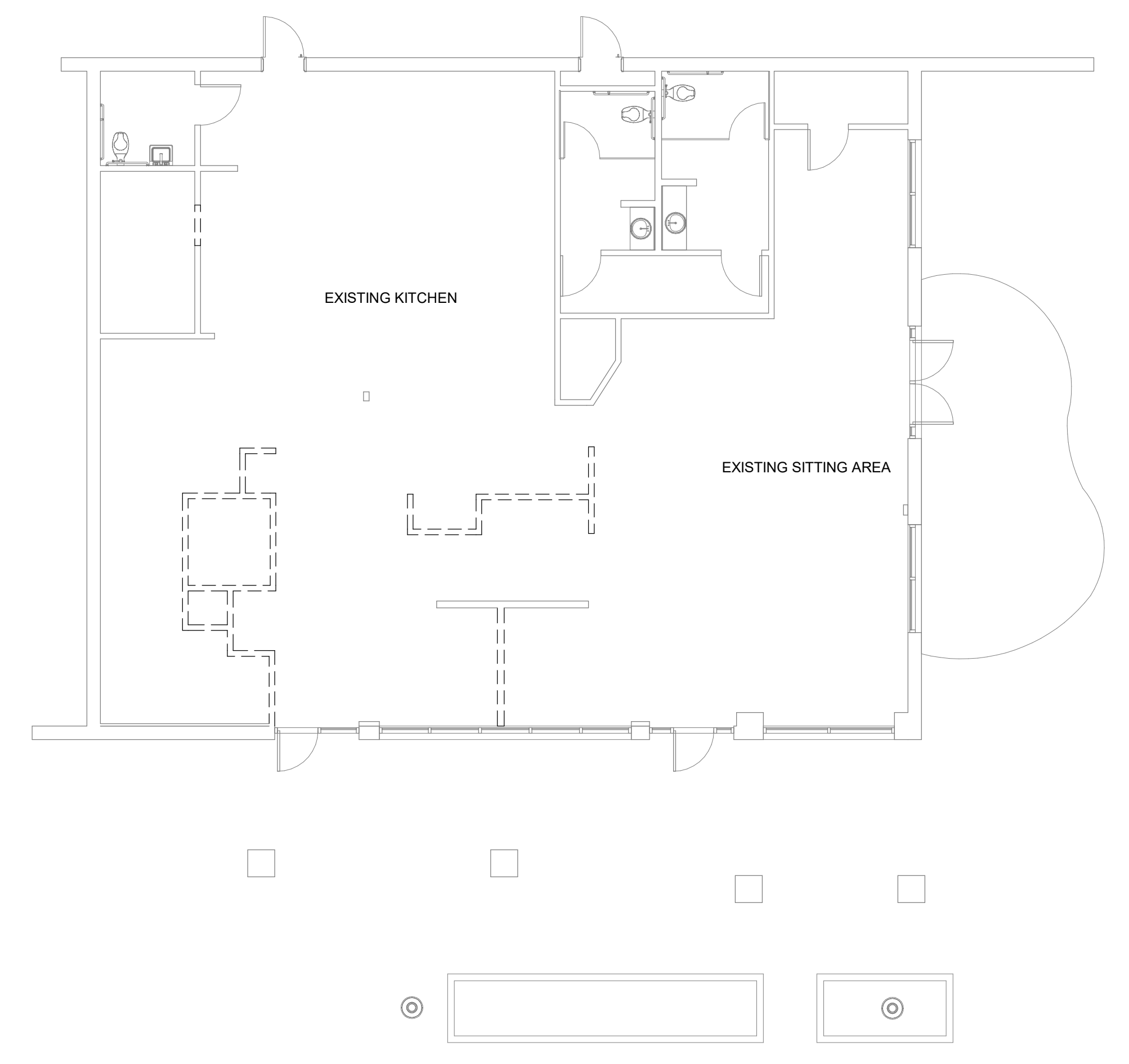
SCALE

SHEET TITLE
FLOOR PLAN

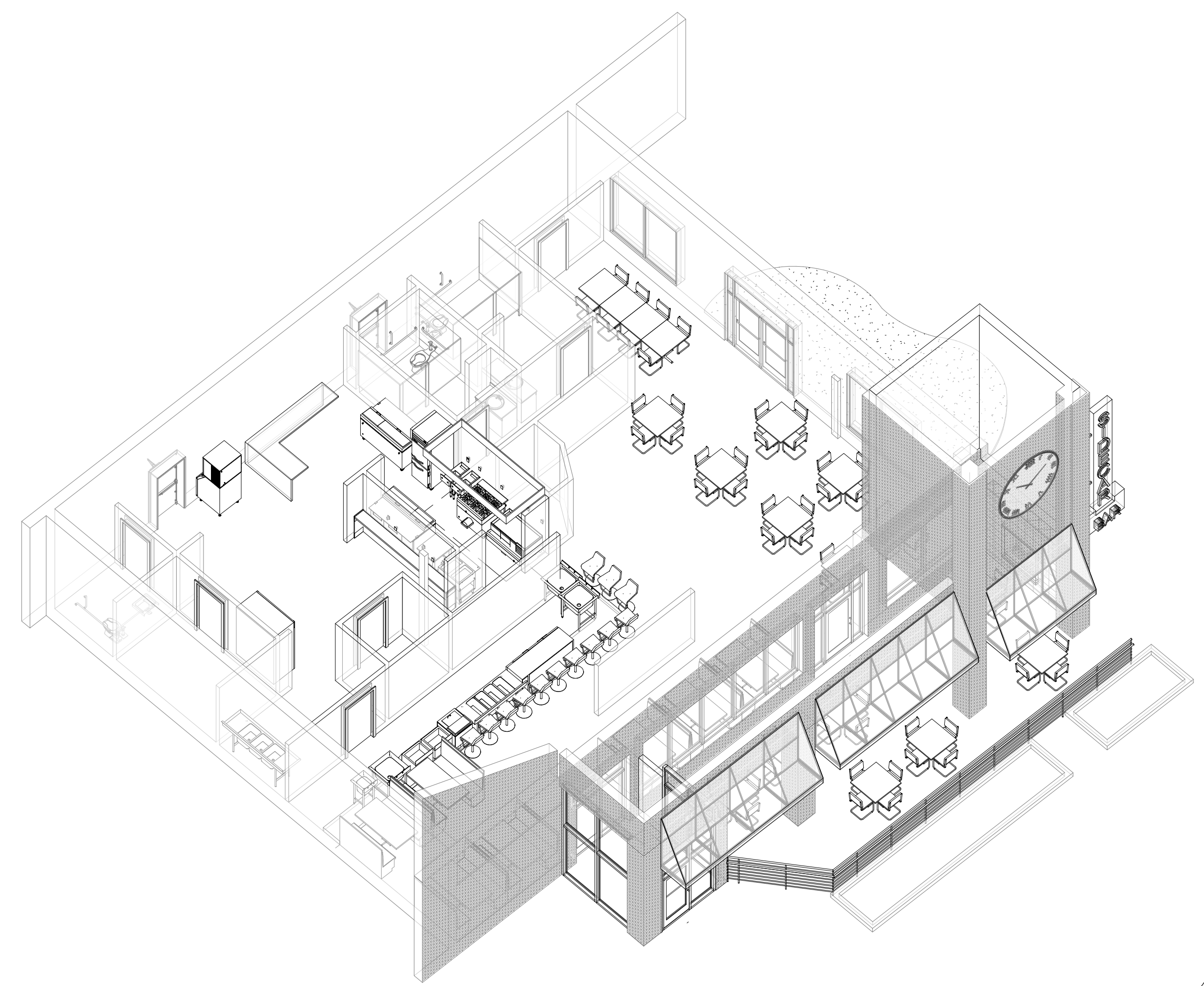
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A1



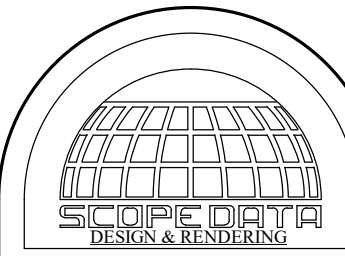
1 PROPOSED PLAN
1/4" = 1'-0"



3 EXISTING AND DEMO PLAN
1/8" = 1'-0"



Specialty Equipment Schedule	
Type Mark	Description
1	HOOD
2	Star Manufacturing 48" Griddle
3	Sauber Blender Station Dump Sink
3	Sauber Blender Station Dump Sink
4	4' Chef base
5	36" Range - 6 Burners - Convection Oven
6	DUCK ELECTRIC HOT FOOD UNITS W/ EXPOSED ELEMENTS
7	Berg 24 Pan 10"
8	Stainless steel shelves/ heat lamps
9	PREP TABLE
10	Manitowoc Ice Maker w/ Bin
7	Berg 24 Pan 10"
11	Reach-in Freezer
12	Beverage-Air 3-Keg
13	Beverage-Air 4.4 cu. ft.
14	Bar Sink
15	Stainless Steel Ice bin
15	Stainless Steel Ice bin
15	Stainless Steel Ice bin
16	ICE BIN
16	ICE BIN
17	HAND SINK
18	2 DOOR FREEZER



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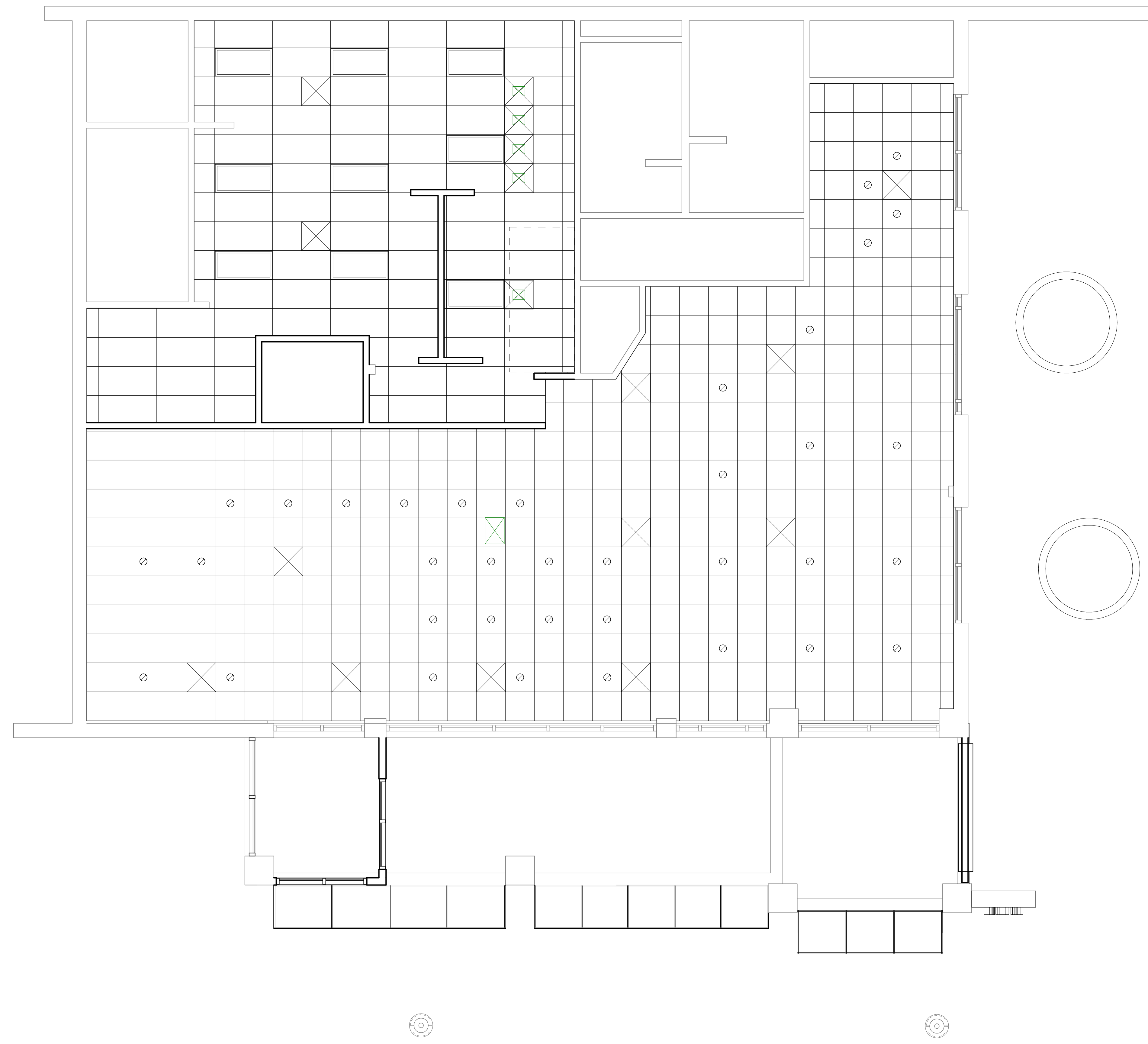
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DATE
 04/15/18

SCALE

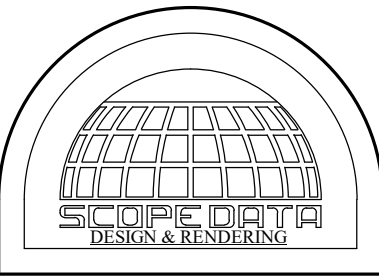
SHEET TITLE
 CEILING PLAN

SHEET #
 A2



1 REFLECTED CEILING PLAN
 1/4" = 1'-0"

11. LIGHTING AND POWER PANELBOARDS
- A. INTERIOR: FACTORY ASSEMBLED DEVICES.
- B. TRIMS: COVER LIFE PARTS WITH LOCKABLE. DOORS SHALL BE KEYPED ALIKE AND COMPLETE W/ TYPEWRITE DIRECTORY. PANELS SHALL INCLUDE NAME-PLATE AND SCREWED LABEL ON DOORS.
- C. ENCLOSURE: NEMA 1
- D. BUS: MAIN BUS, PLATED ALUMINUM OR COPPER. NEUTRAL BUS SHALL BE 100% -RATED.
- E. GROUND BUS: ALUMINUM
- F. RATING : APPROVED FOR APPLICATION AT 100% OF THE CONTINUOUS AMPERE RATING AND AS INDICATED ON DRAWINGS
- G. CIRCUIT BREAKERS: MOLDED CASE, HEAVY-DUTY, THERMAL-MAGNETIC, BOLT ON, QUICK-MAKE, QUICK BREAK. CIRCUIT BREAKERS CONTROLLING LIGHTING FIXTURES SHALL BE RATED TO BE USED AS SWITCHES. MANUFACTURERS: SQUARE D, CUTLER-HAMMER, CHALLENGER OR APPROVED EQUAL.
- H. LIGHTING PANELS SHALL BE EQUAL TO WESTINGHOUSE TYPE 'NLAB', 'NQP' ARRANGED FOR 1 120/208 VOLTS, 3 PHASE 4 WIRE, REFER TO PANEL SCHEDULE THIS SHEET BOLTED BREAKER.
12. FIXTURES & H.V.A.C.
- A. TIME CLOCK SHALL BE EQUAL TO "TORK" CAT. NO. 73002.
- B. THE ELECTRICAL CONTRACTOR SHALL RENDER ALL NECESSARY ASSISTANCE TO THE H.V.A.C. TRADE FOR CONNECTION OF ALL CONTROL WIRING AND INSTALLED BY THE H.V.A.C. CONTRACTOR.
- C. FOR ALL FLUORESCENT FIXTURES PROVIDE HOLDERS AND LOCKS.
13. INSTALLATION AND METHODS OF EXECUTION
- A. ALL WIRING SHALL BE IN CONDUIT. NO ROMEX OR BX, ETC., WILL BE PERMITTED UNLESS PLAINLY EXCEPTED ON THE DRAWINGS. FLEXIBLE CONDUIT SHALL BE USED FOR SHORT CONNECTION TO MOTORS, RECESSED LIGHTING FIXTURES, VIBRATING EQUIPMENT, ETC., BUT NEVER LONGER THAN SIX FEET.
- B. INSTALL SUPPORT SYSTEMS SIZED AND FASTENED TO ACCOMMODATE WEIGHT OF EQUIPMENT, CONDUIT AND WIRING.
2. USE TOGGLE BOLTS OR HOLLOW WALL FASTENERS IN HOLLOW MASONRY, PLASTER, OR GYPSUM BOARD PARTITIONS AND WALLS; SHEET METAL SCREWS IN SHEET METAL STUDS; AND WOOD SCREWS IN WOOD CONSTRUCTION.
3. DO NOT FASTEN SUPPORTS TO PIPING, CEILING SUPPORT WIRES, DUCT WORK, MECHANICAL EQUIPMENT, OR CONDUIT.
4. DO NOT USE POWDER -ACTUATED ANCHORS.
5. DO NOT DRILL, PUNCTURE OR WELD TO STRUCTURAL STEEL MEMBERS.
6. FABRICATE SUPPORTS FROM HOT DIP GALVANIZED STEEL CHANNELS, RIGIDLY WELDED OR BOLTED. STRUT BY B-LINE OR EQUIVALENT CAN BE USED.
7. INSTALL SURFACE -MOUNTED CABINETS, SAFETY SWITCHES AND PANELBOARDS WITH MINIMUM OF FOUR ANCHORS.
8. SUPPORT ALL ELECTRICAL EQUIPMENT CONDUITS ALSO CABLING PER NEC 300-11
9. SUPPORT ALL LOW VOLTAGE REMOTE CONTROL COMMUNICATION AND SIGNALING CONDUCTORS PER NEC 725-52
- C. PROVIDE TYPED DIRECTORY FOR PANELBOARD. INDICATE CIRCUIT BREAKER NUMBER, TYPE OF LOAD (LIGHTING, RECEPTACLE, FAN, EQUIPMENT, ETC. AND LOCATION OF LOAD).
14. WIRING DEVICES
- A. TOGGLE SWITCHES SHALL BE SPECIFICATION GRADE, 20 AMPERE, 120VOLT AC GROUNDED TYPE, AND SHALL BE MANUFACTURED BY ARROW HART, HUBBELL, OR BY LEVITON.
- B. RECEPTACLES SHALL BE SINGLE OR DUPLEX AS INDICATED, GROUNDING TYPE, SPECIFICATION GRADE, HEAVY DUTY, AND SHALL BE AS MANUFACTURED BY ARROW HART, HUBBELL, OR BY LEVITON.
- C. GFCI RECEPTACLES SHALL BE DUPLEX CONVENIENCE RECEPTACLES WITH INTEGRAL GROUND FAULT INTERRUPTER.
- D. PLATES SHALL MATCH THE DEVICE INSTALLED AND SHALL BE STAINLESS STEEL.
15. TELEPHONE SERVICE AND DATA SYSTEMS - ROUGH-IN TELEPHONE AND DATA OUTLETS WHERE SHOWN ON PLANS. EXTEND 3/4" CONDUIT TO NEAREST RISER POINT TO CEILING SPACE. OUTLET BOXES SHALL BE 4"x4"x2".
16. TESTING - ELECTRICAL CONTRACTOR SHALL PERFORM THE REQUIRED TESTING OF ALL ELECTRICAL EQUIPMENT, LIGHTING, DEVICES, SYSTEMS ETC., UPON COMPLETION OF HIS WORK. THE SYSTEM SHALL BE IN PERFECT WORKING CONDITION. ANY DEFECTS SHALL BE RECTIFIED AT NO EXTRA COST.
17. GUARANTEE - THE ELECTRICAL CONTRACTOR SHALL PROVIDE THE OWNER WITH A WRITTEN GUARANTEE COVERING MATERIAL AND WORKMANSHIP FOR ONE YEAR STARTS FROM THE DATE OF ACCEPTANCE BY THE OWNER.



SCOPE DATA, LLC.
381 DEER PATH TRL
WATERFORD
MICHIGAN 48327
WWW.SCOPEDATA.COM

CONTACT NUMBER
PH: (248) 739-6390
FAX: (248) 562-1450
EMAIL:
INFO@SCOPEDATA.COM

PROJECT:
SIDE CAR

ADDRESS
32720 GRAND RIVER
AVE
FARMINGTON, MI

OWNER
Daniel Linnen

CONTRACTOR

SUBMITTALS

REVISIONS
Revision Date

PROJECT NO

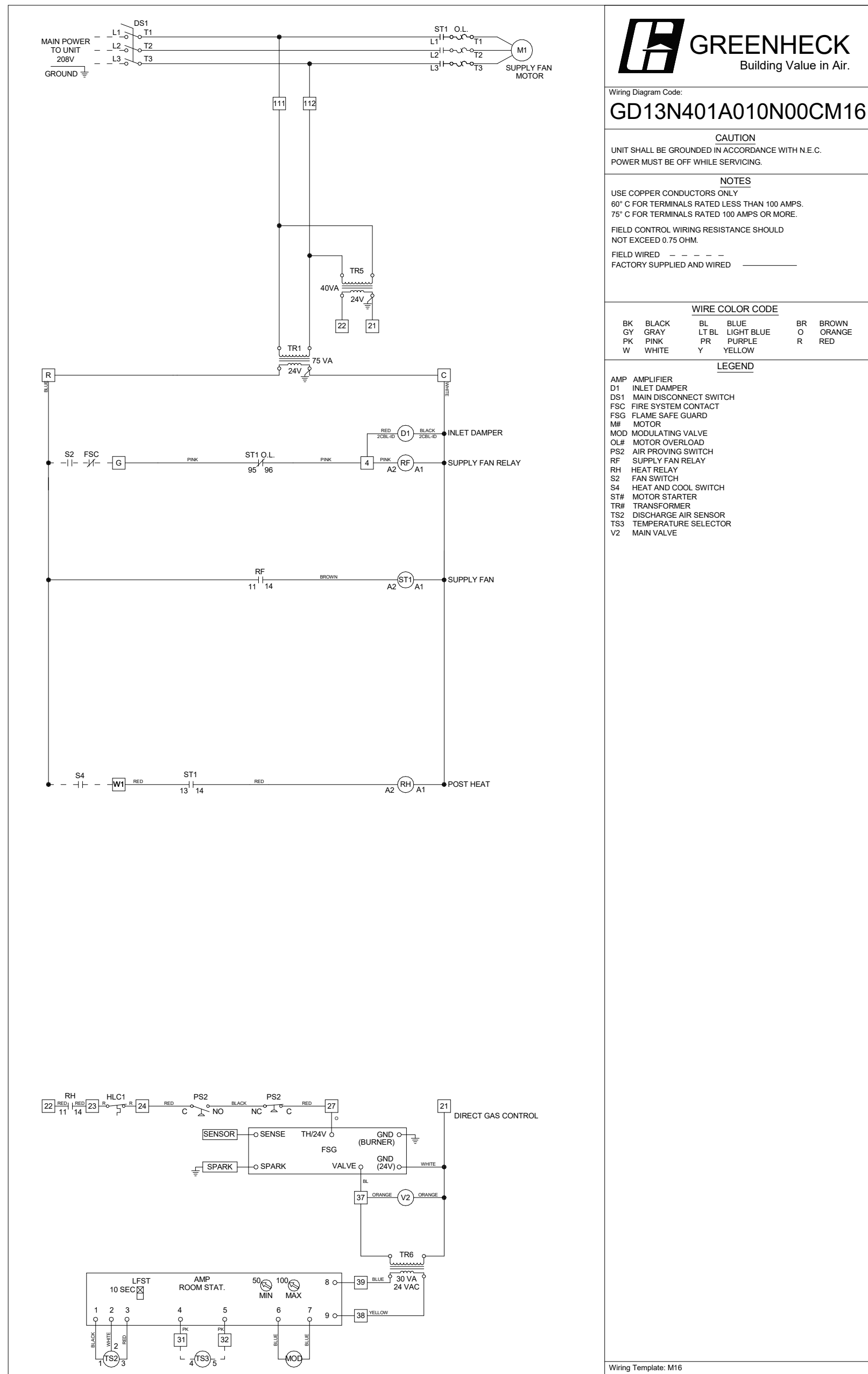
DATE
04/15/18

SCALE

SHEET TITLE
MAKE UP AIR UNIT

SHEET #

M2



GREENHECK
Building Value in Air.

Wiring Diagram Code:
GD13N401A010N00CM16

CAUTION
UNIT SHALL BE GROUNDED IN ACCORDANCE WITH N.E.C.
POWER MUST BE OFF WHILE SERVICING.

NOTES
USE COPPER CONDUCTORS ONLY
60° C FOR TERMINALS RATED LESS THAN 100 AMPS.
75° C FOR TERMINALS RATED 100 AMPS OR MORE.
FIELD CONTROL WIRING RESISTANCE SHOULD NOT EXCEED 0.75 OHM.
FIELD WIRED: ---
FACTORY SUPPLIED AND WIRED: _____

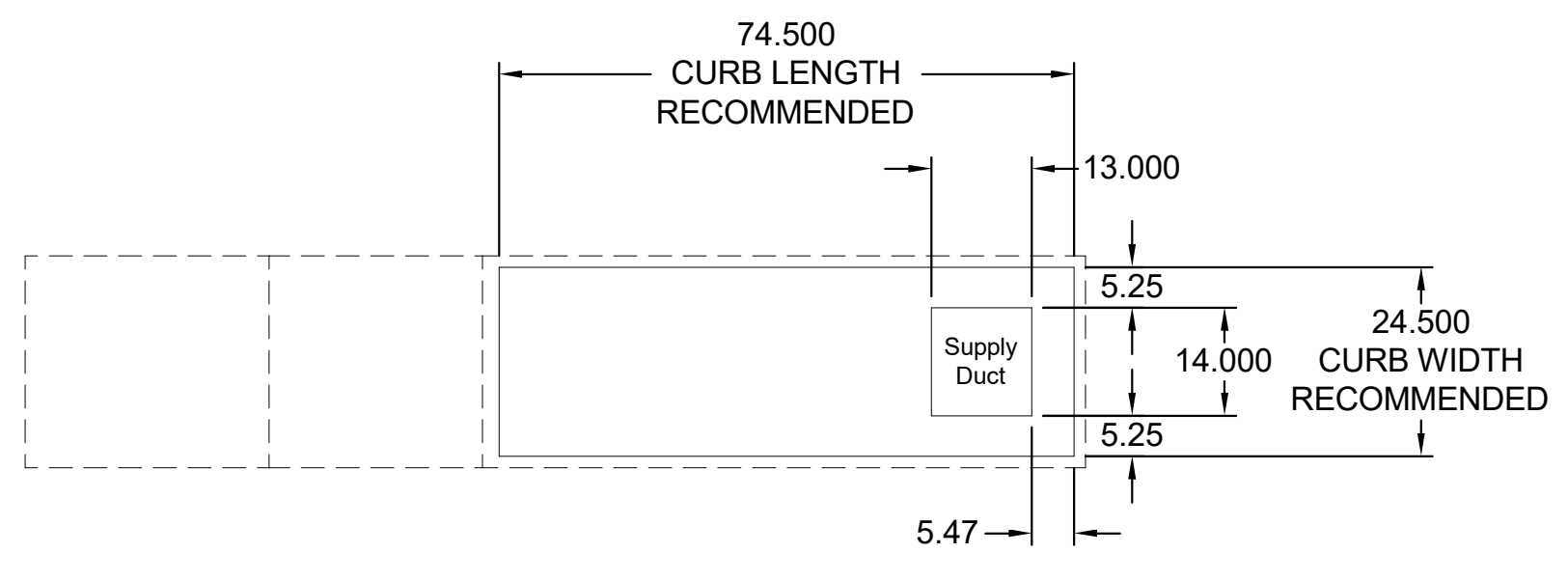
WIRE COLOR CODE
BK BLACK BL BLUE BR BROWN
GY GRAY LT LT/LIGHT BLUE O ORANGE
PK PINK PR PURPLE R RED
W WHITE Y YELLOW

LEGEND
AMP AMPIFIER
D1 INLET DAMPER
DS1 MAIN DISCONNECT SWITCH
FSC FIRE SYSTEM CONTACT
FSG FLAME SAFE GUARD
M MOTOR
MV MOTOR VALVE
OLA MOTOR OVERLOAD
PSC AIR PRESSURE SWITCH
RF SUPPLY FAN RELAY
RV HEAT RELAY
S2 FAN SWITCH
S4 HEAT AND COOL SWITCH
ST1 MOTOR STARTER
TRM TRANSFORMER
TSD DISCHARGE AIR SENSOR
TSS TEMPERATURE SELECTOR
V2 MAIN VALVE

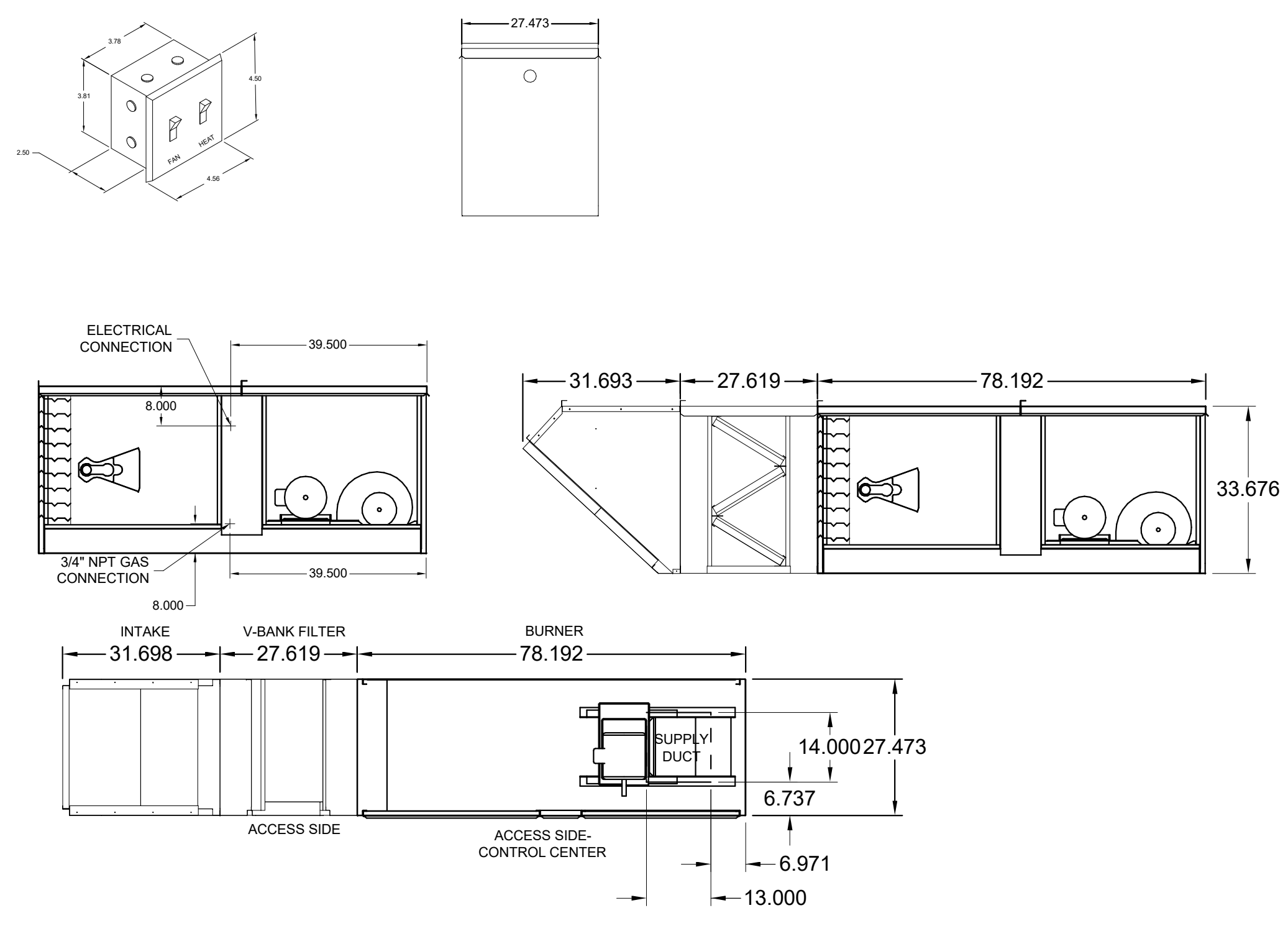
NOTE: Roof Opening Requirements:

Minimum Roof Opening: The minimum roof opening size is the illustrated duct diameter plus 0.25 in. on all sides.
For example: If the duct size is 14 x 14 in. square, the minimum roof opening size is 14.5 x 14.5 in. square.

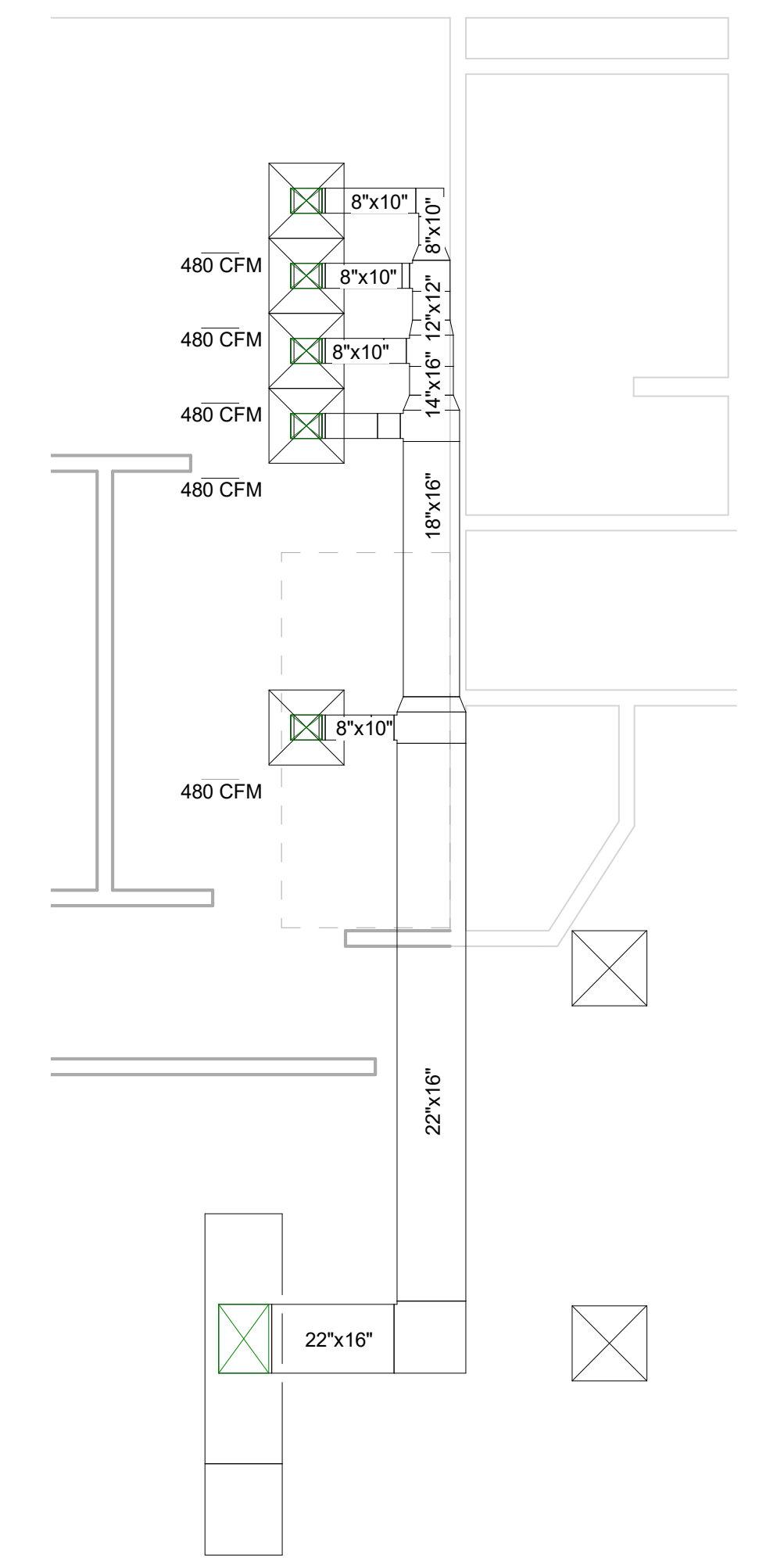
Maximum Roof Opening: There must be a minimum perimeter of 1.75 in. between the roof opening and the roof curb.
For example: If the roof curb is 75 x 30 in. square, the maximum roof opening is 71.5 x 26.5 in. inches square.



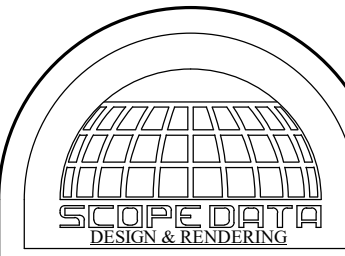
NOTE: The weatherhood and filter sections of the make-up air unit are not supported by the curb. This is by design, in order to help alleviate water infiltration issues. MUA Unit supports are shipped loose with unit.



EQUIPMENT SCHEDULE											
Tempered Make-Up Air Unit					Mark: MAKE UP AIR UNIT						
Qty	Greenheck Model	Volume	External SP	Total SP	FRPM	Operating Power	Weight				
1	DG-109-H10	2,400 CFM	0 in. wg	0.942 in. wg	1283	1.24 hp	567 lb				
Motor Information											
Size	V/C/P	Enclosure	Motor RPM	Windings	MCA	MOP					
1 1/2 hp	208/60/3	ODP	1725	1	8.9	15					
Heating											
Type	Gas Type	Temperature		Energy		Connection	Building	Control			
Direct Gas	Natural	Winter DB	Max Δ	Max LAT	Input	Output	Efficiency	Gas Pressure	Access		
		1.4 F	69.0 F	70.0 F	193.3 MBH	177.8 MBH	92%	3/4"	1/2 PSI Right Hand		
Outlet Sound Power By Octave Band											
	62.5	125	250	500	1000	2000	4000	8000	LwA	dBA	Sones
	98.3	95.6	84.8	76.8	74.4	71.6	70.7	66.2	84	73	22.7
<small>LwA - A weighted sound power level based on ANSI S1.4 dBA - A weighted sound pressure level based on 11.0 dB attenuation per octave band at 5.0 ft. Noise Criteria (NC) based on an average attenuation of 11.5 dB per octave band at 5.0 ft.</small>											
OPTIONS AND ACCESSORIES											
Air Flow Arrangement: Outdoor Air Only											
Weatherhood: Aluminum Mesh, 20x25x2 - (1), 16x25x2 - (1)											
Filter Section: Aluminum, 16x25x2 - (3)											
Damper: Inlet											
Outdoor Air Intake Position: End											
Discharge Position: Bottom											
Coating: Galvanized											
Insulation: Duct Liner - Heat Source On											
Access Side: Right-Hand											
Control Center											
Remote Panel: Kitchen (ships loose)											
Direct Gas Options/Accessories											
Approvals: ETL and IRI											
Temperature Control: Room											
Flame Sensing: Flame Rod											
Ignition Control: Direct Spark											
Unit Rated Gas Pressure: 1/2 PSI											
Mounting: By Others											
Unit Warranty: 1 Yr (Standard)											



2 MAKE UP AIR UNIT
1/4" = 1'-0"



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04/15/18

SCALE

SHEET TITLE
FIRE SUPPRESSION

SHEET #
M3

ANSUL R-102 FIRE SYSTEM PARTS LIST

GFC INSTALLED PARTS	GFC SUPPLIED TO DISTRIBUTOR	DISTRIBUTOR SUPPLIED PARTS	ANSUL PART#	DESCRIPTION	GFC PART #
			79694	1.5 GALLON ANSULEX	
			79372	3.0 GALLON ANSULEX	
			417369	SERIES DETECTOR FUSIBLE LINKS (TBD)	454697
		1	24916	TEST LINK	
	1		12794	MECHANICAL SHUTOFF VALVE, 2"	468830
			428151	MANUAL RESET RELAY	
			15850	101-10 CARBON DIOXIDE CART.	
			5373	LT-30R NITROGEN CARTRIDGE	
		1	15851	101-30 CARBON DIOXIDE CART.	
			423493	DOUBLE TANK NITROGEN CART.	
1			79493	OEM REGULATED RELEASE ASSY	463602
			148601	OEM REGULATED ACTUATOR	463601
2			428862	3.0 GALLON TANK ASSEMBLY	461295
			430299	3.0 GAL TANK W/ RELEASE	479878
			430309	3.0 GAL TANK W/ REG. ACTUATOR	479879
			430317	3.0 GAL TANK W/ SS ENCLOSURE	479880
			430332	3.0 GAL TANK W/ BRACKET	479881
			428864	1.5 GALLON TANK ASSEMBLY	461298
			430300	1.5 GAL TANK W/ RELEASE	479882
2			430300	TANK MOUNTING BRACKET (GFC)	724040
	1		434618	REMOTE PULL STATION	451177
			427929	PULLEY TEE	479883
		1		WIRE ROPE (per foot-length tbd)	
1			436770	DPDT ELECT SWITCH (WIRELESS)	384435
			434528	AUDIBLE VISUAL HORN STROBE	479884
1	10		415670	HIGH TEMP PULLEY ELBOW (screw)	457296
			423251	HIGH TEMP PULLEY ELBOW (comp)	457295
5				3/8 IN. QUIK-SEAL(LARGE WASHER)	451167
1				3/8 IN. QUIK-SEAL(SMALL WASHER)	479454
1			77286	3/8 IN. COMPRESSION SEAL	452614
1			79150	1/2 IN. CONDUIT SEAL	451168
1			423253	1/2 IN. COMPRESSION HOOD SEAL	457294
			443319	1F NOZZLE (1 FLOW)	478803
			443321	1/2N NOZZLE (1/2 FLOW)	479885
1			443317	1N NOZZLE (1 FLOW)	478804
			443323	1W NOZZLE (1 FLOW)	478805
1			443325	2W NOZZLE (2 FLOWS)	478806
			443327	3N NOZZLE (3 FLOWS)	478807
2			443329	230 NOZZLE (2 FLOWS)	478808
2			443331	245 NOZZLE (2 FLOWS)	478809
1			443333	260 NOZZLE (2 FLOWS)	478810
			443335	290 NOZZLE (2 FLOWS)	478811
			443337	2120 NOZZLE (2 FLOWS)	479886
5			418569	SWIVEL ADAPTOR	456447
				3/8" BLACK IRON PIPE 6'	479969
				CHROME SLEEVING	452527
121.5 in.			432843	K-Class HANDHELD EXTINGUISHER	479887
			417459	BILINGUAL EMERGENCY LABEL	479888
			428311	ALARM INITIATING SWITCH	479889
				CONDUIT 10' PIECE	175022

Fire System Mark: FIRE SUPPRESSION	Hood Model: NA
Exhaust Collar: NA	
HOOD SECTION USED FLOW POINTS NA	DISTRIBUTOR RESPONSIBILITIES -COORDINATION OF JOB INSTALLATION WITH JOB CONTRACTOR -GAS VALVE HOOKUP TO RELEASE MECHANISM -VERIFY GAS VALVE SIZE AND TYPE WITH JOBSITE CONTACT -REMOTE PULL STATION HOOKUP RELEASE MECHANISM -CHARGING, TESTING, AND CERTIFICATION OF SYSTEM -PIPING AND NOZZLES FROM FACTORY STUBOUTS -MODIFY APPLIANCE DROPS IF SHELVES OR SALAMANDERS ON THE APPLIANCE INTERFERE WITH NOZZLE DISCHARGE. -SUPPLY PIPING BETWEEN MULTIPLE HOODS -COORDINATE WITH HOOD INSTALLER FOR PROPER ORIENTATION OF MULTIPLE HOODS.
TOTAL SYSTEM USED FLOW POINTS 13	
AVAILABLE SYSTEM FLOW POINTS 22	
Job Name: 2215 Haggerty Rd- Commerce Twp Sales Order Number: SO# - Line#	

ANSUL R102 (WET CHEMICAL) FIRE PROTECTION SYSTEM - MODEL FSSC

CONTROL PANEL

NOT TO SCALE

NOTES:

WET CHEMICAL FIRE PROTECTION SYSTEM TO BE ANSUL R-102, DESIGNED IN COMPLIANCE WITH UL 300 REQUIREMENTS.

-VERIFICATION OF ALL COOKING EQUIPMENT MAKE, MODEL AND LOCATION REQUIRED FOR ALL FIRE PROTECTION SYSTEMS.

-ALL FIRE SYSTEM PIPING IS STANDARDLY TO THE RIGHT END OF THE HOOD UNLESS A WALL IS LOCATED ON THE RIGHT END.

-ANSUL AUTOMAN RELEASE TO BE LOCATED WITHIN 60" OF HOOD.

THE BASIC FIRE SYSTEM WILL INCLUDE THE FOLLOWING:

- GAS SHUT-OFF VALVE, IF REQUIRED, TO BE SUPPLIED BY MANUFACTURER (UP TO 2" DIAMETER AS STANDARD), AND INSTALLED BY A LICENSED PLUMBER.
- MICRO SWITCH TO BE SUPPLIED BY MANUFACTURER FOR CONNECTION TO, BUT NOT LIMITED TO, BUILDING ALARM SYSTEM(S), EXHAUST AND SUPPLY FANS AND ELECTRICAL POWER SHUT DOWN. FIELD WIRING AND CONNECTIONS TO BE PERFORMED BY A LICENSED ELECTRICIAN.

THE BASIC FIRE SYSTEM DOES NOT INCLUDE THE FOLLOWING:

- FULL DUMP TEST OTHER THAN WHAT IS SPECIFIED PER THE INSTALLATION MANUAL, OR TO SATISFY A STATE OR LOCAL CODE. PERMIT AND TESTING FEES ARE NOT INCLUDED UNLESS NOTED UNDER THE EQUIPMENT SCHEDULE FOR THE FIRE SYSTEM.
- MORE THAN TWO TRIPS TO THE JOBSITE OR SPECIAL TRANSPORTATION OR OVERNIGHT LODGING REQUIREMENTS IN REMOTE AREAS. NORMAL TRAVEL DISTANCE IS FIRST 50 MI. (80.5 KM) FROM OFFICE.
- SPECIAL CLASSES OR ADDITIONAL LABOR FOR ACCESS TO SECURITY SENSITIVE AREAS
- INSTALLATION OF GAS SHUT-OFF VALVE
- SPECIAL DRAWINGS REQUIRED TO SATISFY STATE OR LOCAL CODE. PLAN EXAMINATION FEES, PE OR FS APPROVAL STAMP.
- UNION LABOR, GOVERNMENT LABOR, OR PREVAILING WAGES REQUIRED FOR FINAL FIELD HOOK-UP.
- ANY AND ALL ELECTRICAL COMPONENTS CONNECTIONS REQUIRED TO SHUT DOWN FANS, SHUT OFF DEVICE FOR ELECTRIC COOKING EQUIPMENT (SHUNT TRIP BREAKER), OR ACTIVATE AN ALARM SYSTEM, ETC.
- ANY DISMANTLING OR REASSEMBLY REQUIRED TO GAIN ACCESS TO THE FIRE SUPPRESSION PIPING LOCATED ON THE TOP OF THE HOOD
- ROUGH-IN HIDDEN CONDUIT FOR REMOTE PULL STATION OR GAS VALVE (FLUSH MOUNTED PULL STATION)
- INSTALLATION OF MORE THAN (1) REMOTE PULL STATIONS OR DISTANCES GREATER THAN 20 FT (6.1M.)
- PARTS OR LABOR REQUIRED TO CORRECT PIPING DUE TO COOKING EQUIPMENT CHANGES OR DEVIATION FROM PLANS, OR ANY CHARGES FOR MISSING OR ADDITIONAL PARTS OTHER THAN THOSE INDICATED ON THE FIRE SUPPRESSION DETAIL.

WIRING DIAGRAMS
W/DPDT MICRO SWITCH

DPDT SWITCHES PROVIDED BY MANUFACTURER MAY BE WIRED PER TYPICAL EXAMPLES SHOWN. VERIFY WITH LOCAL CODES AND EQUIPMENT SUPPLIED AS THE CONNECTION NEEDED FOR YOUR INSTALLATION.

CONNECTION TO BUILDINGS ALARM

CONNECTION TO COOKING EQUIPMENT SHUT DOWN

CONNECTION TO FAN SHUT DOWN

DO NOT SHUT DOWN EXHAUST FANS WITH THIS METHOD OF WIRING, IF PROHIBITED BY LOCAL CODES.

TOP VIEW

Max. Exhaust Duct Size

Suggested Roof Opening

Standard Duct 16 SQ
Fire-Wrapped Duct 8 SQ

FRONT VIEW

NOTE: Duct dimensions are largest possible duct to fit through curb. Consult system design engineer for recommended duct size.

NOTE: Overall height may be greater depending on motor.

EQUIPMENT SCHEDULE

Beit Drive Upblast Centrifugal Roof Exhaust Fan MARK: EXHAUST FAN

Qty	Greenheck Model	Volume (CFM)	External SP Total SP (in w.g.)	FRPM	Operating power (hp)	Weight (Lb.)	Motor Information					
							Size (hp)	V/C/P	Encl.	Motor RPM	Windings	FLA
1	CUBE-161-10	2,400	1.289	1,332	0.92	83	1	208/60/3	OP	1725	1	4.6

OPTIONS AND ACCESSORIES

Standard curb cap size - 22 in. square
No UL Listing
Switch, NEMA-1, Toggle, Shipped with Unit

FIRE SYSTEM INFORMATION

MARK	MODEL	LOCATION	FLOW POINTS		SUPPLY LINE	DETECTION	MARK(S) PROTECTED BY FIRE SYSTEM
			HOODS	PCU			
FIRE SUPPRESSION	ANSUL R-102 WET CHEMICAL	WALL CABINET - ON HOOD	13 UTILIZED		CONTINUOUS	FUSIBLE LINK	HOOD SECTION 1

FIRE SYSTEM OPTIONS AND ACCESSORIES

FULL INSTALLATION (INCLUDES PRE-PIPED HOOD(S) WITH DETECTION AND FACTORY COORDINATED INSTALL)

CHROME SLEEVES FOR FACTORY PROVIDED APPLIANCES DROPS - INCLUDED

METAL BLOW-OFF CAPS - INCLUDED

GAS VALVE - INCLUDED - MECHANICAL SHUTOFF VALVE, 2", (ANSUL) - PART# ANSULMECHSHUTOFFVALVE200

HOOD SUPPRESSION AGENT - INCLUDED - 6 GAL. - [(2) 3.0 TANK(S)]

REMOTE PULL STATION - STANDARD - INSTALLATION AT SINGLE POINT OF EGRESS

**Farmington Planning Commission
Staff Report**

**Planning Commission
Date:** May 14, 2018

**Reference
Number
5**

Submitted by: Kevin Christiansen, Economic and Community Development Director

Description Site Plan Review – 33705 Grand River Garage Addition

BACKGROUND

Section 13.02 of the Zoning Ordinance specifies uses subject to site plan approval. Construction, renovation, and expansion within the Historical District are subject to Planning Commission approval. The code further states, "Prior to submittal of a site plan to the Planning Commission, a site plan shall be submitted to the City Historical Commission for review and comment."

The City received an application from Michael Kreimes of 33705 Grand River to construct an upper level to the existing detached garage. The design and location of the addition are shown on the attached information.

The Historical Commission has reviewed the plans at their April 26, 2018 meeting and recommends its approval. The Zoning Board of Appeals also approved the 2'4" height variance the applicant appealed for as part of the project at their May 2, 2018 meeting. The Planning Commission is to review the design and aesthetics of the proposed addition.

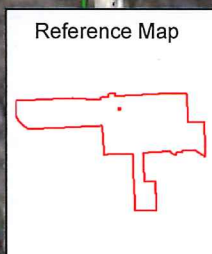
Attachments



City of Farmington
CivicSight Map

MAP LEGEND:

- CITY BOUNDARY
- / RIVERS-STREAMS
- MULTITENANTBUILDING (Type)
 - BUILT
 - PROPOSED
 - COMM_INDUST BLDGS
 - RAPHAEL STREET(POLY)2
 - RAPHAEL STREET(POLY)
 - PARCELS
 - ROADS OUTSIDE FARMINGTON
 - RIGHTOFWAY
- MULTITENANTPAVING
- ROW EXTEND
- / LOT HISTORY
- OPEN WATER (FEATURETYP)
 - DetentionPond
 - StreamRiver
 - LakePond
 - Channel
 - SwampMarsh
- 2015 AERIAL PHOTOS (Image)



Map Scale: 1 inch = 28 feet
 Map Date: 5/11/2018
 Data Date: April 13, 2018



Sources: City of Farmington, Oakland County GIS
 Utility, River's Edge GIS, LLC.

Disclaimer:
 Note: The information provided by this program has been compiled from recorded deeds, plats, taxmaps, surveys, and other public records and data. It is not a legally recorded map or survey and is not intended to be used as one. Users of this data are hereby notified that the information sources mentioned above should be consulted for verification of the information. Once again, USE AT YOUR OWN RISK !!!



CITY OF FARMINGTON

For office use only

Date Filed: _____

Fee Paid: _____

Site Plan Application

1. Project Name 2nd Story Addition

2. Location of Property

Address 33705 Gr River

Cross Streets Grand River / Shiawassee

Tax ID Number 20-23-28-205-008

3. Identification

Applicant Michael Kreimes

Address 33705 Gr River

City/State/Zip Farmington Mi 48335

Phone 734 730 0856 Fax _____

Interest in the Property (e.g. fee simple, land option, etc.)

9 Property Owner 9 Other (Specify) son of owner

Property Owner Diane Kreimes

Address 22734 N. Kane

City/State/Zip Del. Mi 48223

Phone 313 530 6808 Fax _____

Preparer of Site Plan Michael Kreimes

Address 33705 Gr River

City/State/Zip Farmington Mi 48335

Phone 734 730 0856 Fax _____

4. Property Information

Total Acres _____

Lot Width 48' Aprox Lot Depth 142' Aprox

Zoning District _____

Zoning District of Adjacent Properties to the

North _____ South _____ East _____ West _____

5. Use

Current Use of Property _____

Proposed Use

- G Residential Number of Units _____
- G Office Gross Floor Area _____
- G Commercial Gross Floor Area _____
- G Industrial Gross Floor Area _____
- G Institutional Gross Floor Area _____
- G Other _____ Gross Floor Area _____

Proposed Number of Employees _____

A copy of the complete legal description of the property and proof of property ownership should accompany this application.

I, Michael Krivins (applicant), do hereby swear that the above statements are true.

Michael Krivins May 3, 2018
Signature of Applicant Date

K Diane Krivins 5-3-18
Signature of Property Owner Date

I, _____ (property owner), hereby give permission for City of Farmington officials, staff, and consultants to go on the property for which the above referenced site plan is proposed for purposes of verifying information provided on the submitted application.

City Action

Approved/Denied: _____

Date: _____

By: _____

Conditions of Approval: _____



CITY OF FARMINGTON

Site Plan Review Checklist

a. Site Plan Descriptive and Identification Data	Provided	Not Provided
--	----------	--------------

Site plans shall consist of an overall plan for the entire development, drawn to an engineer's scale of not less than 1 inch = 50 feet for property less than three acres, or one inch = 100 feet for property 3 acres or more in size

Sheet size shall be at least 24 x 36 inches

If a large development is shown in sections on multiple sheets, then one overall composite sheet shall be included

Title block with sheet number/title; name, address and telephone number of the applicant and firm or individual who prepared the plans; and date(s) of submission and any revisions (month, day, year)

Scale and north-point

Location map drawn to a separate scale with north-point, showing surrounding land uses, water features and streets within a quarter mile

"Not to be Used as Construction Drawings" must be noted on the site plan

Legal and common description of property

Identification and seal of registered or licensed architect, civil engineer, land surveyor, landscape architect or community planner who prepared drawings

Zoning classification of petitioner's parcel and all abutting parcels

Proximity to section corner and major thoroughfares

Net acreage (minus rights-of-way) and total acreage

b. Site Data	Provided	Not Provided
--------------	----------	--------------

Existing lot lines, building lines, structures, parking areas and other improvements on the site and within 100 feet of the site

Where grading is proposed, topography on the site and within 100 feet of the site at two-foot contour intervals, referenced to a U.S.G.S. benchmark

Proposed lot lines, lot dimensions, property lines, setback dimensions, structures and other improvements on the site and within 100 feet of the site

Location of existing drainage courses, floodplains, rivers and MDEQ regulated wetlands with elevations

All existing and proposed easements

Details of exterior lighting including locations, height, fixtures, method of shielding and a photometric grid overlaid on the proposed site plan indicating the overall lighting intensity of the site (in footcandles)

Location of waste receptacle(s) and mechanical equipment and method of screening

Location, size, height and lighting of all proposed freestanding and wall signs

Location, size, height and material of construction for all walls or fences with cross-sections

Extent of any outdoor sales or display area

Location, height and outside dimensions of all storage areas and facilities

c. Access and Circulation

Provided

Not Provided

Dimensions, curve radii and centerlines of existing and proposed access points, roads and road rights-of-way or access easements

Driveways and intersections within 250 feet of site

Cross section details of existing and proposed roads, driveways, parking lots, sidewalks and pathways illustrating materials, width and thickness

Dimensions of acceleration, deceleration and passing lanes

Dimensions of parking spaces, islands, circulation aisles and loading zones

Radii for driveways and parking lot islands

Calculations for required number of parking and loading spaces

Designation of fire lanes

Traffic regulatory signs and pavement markings

Shared parking or access easements, where applicable

d. Landscape Plans (city reserves the right to require plans be prepared and sealed by a registered landscape architect)

Provided

Not Provided

The general location, type and size of all existing plant material, with an identification of materials to be removed and materials to be preserved

Limits of grading and description of methods to preserve existing landscaping

The location of proposed lawns and landscaped areas

Landscape plan, including location, of all proposed shrubs, trees and other plant material

Planting list for proposed landscape materials with caliper size or height of material, spacing of species, botanical and common names, and quantity

Calculations for required greenbelts, buffer zones, parking lot trees, detention ponds and interior landscaping

Method of installation and proposed dates of plant installation

Landscape maintenance program

e. Building and Structure Details

Provided

Not Provided

Location, height, and outside dimensions of all proposed buildings or structures

Building floor plans and total floor area

Details on accessory structures and any screening

Building facade elevations for all sides, drawn at an appropriate scale

Method of screening for all ground-, building- and roof-mounted equipment

Description of exterior building materials including colors (samples or photographs may be required)

f. Information Concerning Utilities, Drainage and Related Issues	Provided	Not Provided
--	----------	--------------

Location of sanitary sewers and septic systems, existing and proposed

Location and size of existing and proposed water mains, water service, storm sewers and drains, and fire hydrants

Storm water retention and detention ponds, including grading, side slopes, depth, high water elevation, volume and outfalls

Location of above and below ground gas, electric and telephone lines, existing and proposed

Location of utility boxes

g. Additional Information Required for Multiple-family Residential Development	Provided	Not Provided
--	----------	--------------

The number and location of each type of residential unit (one bedroom units, two bedroom units, etc.)

Density calculations by type of residential unit (dwelling units per acre)

Garage and/or carport locations and details, if proposed

Mailbox clusters

Location, dimensions, floor plans and elevations of common building(s) (e.g., recreation, laundry, etc.), if applicable

Swimming pool fencing detail, including height and type of fence, if applicable

Location and size of recreation and open space areas

Indication of type of recreation facilities proposed for recreation area

h. Miscellaneous	Provided	Not Provided
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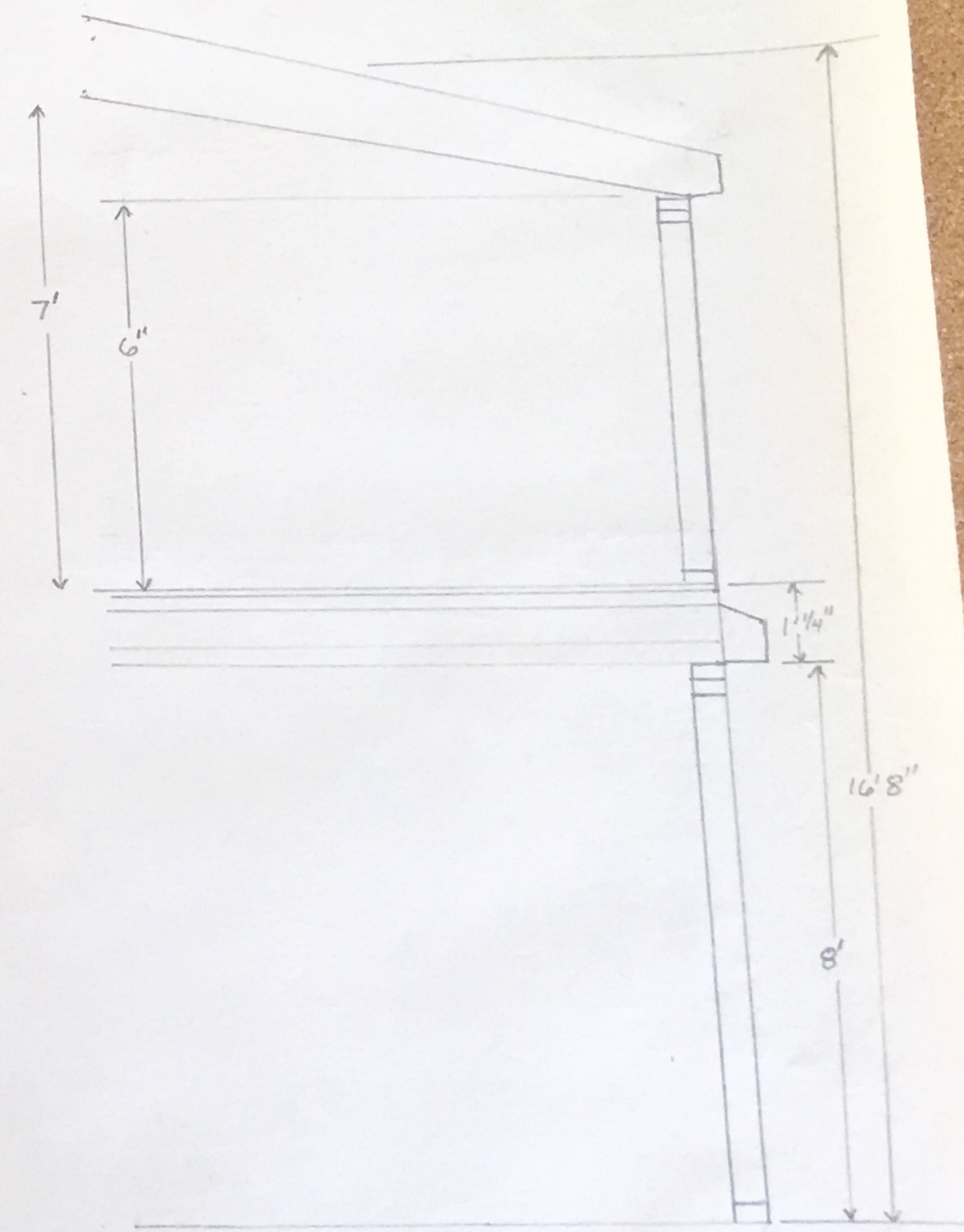
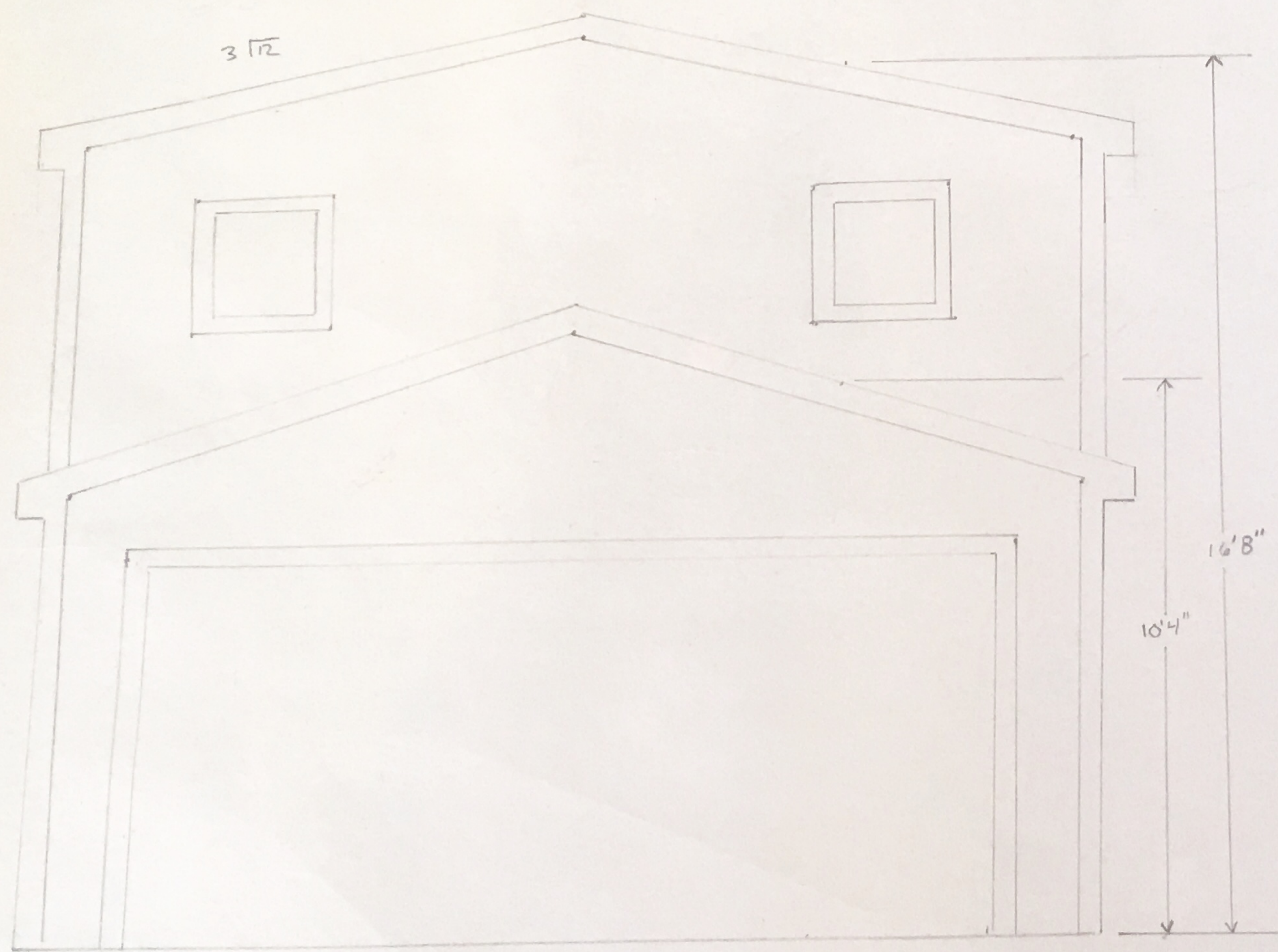
A general operations plan including description of the nature of the proposed use or activity, noise impacts, hours of operation, the number or employees, etc

Assessment of potential impacts from the use, processing, or movement of hazardous materials or chemicals, if applicable

For additions and expansions, a clear distinction between existing buildings, structures and impervious surface areas and any proposed development must be made

Any additional graphics or written materials requested by the planning commission to assist in determining the compliance with site plan or special land use standards, such as but not limited to: aerial photography; cross-sections which illustrate impacts on views and relationship to adjacent land uses; photographs; traffic impact studies and parking demand studies; and environmental impact studies; such information shall be prepared by a qualified individual or firm with experience in the specific discipline

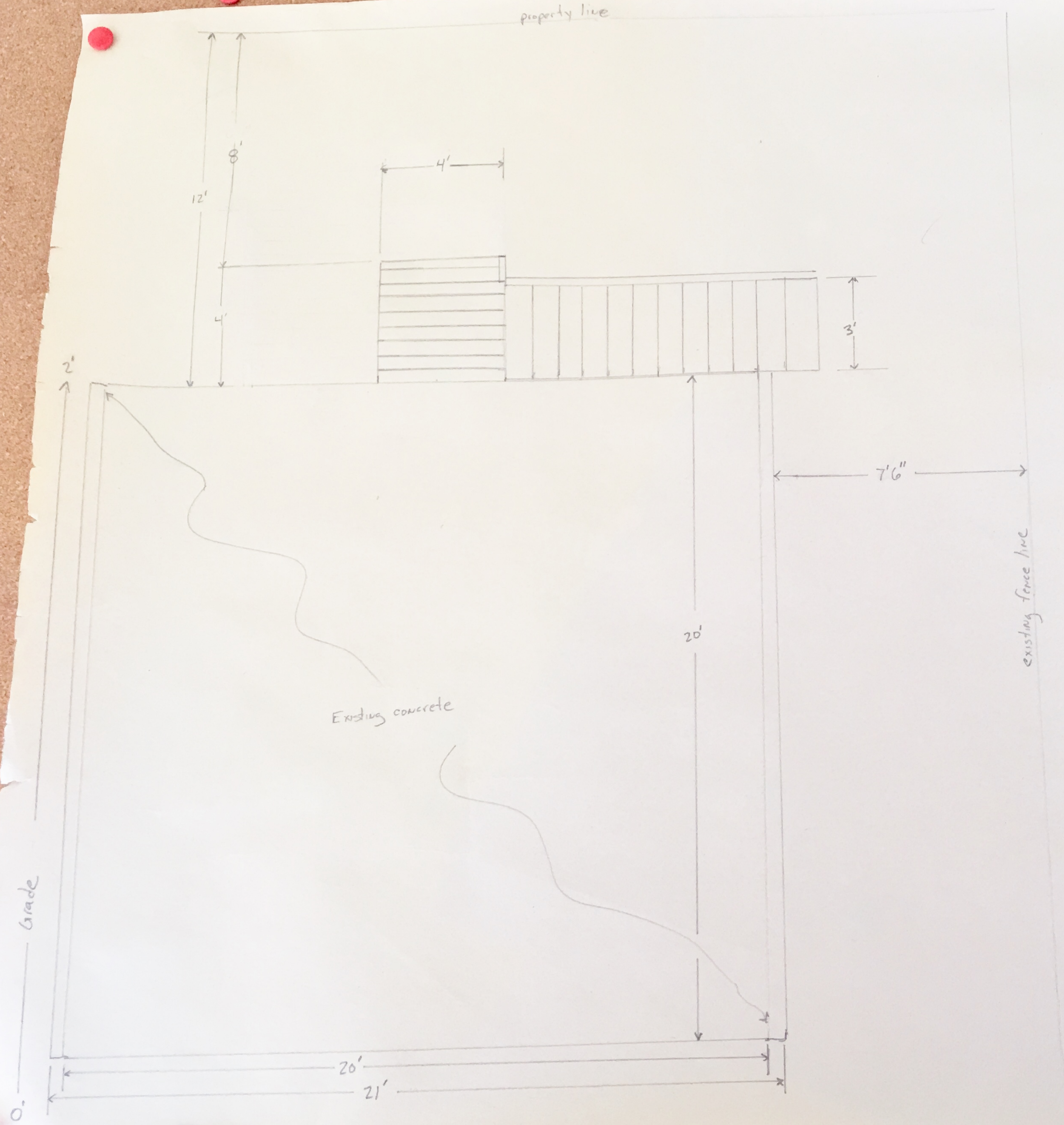
Front elevations



scale: $\frac{1}{2}'' = 1'$

property line

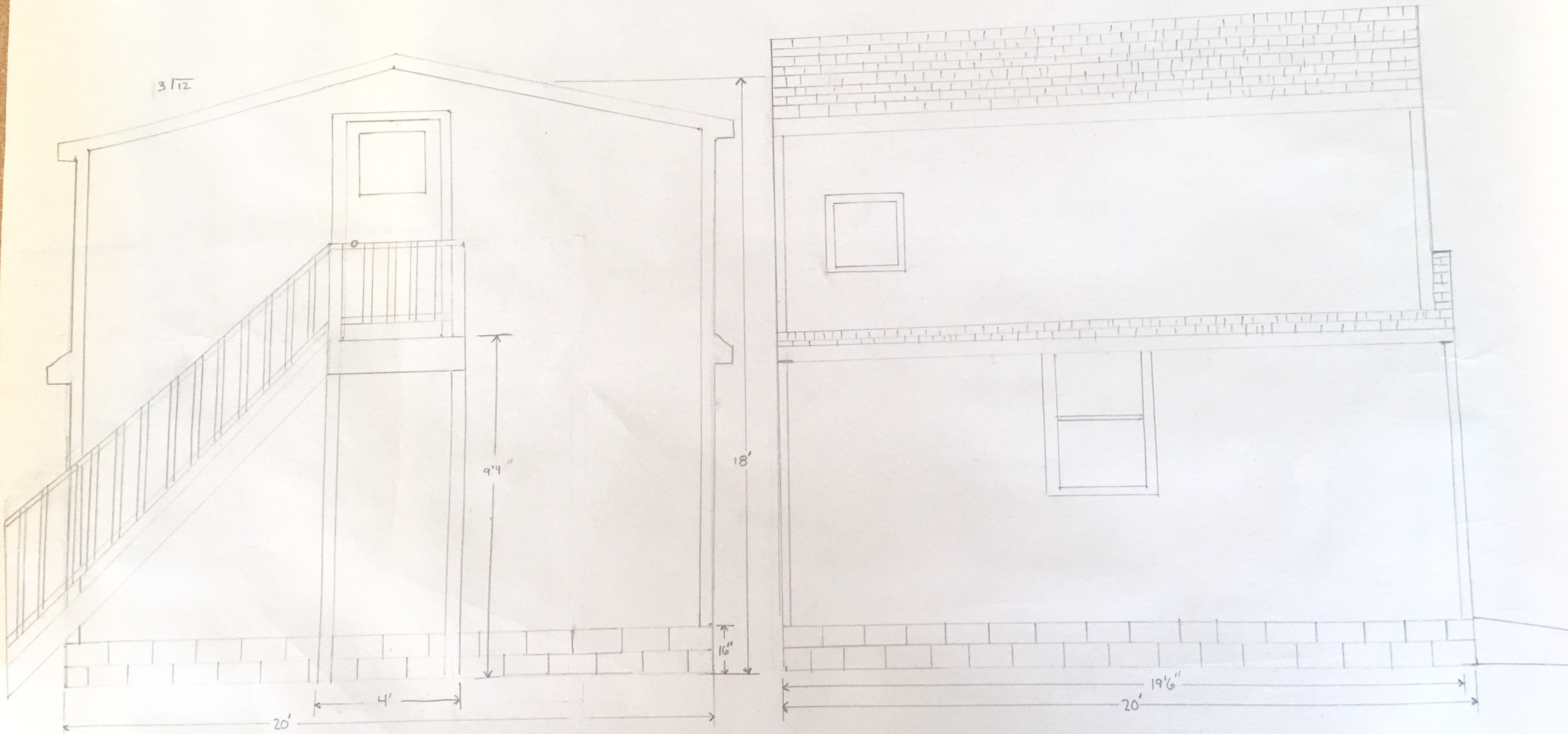
overhead view



Scale: 1/2" = 1'

Rear and side elevations

Note: east and west elevations are mirrored



Scale: 1/2" = 1'

**Farmington Planning Commission
Staff Report**

**Planning Commission
Date:** May 14, 2018

**Reference
Number
6**

Submitted by: Kevin Christiansen, Economic and Community Development Director

Description Resolution in Support of The 8 Mile Boulevard Association Unifying Framework

Background

This item is a review and acceptance of The 8 Mile Boulevard Association (8MBA) Unifying Framework. The City of Farmington has ¼ mile of 8 Mile Road within its jurisdiction; and has been a member of the 8 Mile Boulevard Association (8MBA) since its inception. The Association recently updated/created a current Master Plan for 8 Mile Road and is requesting each member community accept the 8MBA Unifying Framework by resolution. The updated 8MBA Master Plan and proposed City of Farmington resolution are attached for the Commission's review and consideration.

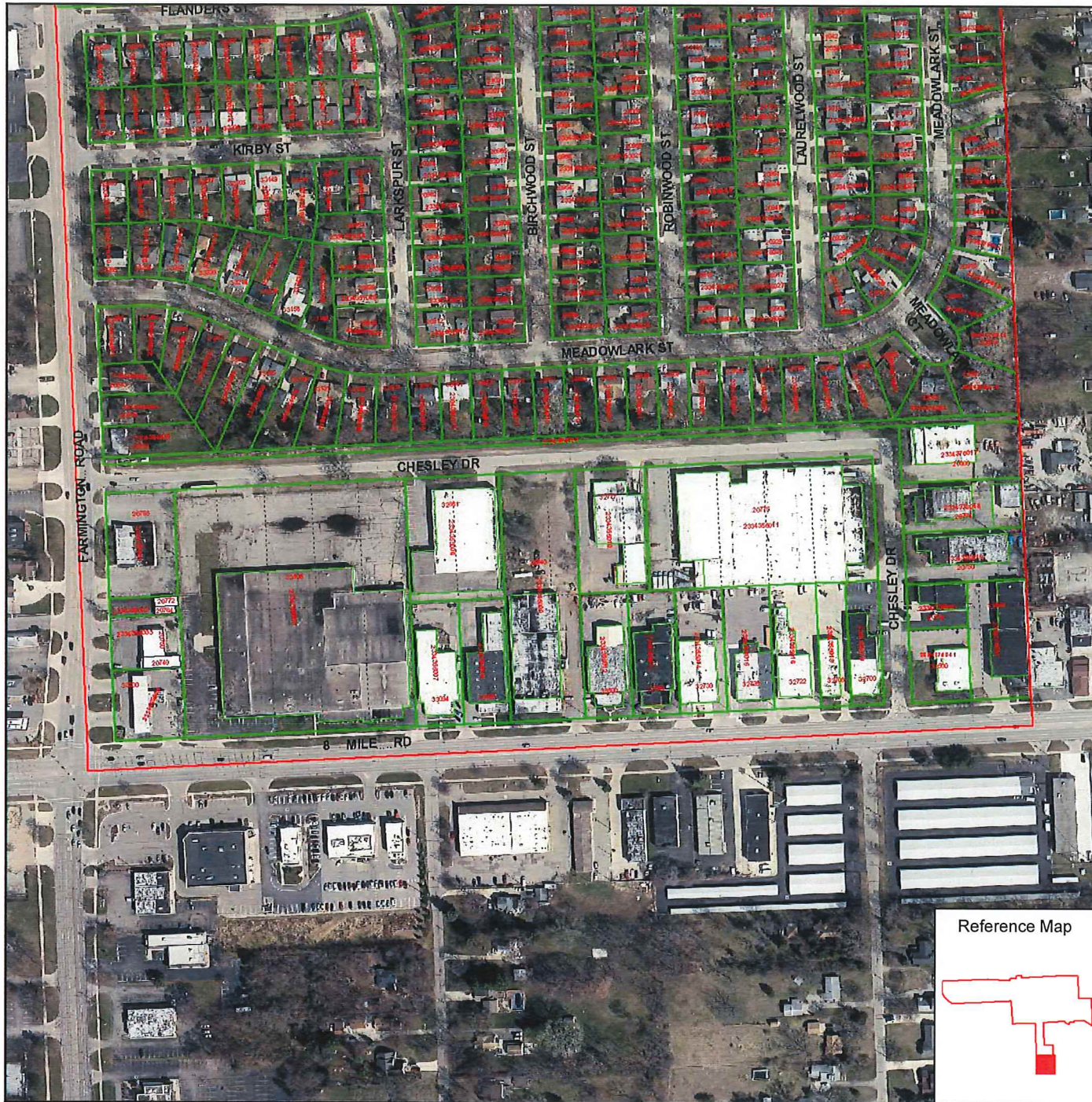
Attachments



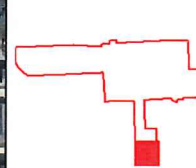
City of Farmington CivicSight Map

MAP LEGEND:

- CITY BOUNDARY
- RIVERS-STREAMS
- MULTITENANTBUILDING (Type)
 - BUILT
 - PROPOSED
 - COMM_INDUST BLDGS
 - RAPHAEL STREET(POLY)2
 - RAPHAEL STREET(POLY)
 - PARCELS
 - ROADS OUTSIDE FARMINGTON
 - RIGHTOFWAY
 - MULTITENANTPAVING
 - ROW EXTEND
- LOT HISTORY
- OPEN WATER (FEATURETYP)
 - DetentionPond
 - StreamRiver
 - LakePond
 - Channel
 - SwampMarsh
- 2015 AERIAL PHOTOS (Image)



Reference Map



Map Scale: 1 inch = 318 feet

Map Date: 5/11/2018.

Data Date: April 13, 2018

Sources: City of Farmington, Oakland County GIS
Utility, River's Edge GIS, LLC.



Disclaimer:
Note: The information provided by this program has been compiled from recorded deeds, plats, taxmaps, surveys, and other public records and data. It is not a legally recorded map or survey and is not intended to be used as one. Users of this data are hereby notified that the information sources mentioned above should be consulted for verification of the information. Once again, USE AT YOUR OWN RISK !!!

8

MILE
BOULEVARD
ASSOCIATION

8 MILE BOULEVARD UNIFYING FRAMEWORK

February, 2018

Make no little plans; they have no magic to stir men's blood and probably themselves will not be realized. Make big plans; aim high in hope and work, remembering that a noble, logical diagram once recorded will never die, but long after we are gone be a living thing, asserting itself with ever-growing insistency. – Daniel Burnham

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EIGHT MILE BOULEVARD ASSOCIATION

Eight Mile Boulevard is a historic transportation, business, and residential thoroughfare that serves to connect the Metro Detroit region. Within a 27-mile focus area between I-275 on the west and I-94 on the east, 13 municipalities and three counties saw a common interest in preserving the vitality of 8 Mile and in 1993 came together along with other stakeholders to found the 8 Mile Boulevard Association (8MBA). The mission of 8MBA is to revitalize, promote, and stabilize the assets of the Boulevard by linking the efforts of the public and private sectors.

The regional collaboration was launched with a cornerstone plan, *“A Vision for 8 Mile Boulevard: Joining Together to Make a Difference.”* (McKenna, 1992) [Click for Vision](#). The plan was the result of input from all of its founding members based on the opportunities they identified along 8 Mile to build upon its existing assets and deepen their connectivity.

In 2013, 8MBA and its member communities adopted *Eight Mile Boulevard Design Guidelines* [Click for Guidelines](#) a reference to encourage consistency and a higher standard of aesthetic for development along the Boulevard. It also provides guidance for planning commissions, zoning boards, community groups, developers or anyone looking to develop or improve property along 8 Mile. Finally, the *Guidelines* also serve as another resource to advance the mission of the original plan, *A Vision for Eight Mile Boulevard*.

8 MILE BOULEVARD UNIFYING FRAMEWORK

Throughout the years, 8MBA has worked to build countless partnerships to further our mission. The *8 Mile Boulevard Unifying Framework* (8MBUF) is among the latest examples of our continuing efforts to bring our members and partners to the table. It is the result of over two years of collaboration and countless stakeholder meetings. The plan includes extensive input of the 8MBA Planning Advisory Committee (PAC), comprised of representatives of 8MBA's Member Communities, board members, and other stakeholders. The resulting 8MBUF product incorporates their in-depth plans and long-term visions, along with a history of tangible projects. The finished product is also a major deliverable of 8MBA's organizational strategic plan [ACTION 2020](#), first articulated in its predecessor, ACTION 2018.

PLAN PURPOSE

The *8 Mile Boulevard Unifying Framework* advances the legacy of *A Vision for 8 Mile Boulevard* and provides the canvas for the *Design Guidelines*. It helps define 8MBA's role in these plans and visions and sets the stage for 8MBA to take our work to the next level. 8MBUF provides a framework for not only how 8MBA works with each of its member communities, but also how communities recognize their connectivity and can align their resources strategically and take advantage of economies of scale. Specifically, the purpose of the 8MBUF is to help 8MBA:

- Prioritize our resources and activities;
- Align multi-party efforts to combine resources and broker partnerships; and
- Promote transformative levels of investment.

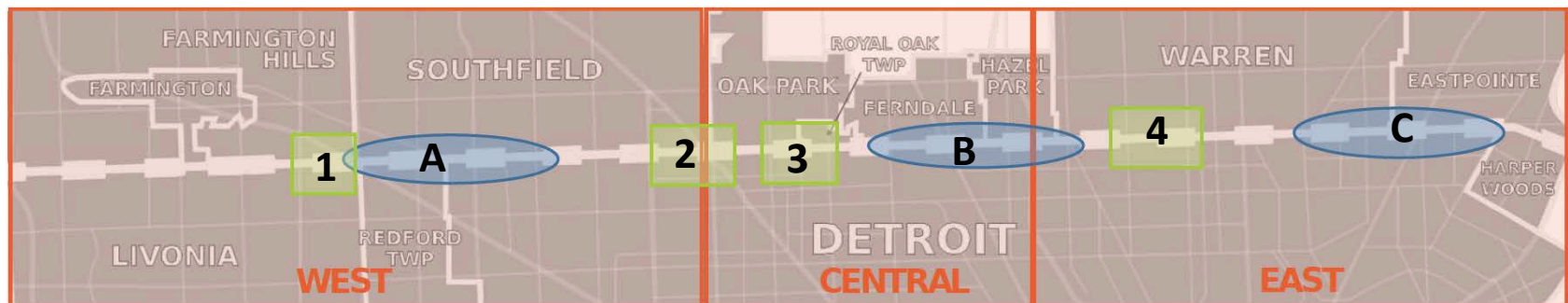
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FOCAL FRAMEWORK

APPROACH

At 27 miles, connecting 13 communities, 8 Mile serves a region that is too vast and too diverse for a homogenous approach. The first logical step was to organize the Boulevard geographically into three manageable **Zones**, West, Central, and East. Then, using this structure, 8MBA worked with our local partners to assess the Boulevard to identify smaller areas of about three miles, called **Nodes**; and **Clusters** of about two miles. This allows 8MBA to prioritize and direct our level of investment (effort, resources) in order to be effective and strategic and maximize the impact of our work based on the realities and opportunities within the communities we serve.

Finally, throughout the *Framework*, certain sites are discussed within the community narratives that are considered to be “catalytic” because of their impact on the rest of their Zone and the Boulevard as a whole. Visually, they are indicated on their Zone maps by a ☀️ symbol. The role that 8MBA will play in each of these will vary depending on the type of site, development, challenges, opportunities, and needs of the municipalities.



ZONES: West, Central, and East

NODES: A, B, and C

CLUSTERS: 1, 2, 3, and 4

8

FOCAL FRAMEWORK

PRIORITIZING OUR EFFORTS AND RESOURCES

The strategic grouping into Zones, Nodes, and Clusters of the 8MBUF is complemented by assigning 8MBA's level of involvement according to the apparent readiness of each Zone, Node, and Cluster for successful near-term intervention. In the areas of Zones outside of a Node or a Cluster, 8MBA will serve as an organizer and facilitator, helping local stakeholders build and act. In Nodes, 8MBA takes an assertive catalyst role. For Clusters and with Catalytic Sites, 8MBA serves as a partner to stakeholders that are already taking the lead.

<i>ZONES</i>	8MBA will partner on multi-party initiatives that affect the corridor as a whole (e.g. infrastructure, MDOT, Non-motorized Transportation Comm.)	Assist local partners in visioning/needs assessment and position for higher-level action	8MBA will continue to bridge information and resource gaps among stakeholders. Actively promote partners through social media.
<i>NODES</i>	Target grant-seeking efforts toward tangible improvements to the physical environment. 8MBA Real Estate Strategies Committee, role as a CDC	Give first-priority status to all projects within the node for 8MBA program/budget decisions	Aggressive engagement of stakeholders in shared efforts, branding, other collaborations
<i>CLUSTERS</i>	Identify opportunities for municipalities to invest existing resources and support their grant applications	Provide input and other support in visioning efforts and the identification and removal of barriers to investment	Attend partner-led meetings and participate in partner-led initiatives that affect Cluster goals

8

FOCAL FRAMEWORK

Zones: 8MBA as Organizer

Nodes: 8MBA as Catalyst

Clusters: 8MBA as Partner

<p>Three geographic Zones for planning purposes. Areas not within a Node or Cluster will receive logistical and advocacy support from 8MBA with a focus on needs assessment and capacity among local stakeholders.</p>	<p>Segments of regional significance where 8MBA will maximize our direct investment for physical and socioeconomic change by working with our partners to leverage existing assets and 8MBA resources to tap the near-term potential for change. 2015 began work within Livernois-Dequindre pilot.</p>	<p>Segments of less than 2 miles with medium to long-term potential. Clusters include major intersections and development sites important to the area but may face substantial barriers to near-term action. 8MBA will focus on identifying and removing those barriers.</p>
<p>East 8 Mile (I-94 to John R)</p>	<p>Livernois to Dequindre</p>	<p>Ryan to Van Dyke</p>
<p>Central 8 Mile (John R to M-39)</p>	<p>Grand River to Telegraph</p>	<p>Evergreen to Greenfield</p>
<p>West 8 Mile (M-39 to I-275)</p>	<p>Groesbeck to Kelly</p>	<p>Coolidge/Schaefer to Wyoming</p>
		<p>Middlebelt to Grand River</p>



FOCAL FRAMEWORK

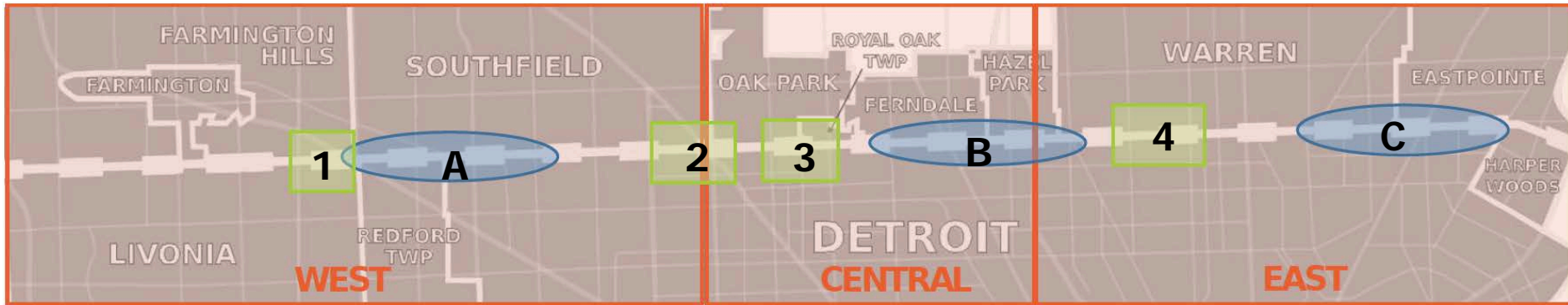
IMPLEMENTATION

Using the Focal Framework as a guide, 8MBUF identifies specific activities and objectives in each type of planning group that 8MBA can take on in the lead, partner, or support role:

<p style="text-align: center;">ZONES Build Capacity</p> <ul style="list-style-type: none"> • Neighborhood group census • Tool Lending Program expansion • Stakeholder engagement focused on visioning and long-term resource alignment • Cluster identification • Node identification, strengthening, • Hands on 8 Mile programming • Member-to-Member services • 8MBA Design Guidelines • Fiduciary services and grant assistance for neighborhood groups • Art on 8 	<p style="text-align: center;">NODES Build Impact</p> <ul style="list-style-type: none"> • Signify new investment • Catalytic development projects • Streetscaping/unifying elements • Crosswalk improvements and identity • High-visibility improvements • Art on 8 • Hands on 8 Mile programming • 8MBA Design Guidelines • 8MBA as a CDC • Member-to-Member Services 	<p style="text-align: center;">CLUSTERS Build Momentum</p> <ul style="list-style-type: none"> • Asset mapping • Project marketing • Fiduciary services and grant assistance for neighborhood groups • Stakeholder engagement focused on near-term resource collaboration • Vacancy mapping and site selection • 8MBA as a CDC • Tool Lending Program expansion • Hands on 8 Mile programming • Art on 8 • Member-to-Member services
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8

ZONES



WEST
I-275 TO M-39



CENTRAL
M-39 TO JOHN R



EAST
JOHN R TO I-94



8

ZONES: Updates, Plans & Opportunities

WEST: I-275 to M-39

Counties: Oakland and Wayne

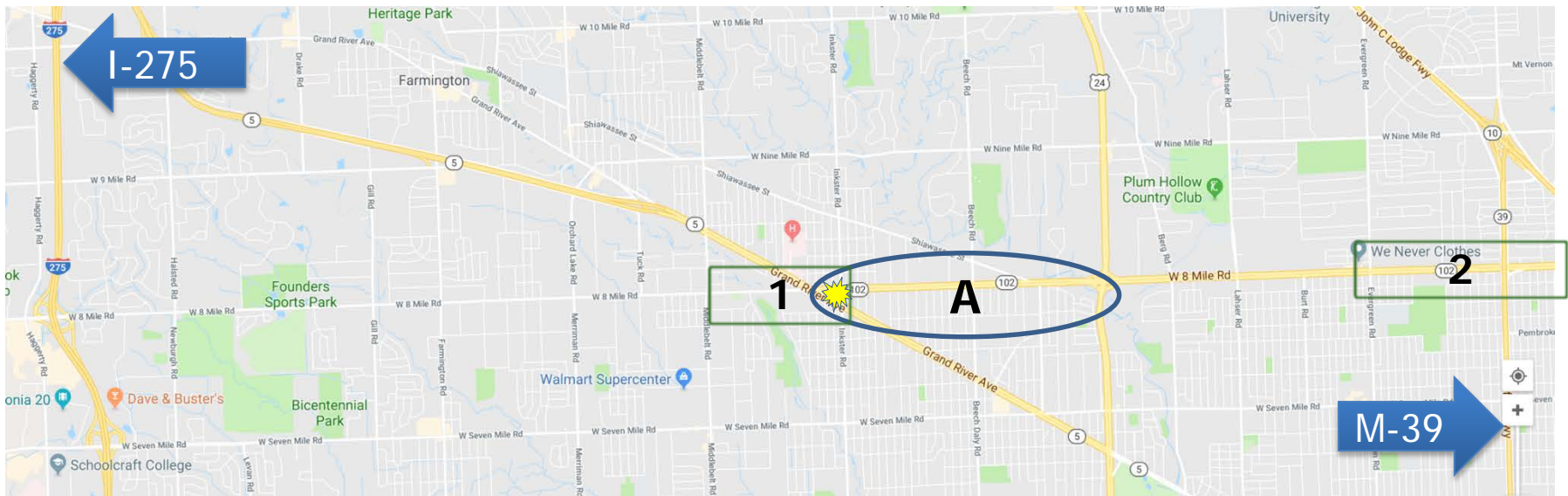
Member Communities: Farmington Hills, Farmington, Redford, Detroit-Neighborhood District 1, and Southfield (partial - also discussed in the Central Zone)

Non-member community: Livonia

Node A: Grand River to Telegraph

Cluster 1: Middle Belt to Grand River and Cluster 2: Evergreen to Greenfield (approx. 1/2)

Catalytic Site: Grand River Corridor



8

ZONES: Updates, Plans & Opportunities

Farmington & Farmington Hills:

Following the completion of a two-year grant-funded feasibility process, the cities of Farmington and Farmington Hills moved forward with a cooperative effort to revitalize the Grand River Corridor. In October 2011, both communities created a Corridor Improvement Authority (CIA). Through an inter-local agreement, these two Authorities were charged with the task of breathing new life into a Corridor that, despite its strengths, saw a decline and disinvestment. These two communities continue to work on this important initiative, an excellent example of cross-border collaboration.

Farmington Hills:

- 8 Mile & Grand River: The city recently adopted the GR Corridor Vision Plan as a sub plan to its master plan that calls for mixed use, residential, and medical uses. It also includes GR-1, an ordinance, and zoning overlay to implement the Botsford Focus Area that leverages the existing Beaumont Hospital (f.k.a. Botsford Hospital) as the foundation for future economic growth and development by clustering supporting land uses that reinforce the strength of the hospital. The area will become a medical campus anchored by the hospital. 8MBA could have a role in helping to market space as it comes available for leasing.
- Botsford Drive has been extended to connect with 8 Mile Road. Streetscape beautification, enhanced pedestrian connections, a transit stop, and a gateway treatment are proposed for the area. Stable small businesses line 8 Mile road in this area.

Southfield:

- The six-mile frontage along 8 Mile overlaps with the Southfield Technology Corridor. Land uses in this area are light industrial, auto-related, office, and some retail. (Discussed further in the Central Zone.)

Livonia:

- The Mid-8 Plaza between Middlebelt/Grand River completed new exterior façade renovation in 2017.
- 4-Legged Friends moved to the Philmar Plaza on 8 Mile Road and renovated 16,802 SF of retail strip in 2017 (from their previous Livonia location on Stark Road).
- CubeSmart Self Storage opened in 2017 at 28153 W. 8 Mile, next to Grand River Academy near 8 Mile and Grand River.

Note: Detroit District 2, Redford Township, and Southfield did not self-report updates or plans for the 8MBUF.

8

ZONES: Updates, Plans & Opportunities

CENTRAL: M-39 to John R

Counties: Oakland & Wayne

Member Communities: Southfield, Oak Park, Royal Oak Township, Ferndale, Hazel Park, Detroit-Neighborhood District 2

Nodes B: Livernois to Dequindre (Pilot)

Cluster 2: Evergreen to Greenfield (approx. ½) & Cluster 3: Coolidge/Schaefer to Wyoming

Catalytic Sites: Northland Mall, WWJ Building, Livernois 6-8 Mile, State Fairgrounds



Southfield:

- The six-mile frontage along 8 Mile overlaps with the Southfield Technology Corridor. Land uses in this area are light industrial, auto-related, office, and some retail.
- Several buildings offer unique examples of Mid Century architecture when 8 Mile served as a main arterial route. Further analysis of the feasibility of preservation would be worth considering.
- In 2017 the master plan was amended to incorporate a redevelopment plan for the 125-acre site of the Northland Mall just north of 8 Mile, west of Greenfield, vacant since 2015. A successful development presents an opportunity for a gateway and streetscaping where the Boulevard intersects with M-39, Northland Drive, and Greenfield Road.

Oak Park

- WWJ Radio building is being redeveloped into a destination restaurant and event space, anticipated late 2018.
- 27 acres of frontage available for redevelopment along 8 Mile; FedEx Ground opened new facility early 2017 in the 54 acres just north.
- Unique examples of Mid Century architecture when 8 Mile served as a main arterial route exist in Oak Park that may warrant further analysis for possible preservation.

Royal Oak Township

- Working w/McKenna Associates planning firm to market old Mel Farr Ford site.
- 8MBA worked with the township to plant 18 trees donated by DTE in the township park in Fall 2017. The new trees, once mature, will not only restore the canopy in the park that had been decimated by the Ash Borer, but also provide much-needed shade for the southern-facing residential area, reducing cooling costs.

**Note: Southfield and Royal Oak Township did not self-report updates or plans for the 8MBUF.*



ZONES: Updates, Plans & Opportunities

Detroit-Neighborhood District 2:

- Major redevelopment of 30-acre State Fair Grounds: retail, commercial residential, transportation. Details to be announced.
- Street resurfacing of 8 Mile & Lodge area, south to Pembroke.
- \$10M investment in the area with Livernois & 6 Mile as the nucleus, includes the Avenue of Fashion, with the hope that it will eventually connect to 8 Mile.
- \$8.3M redevelopment of a long-shuttered department store into 20,500 sq. ft. of commercial space and 10 residential units with ground-floor retail and parking at 7 Mile & Livernois called "Liv.7". Anticipated occupancy Spring, 2020. Investments to have a positive impact on residential neighborhoods south of 8 Mile.
- Future bike lane connection to Ferndale.
- 8MBA's most recent Façade Improvement Project was completed on two storefronts on the 10300 block of W. 8 Mile. Once leased, this project will help to anchor the Detroit Vintage Coffee Shop next store, the site of an 8MBA beautification project. The block is at the corner of Birwood Street, two blocks north of the infamous Birwood Wall, a cement wall erected in the 1940's to enforce housing segregation, now a mural depicting the civil rights movement in our region. This corner is planned for a future Art on 8 installation to further identify historic significance.
- 8MBA facilitated the installation of a large mural on the wall of a partner-owned building under redevelopment west of Livernois to kick-off Art on 8. The mural was funded by 8MBA long-time sponsor, Mercedes-Benz Financial Services "Week of Caring" program. Art on 8 is 8MBA's public art initiative to celebrate the diversity, unique cultures, and shared history along the Boulevard. The goal is to facilitate at least one installation in each member community.
- Building with Art on 8 mural is being completely renovated by an 8MBA partner and will be ready for lease in summer of 2018.

8

ZONES: Updates, Plans & Opportunities

Ferndale

- Livernois resurfacing and protected bike lane – from 9 mile to just south of 8 Mile (plan stops before Bakers but working with Detroit on transition between our bike lanes and the ones they are proposing)
- Transportation priorities for transit, pedestrian, and bicycling connections with Detroit across 8 Mile at Woodward and Livernois.
- DDOT has expressed interest in bringing bus service north of 8 Mile on Livernois.
- CN Terminal expansion – currently in process, anticipated to be finished in Fall 2018 – Nalpac (1111 W 8 Mile) and Kitchen Concepts have been purchased by CN and their property, along with our frontage from the RR bridge to Fair street will be part of the terminal. Kitchen Concepts relocated to the old Motor City Pawnbrokers building and will be constructing a new building there. CN working with Ferndale on an aesthetically pleasing design for their frontage that will incorporate substantial landscaping and a decorative fence. Hayes-Lemmerz 42-acre site (8 Mile and Pinecrest) – redevelopment in progress, being considered in 2 phases. Ultimate goal is mixed-use, urban form redevelopment. First phase (approx. 90 single family homes) currently in planning process and could break ground in 2018.
- CDBG Focus Area – Wanda to West End, 8 Mile to 9 Mile – currently working to improve tree canopy on Wanda street from 8 to 9 Mile and will be focusing CDBG resources for home improvement, financial literacy, park improvements, and other initiatives in the coming years.
- 205 to 235 Livernois – City is currently negotiating with a developer who owns a piece of property between these two lots, which the city owns. Current proposal which could break ground in 2019 is for mixed use, residential, and retail.

Hazel Park

- Sav-A-Lot and new surface retail at NW corner of 8 & Dequindre; Secretary of State should help continue momentum leasing and new foot traffic.
- City is working to improve their building design standards along 8 Mile to make them more attractive to businesses and residents.
- City Vision Plan calls for extensive streetscaping along John R from 8 Mile north beyond 9 Mile to create a gateway to the city, including enhanced landscaping to create a pedestrian-friendly business, retail, restaurant downtown destination.

8

ZONES: Updates, Plans & Opportunities

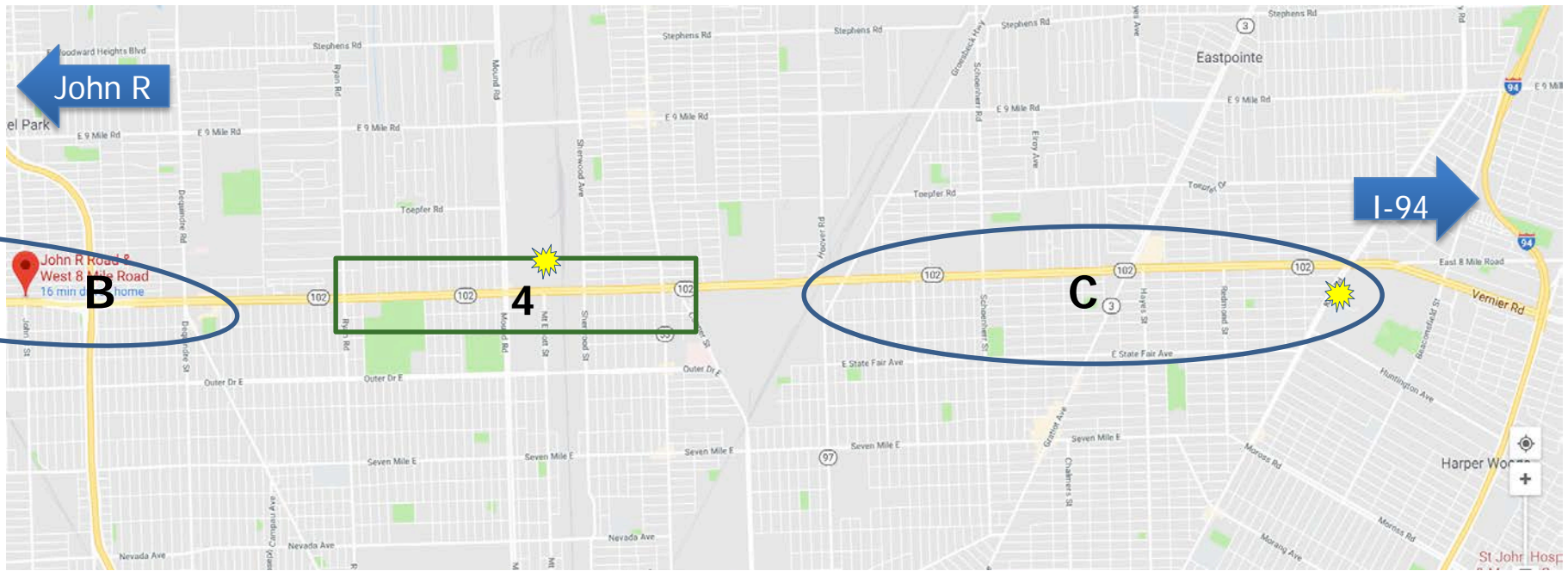
EAST: John R to I-94

Counties: Macomb, Oakland, & Wayne

Node B: Dequindre (partial) and Node C: Groesbeck to Kelly

Cluster 4: Ryan to VanDyke

Catalytic Sites: FCA Warren Assembly at 8 & Mound and Eastland Mall





ZONES: Updates, Plans & Opportunities

Warren

- In addition to their new master plan, the City of Warren is also in the process of a new streetscaping plan along VanDyke between 8 Mile and approx. 9.5 mile that will include 100 new trees, bike racks, trash bins, benches, LED streetlights, and façade improvements to businesses.
- New permanent supportive housing for veterans planned for a site just north of 8 Mile.
- Neighborhood Enterprise Zone (NEZ) tax abatement program for new businesses.
- New library, police mini station, city office, and fire station planned for 9 Mile & VanDyke.
- Working with Macomb County on Groesbeck Corridor Plan.
- Working on new uses for 8 Mile & Schoenherr.
- FCA is doing total upgrade at its Warren Assembly plant at 8 Mile & Mound and announced in January 2018 that it will be bringing back the manufacture of its RAM truck to the facility along with 2,500 new jobs.

Detroit-Neighborhood District 3

- 8MBA works closely with the Farwell Community Garden Association to secure grant funding, provide volunteers, and technical assistance through to seasonal help to maintain a large, model community garden that provides free fresh food to neighborhoods on both sides of 8 Mile, seniors, and those in need. The garden also serves as a learning center for children in the summer who not only learn how to grow their own food, but they get to sell their produce in Eastern Market.
- Several years ago, 8MBA facilitated the installation of new playground equipment, resurfaced basketball courts, and raised garden beds in Knudsen Playlot with the generous help of 8MBA sponsors. 8MBA continues to include an annual clean up and planting as part of Hands on 8 Mile.

**Note: Detroit District 3 did not self-report updates or plans for the 8MBUF.*



ZONES: Updates, Plans & Opportunities

Eastpointe

- Eastpointe is in the process of finalizing their new master plan and revising the future land use map for properties along 8 Mile as well as elsewhere in the city.
- The city was able to enhance its tree canopy through a partnership with ReLeaf Michigan and 8MBA's Tool Lending Program which loaned tools, gloves, and safety equipment.
- The site formerly occupied by the Eastpointe Recreation Department at 16325 E. 8 Mile has been rezoned to OS-1 (office/services) to allow for the proposed use as a daycare facility.
- The city is marketing the property at the northeast corner of E. 8 Mile and Kelly Road, a key intersection, that was occupied by Walgreens until April 2017.
- The former grocery store at 16145 E. 8 Mile suffered fire damaged and was demolished in 2014. The property was rezoned to P-1 and B-3. The owner wishes to use it for used car sales. 8MBA would like to work with the city to encourage the owner to pursue an alternate use due to the current saturation of car lots along the Boulevard.

Harper Woods

- Though Eastland mall was still in operation as of February, 2018, Target was expected to close at time of publication. Several other retailers were still operating in the area such as Lowes and Home Depot.
- The city is currently looking at text amendment changes to regional shopping zoning.
- The city's Parks and Recreation Master Plan draft update is recognizing the potential future opportunities for mixed-use developments on the Eastland site taking into account the need for recreation, parks, place-making, walkability, green space and storm water retention.
- The city will be partnering with the University of Michigan's Urban and Regional Planning Department to provide a graduate level capstone project aimed at the revitalization of Kelly Rd that is a significant feeder street to 8 Mile. The project will include collaboration efforts of Detroit, Harper Woods, Wayne County, and local non-profits.

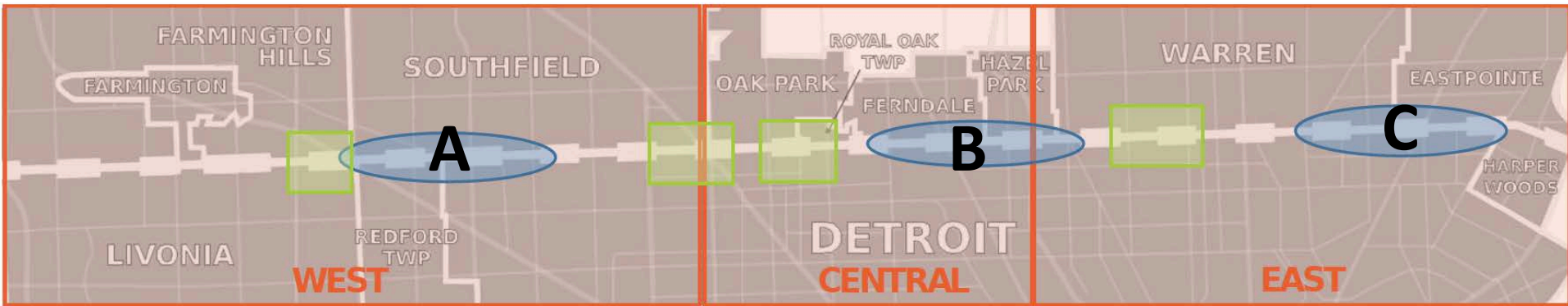
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NODES

I-275 TO M-39

M-39 TO JOHN R

JOHN R TO I-94



8 NODES

Through an assessment of local master plans, regional initiatives, recent and planned developments, and existing assets, three Nodes emerged as prime opportunities for concentrated investment with the potential to make a significant impact on the surrounding areas of the Boulevard. In addition, these particular Nodes were chosen based on their apparent readiness for investment.

	Grand River -Telegraph	Livernois-Dequindre	Groesbeck-Kelly
LENGTH	3.5 Miles	3.0 Miles	3.5 Miles
NORTH-SOUTH IMPACT	Grand River CIA, Tech Corridor	Livernois, Fairgrounds, Belmont	Eastland, Gratiot transit, Kelly Rd.
EXISTING ASSETS	Beaumont Campus, Tech Corridor, Rouge River, Municipal Collaboration	Gateway Marketplace, Liv6/Ave of Fashion Initiatives, Belmont, Sav-A-Lot, Baker's	Eastland Center, WCCCD University Center
ENGAGED STAKEHOLDERS	Municipalities, Property Owners	Committed Property Owners, Community Groups, Municipalities	Municipalities, Property Owners, WCC,
NEAR-TERM POSSIBILITIES	Grand River Corridor Vision Plan, Streetscaping, Pedestrian Improvements, Transit stop, Gateway Treatment	Targeted property development; cross-border infrastructure/intersection tri-county signature identification, Baker's improvements	Re-thinking Eastland Center, U of M Capstone Project for Kelly Road
TRANSFORMATIONAL POSSIBILITIES	Residential & Mixed Use Development tied into Medical Campus	Fairgrounds Redevelopment, Belmont Village, Livernois Crossing, Dequindre Crosswalk Pilot	Eastland Center Redevelopment, Bel Air Redevelopment, 8/Gratiot Kelly Road Redevelopment
MULTI-COUNTY IMPACT	Oakland & Wayne	Macomb, Oakland , Wayne	Macomb and Wayne
REGIONAL SIGNIFICANCE	Contains major regional intersections, employers	Contains regional, tri-county intersection, neighborhoods, retail	Contains major regional intersections, employers, retail
ADJ. NEIGHBORHOODS	Mix of Strong, Moderate	Mix of Strong, Moderate, Distressed	Mix of Moderate, Distressed

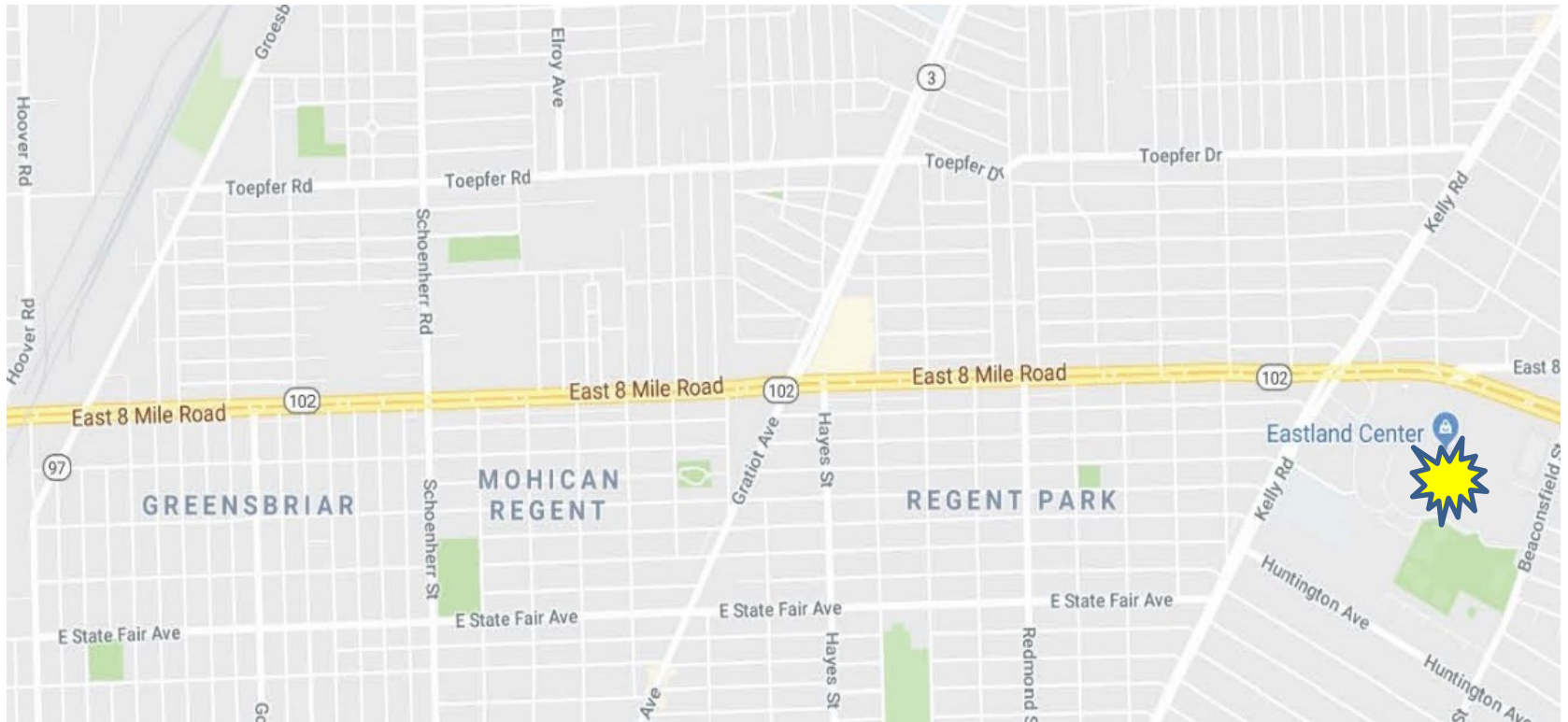
NODE A: Grand River to Telegraph



NODE B: Livernois to Dequindre



NODE C: Groesbeck to Kelly





NODES: 8MBA PILOT

From the three Nodes identified, 8MBA chose Livernois-Dequindre as a pilot for the following reasons: it touches all three counties, contains heavily travelled intersections, diverse neighborhoods and retail, long-time anchor businesses, significant recent/planned investments, and supportive and committed partners.

In the Pilot Node, 8MBA has focused on leveraging existing assets with 8MBA resources to tap the strong near-term potential and stimulate investments and will and generate a ripple effect. 8MBA will continue these efforts that the *Framework* provides to continue the momentum.

Projects & Activities in the Pilot

- ◇ Gateway Crossing
- ◇ State Fairgrounds
- ◇ Hayes-Lemmerz Property
- ◇ CN Rail Bridge Improvement
- ◇ Bright Removal Plan – Top 10 Project
- ◇ Crosswalk Enhancements
- ◇ Commercial Vacancy reduction
- ◇ Vacant Lot Plan – Top 10 Project
- ◇ Intersection Branding
- ◇ Art on 8 Branding

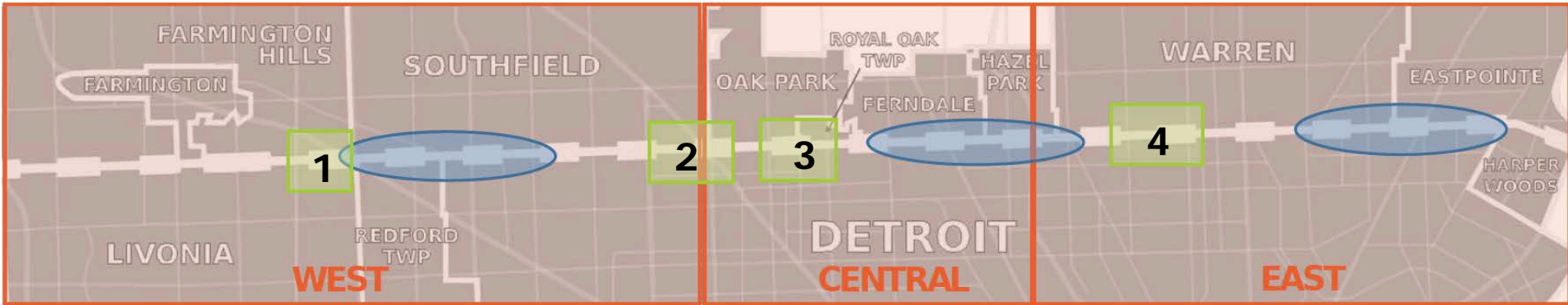
8

CLUSTERS

I-275 TO M-39

M-39 TO JOHN R

JOHN R TO I-94



8

CLUSTERS



Cluster 1: Middlebelt to Grand River

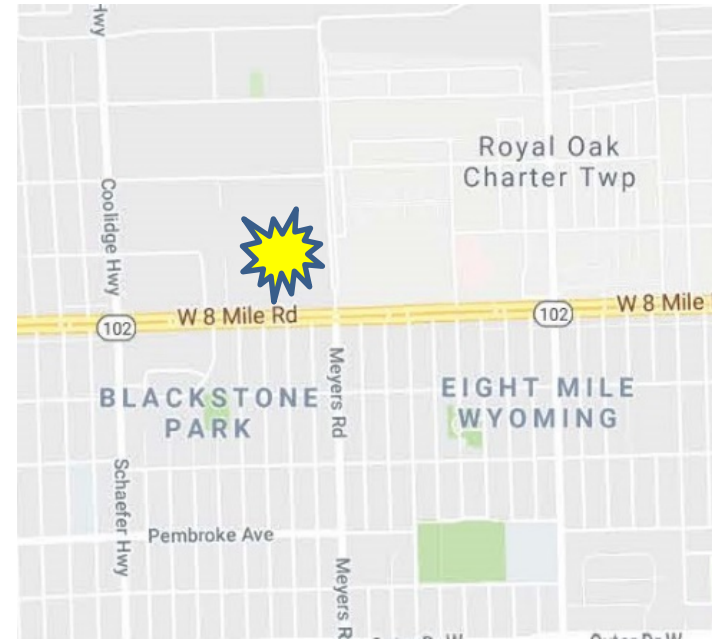


Cluster 2: Evergreen to Greenfield

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CLUSTERS

Cluster 3: Coolidge/Schaefer to Wyoming



Cluster 4: Ryan to VanDyke



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CLUSTERS

Clusters are localized segments of less than two miles with medium to long-term potential but may have barriers or challenges that prevent them from being developed. The *Framework* helps identify those challenges and strategies for removing those barriers. Examples of barriers include Brownfields, obsolescence, and zoning impediments. 8MBA's initial role in Clusters will be to help municipal partners with the visioning process for these areas, develop strategies, and identify opportunities as they present.

	Middlebelt-Grand River	Evergreen-Greenfield	Coolidge/Schaefer-Wyoming	Ryan-Van Dyke
CLUSTER SUMMARY	Proximity to major hospital, retail Cluster, and strong neighborhoods.	Proximity to regional hospitals and retail Clusters.	Proximity to retail and strong neighborhoods.	Proximity to key defense and logistics industry actors, as well as major automotive employers.
MAJOR OPPORTUNITIES	8/Grand River intersection – pedestrian access	Redevelopment of Northland Mall	Business expansion, neighborhood connections	Business Attraction, Conner Creek Trail expansion
BARRIERS	Must refine, articulate vision	Cost/uncertainty of development	Lack of unified vision	High blight, vacancy
KEY STAKEHOLDERS	GRIA, Beaumont, GR Academy, Farmington, Farmington Hills, Livonia, Redford	City of Southfield & consultant team, DDOT, SMART, RTA	City of Oak Park, City of Detroit, Royal Oak Township	Warren TIFA; Detroit Land Bank; DEGC, FCA, GM

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CATALYTIC SITES – Key to Sites Identified on Zone Maps

As discussed within the community narratives, certain sites are considered to be “catalytic” because of their impact on the rest of their Zone and the Boulevard as a whole. Visually, they are indicated on their Zone maps by a ☀ symbol and are listed below. The role that 8MBA will play in each of these will vary depending on the type of site, development, challenges, opportunities, and needs of the municipalities.

Site	Type	Plan	Community	Zone
Grand River/8 Mile	Mixed Use	Mixed Use	Farmington-Farmington Hills	West
Northland Mall	Vacant Mall	Mixed Use	Southfield	Central
WWJ	Architecturally-significant building	Destination Restaurant	Oak Park	Central
Livernois – 6 Mile to 8 Mile	Major investments	Building, housing, infrastructure investments	Detroit Neighborhood District 2	Central
State Fairgrounds	Vacant Land	Mixed use, transit	Detroit Neighborhood District 2	Central
FCA Warren Assembly Plant	Manufacturing	2500 new jobs	Warren	East
Eastland Mall	Vacant Mall	Mixed use	Harper Woods	East

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NEXT STEPS

- Upon approval of the final 8MBAF document, the Planning Advisory Committee agreed to the following actions:
 1. 8MBA will take to its Board of Directors for approval.
 2. Each Member Community will draft a “Resolution of Support” to be presented to their planning commission (or appropriate legislative body) for approval.

PAC agreed that these actions demonstrate cohesion and collaboration and add legitimacy to the *Framework* which would strengthen applications for grant funding and other project financing.

- Drawing on the capacity of PAC, the Oakland, Macomb, and Wayne County maps of the Boulevard that show local zoning overlays and master plans will be added as an addendum or addenda.
- PAC will continue to meet quarterly to discuss progress of the 8MBAF, how 8MBA can play a role to support projects, and any projects that 8MBA has in the pipeline.
- 8MBAF will be amended annually, as necessary, as major projects or changes come on line.
- To further the goals of the 8MBAF and the 8MBA strategic plan, ACTION 2020, 8MBA will pursue a Community Development Corporation (CDC) or similar designation and establish a committee to explore real estate development strategies.

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SUMMARY

As stated in the introduction, *The 8 Mile Boulevard Unifying Framework* is the result of over two years of collaboration with our stakeholders and includes extensive input of the 8MBA Planning Advisory Committee (PAC) that is comprised of representatives of the Member Communities, board members, and other stakeholders. It is a framework for not only how 8MBA works with each of its member communities, but also how communities recognize their connectivity and can align their resources to work together.

The result is a product incorporates their in-depth plans and long-term visions. But it is not just meant to provide a snapshot of the state of the Boulevard at the time of publication. The *Framework* is intended to be a living document; by design, it was built to be expanded and amended as visions come into focus and plans become reality.

Eight Mile Road began as a line on a cartographer's map in the 1700's and has continued to transform and reinvent itself according to the changing tastes and needs of the region. Our latest blueprint, the 8MBAUF is designed to do the same.

**In the Zones sections, there are notes where several communities did not self-report updates or plans at the time the Framework was approved and published. The sources of information contained in those sections were public documents and anecdotal knowledge of PAC members. As stated above, the 8MBAUF is intended to be an inclusive, comprehensive, dynamic document. To that goal, as those communities formulate plans and updates are made available, they may be presented to the PAC for amendment to the 8MBAUF.*



ACKNOWLEDGMENTS

8MBA Wishes to Acknowledge the Efforts and Input of the PAC:

Detroit	Harper Woods	Oakland County
Detroit Future City	Hazel Park	Redford Township
Eastpointe	Livonia	Royal Oak Township
Farmington	Macomb County	Southfield
Farmington Hills	MDOT	Warren
Ferndale	Oak Park	Wayne County

Special Thanks to the following:
Tom Bommarito, City of Warren
Kevin Christiansen, City of Farmington
Sean Davis, City of Detroit
Barb Gamber, City of Livonia
Justin Lyons, City of Ferndale
Kim Marrone, City of Oak Park
Joe Rheker, City of Harper Woods
Marc Stec, City of Farmington Hills
Jordan Twardy, City of Ferndale

PLANNING COMMISSION RESOLUTION

RESOLUTION IN SUPPORT OF THE 8MBA UNIFYING FRAMEWORK

RESOLUTION OF THE CITY OF FARMINGTON PLANNING COMMISSION IN SUPPORT OF THE 8 MILE BOULEVARD ASSOCIATION UNIFYING FRAMEWORK PLAN, ESTABLISHED FEBURARY 2018.

WHEREAS the 8 Mile Boulevard Association is a historic transportation, business, and residential thoroughfare that serves to connect the Metro Detroit region. Within a 27-mile focus area between I-275 on the west and I-94 on the east, 13 municipalities and three counties saw a common interest in preserving the vitality of 8 Mile Road and in 1993 came together along with other stakeholders to found the 8 Mile Boulevard Association (8MBA); and

WHEREAS a regional collaboration was launched with a cornerstone plan “A Vision for 8 Mile Boulevard: Joining Together to Make a Difference”. The plan was the result of input from all of its founding members based on the opportunities they identified along 8 Mile to build upon its existing assets and deepen their connectivity; and

WHEREAS, 8MBA and its member communities adopted Eight Mile Boulevard Design Guidelines to encourage consistency and a higher standard of aesthetic for development along the Boulevard. It provides guidance for planning commissions, zoning boards, community groups, developers or anyone looking to develop or improve property along 8 Mile; and

WHEREAS, 8MBA has worked to build countless partnerships to further our mission. The 8 Mile Boulevard Unifying Framework (8MBAUF) is among the latest examples of the continuing efforts to bring members and partners to the table; and

WHEREAS, The Plan includes extensive input of the 8MBA Planning Advisory Committee, (PAC) comprised of representatives of 8MBA’s Member Communities, board members and other stakeholders; and

WHEREAS, The unifying framework and design guidelines help define 8MBA’s role in these plans and visions and sets the stage for 8MBA to take their work to the next level; specifically, the purpose of the 8MBAUF is to help 8MBA prioritize resources and activities; align multi-party efforts to combine resources and broker partnerships; and promote transformative levels of investments; and

NOW, THEREFORE, THE CITY OF FARMINGTON PLANNING COMMISSION, acknowledges that the City of Farmington is a member community of the 8 Mile Boulevard Association. The City of Farmington Planning Commission hereby offers their support to the 8 Mile Boulevard Unifying Framework Plan, dated February 2018, for the on-going work and efforts at establishing unifying geographical zones along Eight Mile Road. The Planning Commission supports the efforts establishing how 8MBA works with its member communities and that the member communities recognize their connectivity and work to align their resources to work together.

CERTIFICATION

I, Susan Halberstadt, City Clerk for the City of Farmington, Oakland County, Michigan do hereby certify that the foregoing Resolution was offered by Commissioner: _____, supported by Commissioner _____, and that the same was duly passed at a meeting of said Planning Commission held in City Hall on Monday, May 14, 2018, and that the vote was as follows:

Yeas:

Nays:

Absent:

Susan Halberstadt
City Clerk