



**PLANNING COMMISSION MEETING**  
**Monday, July 8, 2019 – 7:00 p.m.**  
**City Council Chambers**  
**23600 Liberty Street**  
**Farmington, MI 48335**

---

## **AGENDA**

- 1. Roll Call**
- 2. Approval of Agenda**
- 3. Approval of Items on the Consent Agenda**
  - A. June 10, 2019 Minutes**
- 4. Public Hearing and Consideration of Special Land Use and Site Plan Review – Burger King, former Paramount Home Care, Inc., 31806 Grand River Avenue**
- 5. Introduction/Discussion and Request to Schedule Public Hearing for Rezoning Review – Certainty Home Buyers, LLC, 22100 Hawthorne Street**
- 6. Request to Schedule Public Hearing for Special Land Use and Site Plan Review for Proposed Drive-Through – Panera Bread Bakery, 34635 Grand River Avenue**
- 7. Public Comment**
- 8. Planning Commission Comment**
- 9. Adjournment**

FARMINGTON PLANNING COMMISSION PROCEEDINGS  
City Council Chambers, 23600 Liberty Street  
Farmington, Michigan  
June 10, 2019

Chairperson Crutcher called the Meeting to order at 7:00 p.m. at City Council Chambers, 23600 Liberty Street, Farmington, Michigan, on Monday, June 10, 2019.

**ROLL CALL**

Present: Chiara, Crutcher, Kmetzo, Majoros, Perrot, Waun, Westendorf  
Absent: None  
A quorum of the Commission was present.

**OTHER OFFICIALS PRESENT:** Director Christiansen, Recording Secretary Murphy

**APPROVAL OF AGENDA**

MOTION by Chiara, seconded by Majoros, to approve the Agenda.  
Motion carried, all ayes.

**APPROVAL OF ITEMS ON CONSENT AGENDA**

**A. May 13, 2019 Minutes**

MOTION by Majoros, seconded by Perrot, to approve the items on the Consent Agenda.  
Motion carried, all ayes.

**SITE PLAN REVIEW FOR SINGLE-FAMILY RESIDENTIAL HOME CONSTRUCTION –  
FABIO CERVI, 33427 SHIAWASSEE ROAD**

Chairperson Crutcher introduced this item and turned it over to staff.

Christiansen stated this item is a site plan review, the consideration to approve a new single-family home for the property at 33427 Shiawassee Road. As indicated in your staff report, Article XIII of the Zoning Ordinance, site plan review Section 35-162 specifies use is subject to site plan review and approval. Construction, renovation and expansion of buildings and structures with the City of Farmington's Historic District, are subject to site plan review by the Planning Commission. The Zoning Ordinance further states prior to submittal of a site plan to the Planning Commission, the site plan shall be submitted to the City's Historical Commission for review and comment.

The City received an application from Mr. Fabio Cervi to construct a new single-family residence with an attached garage on an existing vacant lot located at 33427 Shiawassee

Road within the City of Farmington's Historic District. The design and location of the new home is shown on the attached information which has been submitted by the Applicant.

The City of Farmington's Historical Commission has reviewed the plans and has provided their recommendations; a copy of those recommendations are attached with the staff packets. The responsibility of the Planning Commission is to review the site plan for the proposed new home. The Building Department has reviewed the dimensional aspects of the plan and has indicated that it meets the requirements of the Zoning Ordinance.

The materials that are attached, there is an aerial photograph, this photograph shows Shiawassee Road, the south side of Shiawassee Road and the address there is 33400, that is the Baptist Church property, and then it's actually the green space and the entryway into the parking lot. On the south side, single family properties. You see homes on 33435, 33431, Mr. Cervi's property is 33427. Adjacent to it to the east is 33423, both Mr. Cervi's property and the one to the east are existing vacant single family lots of record. And to that there's another single-family parcel, that's actually the property at the corner of Shiawassee and Farmington Road.

So, the property, subject property that Mr. Cervi is interested is building the new home as proposed on, is an existing single-family building site, a platted lot of record in the single-family zoning district on the south side of Shiawassee Road.

Site plan application has been submitted by Mr. Cervi. This is a plot plan showing the lot, Lot 14, and the proposed single-family home, and you can see the footprint of that house and the access off of Shiawassee Road. Mr. Cervi has presented and provided to both the Historical Commission for their review and now for your review a site plan packet for his new single-family home, it's a two-story home with an attached garage.

Christiansen stated he will go through the documents, but that Mr. Cervi is here this evening to present his request to the Commission. He then went to the Historical Commission's review, which was provided in their staff packet. "Dear Farmington Planning Commission: The Farmington Historical Commission reviewed the plans for the new home at 33427 Shiawassee at their previous meeting. They made a few suggestions to the builder, Mr. Cervi, and he seemed agreeable. They are to reduce the pitch of the roof to lower the overall height of this structure. Change the roof over the garage to a regular gable with possibly an arch window instead of an octagon window. Use a stained wood garage door with windows. Make the front porch deeper so it can be more useful than decorative. Use dark red brick on the lower half of the home as proposed. Reduce the number of different wall surfaces, brick, stone, clapboard shake, to just brick and clapboard. Use architectural roof shingles on all bays." The Commission was concerned the proposed building would be larger than the neighbor to the west,

however they did have some dialogue, they understand that the house as proposed does meet the ordinance requirements in terms of its siting on the property meeting the setbacks as proposed in the residential zoning district where this property is located. They were pleased that the builder planned to use Hardie fiber cement type siding, Anderson wood windows with divided lights, again proposed by Mr. Cervi shown on the plans.

One thing they were concerned about is doing something that wasn't original or doing something that was not specifically historical. They didn't want anything that was faux or fake. As indicated here, they were indicating or have indicated discouragement of the use of any fake historical architectural features. They were looking for in their review and feel that Mr. Cervi is providing this, a well-built, well-designed current house here in 2019/2020 that is preferred over a copy of a historical house that's not original. So that's the comment they made here in their review in providing this to you. Their concern really was only that the house as proposed blend with its neighbors including building materials, color, mass and style and that's submitted for your consideration.

Chairperson Crutcher called the Applicant to the podium.

Fabio Cervi, 12419 Stark Road, Livonia, Michigan 48150, came to the podium. He stated as Kevin had mentioned he is proposing a single-family home on the 33427 Shiawassee site. He stated he did meet with the Historical Commission, it was a terrific meeting, they had some recommendations at that meeting from his original proposal and he addressed every recommendation that they had made at that last meeting. They requested that he reduce the overall height of the home, he did that by reducing the roof pitch. He added gables to the front instead of a reverse gable that they originally had proposed, so he has full gables with cedar shake above the garage door and the dining room or princess suite above that. He also did increase the depth of the porch, he made it five feet versus the four feet that was originally submitted to the Historical Commission. They asked that he not do a mish mash of building materials, so he removed some cultured stone or stone that they had on the front of the home to make it fully consistent of all brick. He is proposing a little bit nicer garage door, he originally had a generic architectural garage door showing, they asked to see something a little bit nicer, so he did that with a barn style type door with windows. And they did mention they would like to see red brick on the home and he did that as well.

Crutcher asked about the change in the roof pitch and Cervi replied it went from 12'10' to a 12'8' roof pitch.

Crutcher then asked about the front porch and Cervi replied that the Historical Commission had made a comment that it was a little narrow for a front porch and he agreed and increased it to 5' in depth and further discussion was held.

Crutcher opened the floor for questions from the Commissioners.

Perrot said there's two really significant properties that essentially border this property from a City standpoint, that essentially border this property. One of which is the first Post Office for the City of Farmington and it abuts up against the backyard and the church across the road. The other designed house and structures were there any features pulled from any other property and put into consideration when this one was designed because quite honestly, it's a sensitive area because of those two historic landmarks.

Cervi replied that he did try to keep it authentic to now, but some design elements were pulled that you see in historic neighborhoods, large covered porches, angled front doors, the mix of materials with the cedar shake and obviously Hardie board siding. The muttons on the windows are traditional pattern, they're not more modern, they're typical, standard mutton pattern which the Historical Commission liked. So, some elements were pulled out of the surrounding homes.

Chiara asked if the church originally owned that property and Cervi replied no, that a woman named Annabel who stated her family was one of the original farmers of Farmington did.

Chairperson Crutcher then asked if Cervi was building this home as a spec home or for himself and Cervi replied they usually build the home and then make a decision on listing it, so they don't make that decision until the home is complete.

Crutcher then asked how the size of this house compares with others on the block and Cervi replied it's similar to the most recently home on the other side of Shiawassee to the west, that home is approximately 2,700 to 2,800 square feet and it does have a finished basement, the proposed home does not initially include one. The proposed home is approximately 3,200 to 3,300 square feet. A significant amount of square feet is gained by building a closet over the garage, a lot of newer homes, builders are doing that, utilize cheap square footage because you're basically building over the garage, getting another couple hundred square feet and it's really just closet space.

MOTION by Majoros, supported by Chiara, to approve the site plan review for the new single-family home at 33427 Shiawassee Road, consistent with the feedback that was provided with the feedback that was provided by the Historical Commission and as addressed by the Petitioner today.

Motion carried, all ayes.

Cervi thanked the Commissioners.

**FINAL PUD SITE PLAN REVIEW – BLUE HAT COFFEE (FARMINGTON MASONIC TEMPLE), 23715 FARMINGTON ROAD**

Chairperson Crutcher introduced this item and turned it over to staff.

Director Christiansen stated this item is the final PUD Planned Unit Development site plan review for Blue Hat Coffee to be located at 23715 Farmington Road in the Farmington Masonic Temple. The Planning Commission at the March 11<sup>th</sup> meeting discussed and reviewed with the Applicant, the proposed PUD Planned Unit Development Concept Plan for the Blue Hat Coffee business to be located at Farmington Masonic Temple as well as then scheduled the required PUD Public Hearing for the April 8, 2019 meeting as requested.

At the April 8, 2019 Planning Commission meeting the Commission recommended approval of the Conceptual Preliminary PUD Plan to City Council. At their May 20<sup>th</sup>, 2019 meeting the City Council approved the conceptual preliminary PUD plan and initial draft PUD agreement subject to several revisions as requested by the Council for Blue Hat Coffee as proposed.

The Applicant, Farmington Masonic Temple Association has submitted a final PUD site plan for Blue Hat Coffee. The final PUD site plan includes a final site plan, floor plans, and building elevations. Also attached is a copy of the revised draft PUD agreement, still be reviewed and approved by City Council. So, this has actually been a coordinated project between Masonic Temple and the Applicant/Petitioner, Phillip and Cathy Jewell representing or owning Blue Hat Coffee.

The Applicant is here this evening, representatives of the Masonic Temple Association, to present the final PUD site plan to the Commission.

Commissioner Westendorf recused himself from the meeting for this item to avoid any perceived conflict of interest.

(Commissioner Westendorf stepped down from the dais at 7:19 p.m.)

Chairperson Crutcher called the representative to the podium.

Dan Blugerman, from Thomas Duke Company, came to the podium. He stated he is representing the Masonic Temple Association and would be happy to answer any questions the Commissioners might have. He stated the revisions have been made and the architect has submitted the revised plans which included the location of the dumpster

and the materials and working with City staff, they came up with an alternate location and solution and materials that are in the new proposal.

Majoros stated he is not sure if his question is for the Petitioner or Christiansen but it looks like the dumpster from what was originally proposed, if the dumpster is located as it is now, let's call that Row 1, then you have Row 2 and 3 abutting each other and then Row 4, originally it was going to be placed in Row 1 or 2 or somewhere around there. And now it is being moved to occupy what was once five spaces along Row 1, it looks like some of the curb is going to be chopped out of the to be completed Oakland Street renovation, so there is no on street parking spots lost, but three spaces of the parking there. And what we had talked about last time was the combination of the spaces in the existing structure as well as the spaces to be created on Oakland Street, felt sufficient as well as other parking other places, so essentially they're minus three but a solution that doesn't have the dumpster further east closer to the resident and set back further on the property and enclosed, is that a fair summary of where we're at?

Christiansen responded that is a fair summary.

Majoros asked if there will be a fresh pad being poured or is it going to be plopped down into the asphalt that is there now. Christiansen replied that is a good question and as you may recall the original proposal for the dumpster and you kind of alluded to the various locations it was shown over time in review, and you might recall just quickly that it was reviewed by the DDA Design Committee, the Historical Commission, the Parking Committee, the Planning Commission for preliminary conceptual, City Council for preliminary conceptual and now we're back for the final. There was a dumpster pad that was proposed in a prior iteration of the plan, but after discussion and discussion at Council and also in negotiating the PUD agreement with Council, it was requested that that not be required so it's not part of the final plan. The intention then is to provide the dumpster in the location as shown with an enclosure, that enclosure then to be stained and then gates to be provided and that dumpster to be placed on the existing asphalt surface as shown on this plan, that was an agreement of Council and that's also request in the draft PUD agreement which will be executed in final form by Council as well.

Crutcher asked if the parking lot is going to be repaved and Christiansen replied there is still discussion how that is going to be handled, not part of the Planning Commission's responsibility of the PUD, there is a parking agreement that the City has had in place with the Masonic Temple Association. It is a license agreement for utilization of the parking lot that includes maintenance and the City is working with the Masonic Temple Association on some modifications to that agreement as well as the final PUD plan right now so that item, resurfacing, restriping, is being worked through the City Manager's office and with Council.

Blugerman stated at this time the proposed agreement which they're all in favor of is for the City to continue maintaining the sealing, striping, paving, maintenance of the lot including where the dumpster is. So the City is taking over that. The tenant for the Mason's will do the snow and ice but the City will do all the physical parts of it, so the City is in charge of upkeep of the asphalt.

Christiansen stated that that agreement is in place right now and if there are any modifications to that agreement, that decisions rests with City Council. The Planning Commission's responsibility this evening is the final PUD site plan and there's four elements to that: it's the barrier free facility for access on the north side of the building, it is the elevated patio area on the south side of the building, it is the signage that is proposed and it is the dumpster, its location, and its screening, those four elements are what are now reflected as the PUD elements here on the final site plan and the items that I just alluded to and what Mr. Blugerman was reflecting on, the agreement, the parking agreement, and the final PUD, again are under consideration for a final decision or action by City Council.

Chiara asked if the Planning Commission is charged with sending this to City Council and Christiansen replied no, that the final PUD site plan and process of the fifth step, and the final site plan will rest with the Planning Commission. The PUD agreement rests with City Council. At their last meeting as indicated in the staff report, they approved the conceptual preliminary plan, that's the fourth step, and the draft PUD agreement with some revisions and those revisions still have to be finalized. The fifth step, the final for the site plan, rests with the Planning Commission.

MOTION by Majoros, supported by Waun, to approve the final PUD Planned Unit Development for the Blue Hat Coffee located at Farmington Masonic Temple, 23715 Farmington Road, consistent with the inputs as delivered in this staff packet from City Council packet and the final PUD.

Motion carried, all ayes.

(Commissioner Westendorf returned to the dais at 7:26 p.m.)

**REQUEST TO SCHEDULE PUBIC HEARING FOR SPECIAL LAND USE AND SITE PLAN REVIEW FOR PROPOSED BURGER KING – PARAMOUNT HOME CARE, INC., 31806 GRAND RIVER AVENUE**

Chairperson Crutcher introduced this item and turned it over to staff.



Director Christiansen stated this item is a request to schedule the required Public Hearing for Special Land Use and Site Plan Review for a proposed Burger King with a drive-thru at the former Paramount Home Care, Inc., located at 31806 Grand River Avenue.

The Applicant has submitted plans for a 3,065 square foot one-story restaurant building with a drive-thru to be constructed on the commercial portion of the property. The existing commercial site is zoned C-2, Community Commercial. Drive-thru establishments are a special land use in the C-2, Community Commercial District and require a Public Hearing and site plan review. A Public Hearing and a site plan review are responsible for consideration and action by the Planning Commission. The purpose tonight is the request to schedule the Public Hearing for Special Land Use and Site Plan Review as well as an opportunity for the Applicant to introduce their project to you. The Applicant requested and appeared before the Grand River Corridor Improvement Authority at their May 9<sup>th</sup>, 2019 meeting for review and discussion of their site plan for the proposed restaurant building with drive-thru and other improvements to the existing site. A copy of those minutes from that meeting are attached with your staff packet. The CIA Board recommended forwarding the submitted materials included in the CIA packet at their June 10, 2019 meeting. So the CIA has forwarded their materials for their consideration at their May 9<sup>th</sup> meeting to you this evening for your consideration.

OHM Advisors, the City's planning and engineering consultant has reviewed the Applicant's submitted plans and has provided a planning and engineering review letter dated May 3, 2019. A copy of that letter is attached with your staff packet.

The Applicant is in attendance this evening to present their Special Land Use and proposed site plan to the Commission. Again, the requested action of the Planning Commission this evening is to schedule the required Public Hearing for the July 8, 2019 meeting.

Chairperson Crutcher called the Applicant to the podium.

Ron Nadis, from Cousens, Lansky, came to the podium stating he is an attorney and he represents Carrol, which is the party proposing this development of a Burger King at the northwest corner of Grand River and Lakeway. He is here tonight with Amanda Aldrich who is the real estate manager for Carrols, who is spearheading the application process for Carrols and Mark Mathe from Mannik, Smith group, their engineers and he is spearheading the technical aspect of the development, has prepared the site plan that you've been given and is going to step up and more formally present the plan to you. As you've heard, we're proposing to replace the Paramount Home Health Care Building, which is essentially vacant now. It was formerly a bank building with a drive-thru that hasn't been used in a number of years. Tonight we're just presenting the plan and requesting the Public Hearing for our site plan review and approval for the Special Land

Use permit. At this time I would ask the rest of our team to come on up and explain a little more about the proposal, why we think it's a good proposal for the City of Farmington and why we think it would fit right in with this neighborhood and be a benefit for the area.

Amanda Aldrich, real estate manager for Carrols, came to the podium and stated they are the largest Burger King franchise in the country and are hoping to build this Burger King in Farmington and are excited about the opportunity to present it to you.

Mark can help with all the technical aspects as far as how we are removing an access point on Lakeway so that we're strictly facing the commercial zone, Grand River Avenue. We will be adding a tremendous amount of landscaping, more than is required as far as going above the ordinance. Providing a landscape buffer up along Lakeway and in the rear and not disturbing a whole lot of the landscaping or the natural trees in the back. I'm going to let Mark speak, he's a better speaker than I, quite frankly, but also, he's an engineer so he can tell you all the technical aspects.

Mark Mathe, project engineer from Mannik Smith Group, came to the podium. He stated he works out of the Monroe office, but their Columbus office handles a number of Burger King sites across the Midwest. He then asked Director Christiansen to put the landscape plan on the screen. He stated he also brought a 3D rendering which he can provide to Mr. Christiansen as a PDF file at a later time. It shows a view of the site and how it fits in with the existing landscaping and the existing conditions in the area. This is on the northwest corner of Lakeway and Grand River Avenue. It is replacing an existing building. He stated the proposed building is essentially in the same location as the existing building. It is a little bit nearer and as near to the Grand River right-of-way as they can be. They're proposing to reuse the two existing approaches off of Grand River Avenue, have two-way traffic in this parking lot with a one-way drive-thru and this being an out only driveway on this side following the drive-thru windows. There is concrete pavement within the vicinity of the drive-thru and dumpster enclosure which will have screened walls on three sides which will be built out of materials that will complement the building. There was an existing approach on Lakeway that they're proposing to close and not utilize any longer. The intent behind that is to minimize traffic that may find its way onto Lakeway and focus that traffic onto Grand River as best we can.

At the rear of the site and it's not really shown on this plan, but generally speaking this diagonal portion of the site, about as wide as my hand, is the C-2 zoning district. The rear portion being the R-1-P, Residential Parking District. As much and all structures on this site are being kept in the C-2 District. The only site improvements being constructed in the R-1-P are circulation areas, new parking spaces, a few areas of pavement and then some buffering along the rear of the site to supplement and complement the existing natural buffering that already exists in the rear of the R-1-P District. There is a shrub line, brush line in the rear of the site. There's some tall, 24- or 36-inch existing trees in the

rear of the site that they're proposing remain. They will be constructing a masonry wall beyond the limit of the parking area. That masonry wall will also complement the dumpster enclosure and the proposed building. And on the back side of that 4-foot wall will be another row of landscaping and trees to just soften the appearance of that wall from the residential district to the north.

Onsite there will be sanitary sewer water servicing the building, enclosed storm sewers throughout the site, which will lead to a shallow detention basin to the rear of the site, which will then be metered out and run through a mechanical treatment structure like Aqua swirl or some kind of technology like that to remove sediment and meet with the Federal Phase II Storm Water Guidelines and then outlet to the public storm sewer in the right-of-way.

That's basically a preliminary introduction unless there are specific questions.

Chairperson Crutcher stated there are a number of comments from OHM and asked whether those are reflected in this package or have they been addressed?

Mathe replied the comments they received from OHM per planning and engineering perspective, they are prepared to respond to and address. None of those comments in that letter do they have any issue with, but they really wanted to get the presentation before the Commission and get your supplemental thoughts before they start to make changes so they're not doing things twice. They want to make sure everything is incorporated at one time. So, no, those comments are not shown in this set, but will easily be accomplished.

Crutcher asked if any of the recommendations caused any problems and Massey replied no.

He then opened the floor up for questions from the Commissioners.

Nadis then said he has one other comment if it is in order. He said as you consider the proposal, they just wanted to make sure that their thought process is reflected in how you consider it. One of the key elements is that this is the C-2 District in front. This is a project that fronts Grand River. Beyond the natural buffering at the north end of the site there is residential, and then sort of kitty-corner, next to this site is a credit union and then beyond that there is residential. And part of the contemplation of the site plan is that this sort of ultimately be a site that faces Grand River and is really separate from the neighborhood area. And the way they've done that is by sort of encircling the site with the landscaping features. Of course the wall, and then beyond that, the natural buffer, the northern end, so that they can as much as possible separate this from the community and have it be an element that is part of the Grand River Thorofare, not part of Lakeway. Cutting off the

entrance from Lakeway was part of that and wants that to be part of the contemplation process and that the Commission consider the proposal.

Chairperson Crutcher asked if with the drive-thru there is some kind of communication system to place orders and where is that located?

Mathe replied essentially there are two boards that are part of the ordering system for Burger King. There are a few pre-order boards but the actual speaker itself is located right here and it does have an overhang over it because it does have an order confirmation screen so that guests can see a confirmation of what they actually ordered. One thing is important to note, the speaker system is part of Burger King's system. It senses the ambient noise such that if it is louder in the area it will automatically be a little bit louder but when it's quiet in the evenings, it will reduce that sound. But in knowing that would that sound reach any of the property line, I know that is one of the requirements of the Special Use, that there is a 50-decibel limit at a commercial property or a neighboring property and a 30-decibel limit at a residential property line. Both of those values would be significantly lower using the system that Carrol's has in place.

Crutcher then asked if the speaker itself would be pointed where and Massey replied it would be angled a little in this direction towards the corner of the property just based on how the cars will be in the line.

Crutcher asked if the signage is lit and Massey replied yes, backlit internally. Crutcher asked what the height of that is compared to the building and the wall and landscaping that is going to be at the north of the property.

Aldrich asked if he meant the menu board and Crutcher said yes, his concern is that the residential neighborhood north of there, the lights on the menu board will be on at night and is there anything that would block the light from the neighboring properties.

Aldrich replied the buffer wall will block a lot of the light. They will be LED so they don't throw light.

Crutcher asked if there is something between and Massey replied there is the existing hedge row on the north property line and then the proposed landscaping.

Crutcher asked if they have an illustration of what that section will look like and Aldrich said she could bring it to the Public Hearing.

Mathe stated that offhand it does not know the height of the trees, in the landscaping plans they refer more to the caliper of the trunk, but he would say they would be 8 to 10 feet tall trees.

Crutcher stated that in looking at the light and the sound, if those are going to be issues as the neighborhood is always concerned, and ways to mitigate it, so anything that can be between the building and the neighborhood helps to mitigate it, so the landscaping, something dense, some kind of barrier wall is usually what works the best. He stated an illustration of what that looks like with the lighting on the signage and the order board relative to the landscaping and screening they are proposing, showing how that works.

Crutcher then asked about the sidewalk on the south, where is that compared to the existing sidewalk and Massey replied what is shown on the drawing is the existing sidewalk.

Crutcher then asked if there is signage proposed in the front and Massey replied there will be a monument sign proposed on the front of the building, that will be out of the right-of-way but is not reflected in the rendering right now.

Aldrich stated they are not asking for any variances for signage.

Crutcher then asked if there were any other questions or comments from the Commissioners.

Kmetzo asked what the hours of operation for the Burger King and Aldrich replied typically 6:00 a.m. to 11:00 a.m., not a 24-hour operation.

MOTION by Majoros, supported by Chiara, to formally schedule the Public Hearing for the Special Land Use and Site Plan Review for the proposed Burger King Restaurant at the site of the Paramount Home Care, 31806 Grand River Avenue, to take place at the July 8, 2019 Planning Commission Meeting.

Motion carried, all ayes.

## **PUBLIC COMMENT**

Joe O'Connor, 33431 Shiawassee, stated he lives next door to the lot where at 33427 Shiawassee, where Mr. Cervi is going to build, and he stated it would have been nice to have received contact of what is being proposed prior to and not after the approval.

Commissioner Majoros asked staff of the legal requirements to notify the public and Christiansen replied that it depends on the issue and circumstance. For the existing single-family site of record, so what was required was a courtesy review by the Historical Commission and then by ordinance a site plan review formally by the Planning Commission which was done this evening. Under the current processes in the City there is not a requirement for public notification in a residential district, unless there was a

Special Land Use or variances requested, notices would be mailed out to people within the 300-foot radius would be notified.

The following people spoke on the proposed Burger King at 31806 Grand River Avenue:

Mike Smith, 22809 Lakeway  
Mark Baltrasz, 22712 Lakeway  
Don Kenely, 23101 Lakeway  
Hallie Bard, 22738 Lakeway  
John Castine, 22658 Brookdale

### **PLANNING COMMISSION COMMENTS**

Commissioner Majoros stated he would like to make two comments, one to Mr. Christiansen and one to the public.

He stated to Mr. Christiansen that we have found meetings to be more productive when the Applicant comes in and proactively addresses the issues raised here today. We've done that before with Maxfield and he stated it would be prudent during the public comment when there's presentations with any revisions, that issues that were brought up proactively addressed by the Applicants, so we're not rehashing the issues that we've heard a number of times.

Number two, he stated his request to the public is you're well prepared and well organized, and the Planning Commission is, too, they've read their letters, they've been through this three times now, they had a quasi-public meeting hearing today, they're going to have another one, and asked the public to be respectful of your time and their time and efficient with the process because the more time they have with the Applicant, he thinks the better off they'll be. He said they're very clear what the issues are, they don't need to have them reiterated, and that they're coming to this prepared.

Director Christiansen replied that Commissioner Majoros' points are ones that have made before, they certainly do convey any concerns or questions to any Applicant or Petitioner at any point in time in the process so they're aware. The processes of the City are to be transparent and as seamless as possible. He stated that the Petitioner's representative is still here in attendance this evening and has heard the comments that were just made and they're aware of them and are on record.

Director Christiansen stated that the Planning Commission at their meeting last week, subsequent to your consideration and scheduling of the required Public Hearing for the City of Farmington Master Plan Update 2019, you may recall at the last meeting to

schedule the required Public Hearing for the August 12<sup>th</sup> meeting, the 63-day statutory response period, notification and response period is commencing. Council went ahead at their meeting last week and approved as you forwarded to them scheduling of the Public Hearing, the distribution of the proposed Master Plan, so now that 63-day period is going to commence. For all those interested, the City's Master Plan Update is in accordance with the Michigan Planning Enabling Act and that Update then draft or proposed Master Plan which has come out of the steering committees of five steering committee meetings and open houses now moves forward for distribution to adjacent communities, to public utilities, to County, to region, to State and is available to the public online. So anybody that wants to look at that draft Master Plan Update and provide their comments, they're welcome to do so within the next 63-days prior to the Public Hearing scheduled for August 12<sup>th</sup>, 2019.

### **ADJOURNMENT**

MOTION by Majoros, supported by Waun, to adjourn the meeting.  
Motion carried, all ayes.

The meeting was adjourned at 8:16 p.m.

Respectfully submitted,

---

Secretary

**Farmington Planning Commission  
Staff Report**

**Planning Commission  
Date:** July 8, 2019

**Reference  
Number  
4**

**Submitted by:** Kevin Christiansen, Economic and Community Development Director

**Description** Public Hearing and Consideration of a Special Land Use and Site Plan Review –  
Burger King, former Paramount Health Care, Inc., 31806 Grand River Avenue

**Background**

This item is a Public Hearing and Consideration of a Special Land Use and Site Plan Review for a proposed Burger King with a drive-through at the former Paramount Health Care, Inc. located at 31806 Grand River Avenue. The applicant/petitioner has submitted plans for a 3,065 square foot one-story restaurant building with a drive-through to be constructed on the commercial portion of the existing property. The existing commercial site is zoned C-2, Community Commercial. Drive-through establishments are a Special Land Use in the C-2, Community Commercial District, and require a public hearing and site plan review. The applicant requested and appeared before the Planning Commission at the June 10, 2019 meeting for review and discussion of their site plan for the proposed restaurant building with drive-through and other improvements to the existing site (see attached draft meeting minutes). The Planning Commission scheduled the required public hearing and site plan review at the 6/10/19 meeting for July 8, 2019 as requested.

OHM Advisors, the City's planning and engineering consultant, has reviewed the applicant's submitted plans and has provided a planning and engineering review letter dated May 3, 2019 (see attached letter).

The applicant/petitioner has submitted a response letter (supplemental submittal) dated June 24, 2019 to OHM Advisor's 5/3/19 review letter and has provided an updated/revised site plan (see attached).

The applicant will be at the July 8, 2019 meeting to present their special land use and proposed site plan to the Commission. The requested action of the Planning Commission is hold the required public hearing as scheduled and to review/consider the submitted Special Land Use Application and Site Plan for the proposed Burger King with a drive-through.

Attachments





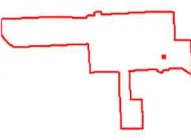
City of Farmington  
CivicSight Map

MAP LEGEND:

- CITY BOUNDARY
- RIVERS-STREAMS
- MULTITENANTBUILDING (Type)
  - BUILT
  - PROPOSED
  - COMM\_INDUST BLDGS
  - MULTITENANTPAVING
  - RAPHAEL STREET(POLY)2
  - RAPHAEL STREET(POLY)
  - PARCELS
  - ROADS OUTSIDE FARMINGTON
  - RIGHTOFWAY
  - ROW EXTEND
  - LOT HISTORY
- OPEN WATER (FEATURETYP)
  - DetentionPond
  - StreamRiver
  - LakePond
  - Channel
  - SwampMarsh
- 2012 AERIAL PHOTOS (Image)



Reference Map



Map Scale: 1 inch = 49 feet  
 Map Date: 7/11/2017  
 Data Date: June 2, 2017



Sources: City of Farmington, Oakland County GIS  
 Utility, River's Edge GIS, LLC.

Disclaimer:  
 Note: The information provided by this program has been compiled from recorded deeds, plats, taxmaps, surveys, and other public records and data. It is not a legally recorded map or survey and is not intended to be used as one. Users of this data are hereby notified that the information sources mentioned above should be consulted for verification of the information. Once again, USE AT YOUR OWN RISK !!!



# CITY OF FARMINGTON

*For office use only*

Date Filed: \_\_\_\_\_

Fee Paid: \_\_\_\_\_

## Special Land Use Application

1. Project Name Burger King Restaurant with Single Drive-Through

2. Location of Property

Address 31806 Grand River Avenue

Cross Streets Brookdale Street and Lake Way

3. Identification

Applicant Carrols, LLC

Address 968 James Street

City/State/Zip Syracuse, New York 13203

Phone (901) 515-6865 Fax \_\_\_\_\_

Interest in the Property (e.g. fee simple, land option, etc.)

Property Owner  Other (Specify) Option Holder

Property Owner Paramount Home Care, Inc.

Address 31806 Grand River Avenue

City/State/Zip Farmington, Michigan 48336

Phone (248) 489-9068 Fax (248) 489-9352

Preparer of Site Plan The Mannik & Smith Group, Inc.

Address 1160 Dublin Road, Suite 100

City/State/Zip Columbus, Ohio 43215

Phone (614) 441-4222 Fax (888) 488-7340

4. Property Information

Zoning District C2/R1P Area 0.90 acres

Width 175' frontage Depth Variable

Current Use Paramount Home Care - offices

Zoning District of Adjacent Properties to the

North R1 South R4/C3 East C2 West C2

5. Proposed Use

<input type="checkbox"/>	Residential	Number of Units	_____
<input type="checkbox"/>	Office	Gross Floor Area	_____
<input checked="" type="checkbox"/>	Commercial	Gross Floor Area	<u>3,065 square feet</u>
<input type="checkbox"/>	Industrial	Gross Floor Area	_____
<input type="checkbox"/>	Institutional	Gross Floor Area	_____
<input type="checkbox"/>	Other _____	Gross Floor Area	_____

6. Special Land Use Criteria. The applicant must provide written responses to the special land use criteria as noted on page 3 of this application.

A copy of the complete legal description of the property and proof of property ownership should accompany this application.

I, Amanda Aldridge, Real Estate Manager (applicant), do hereby swear that the above statements are true.

[Signature] 4.25.19  
Signature of Applicant Date

[Signature] 4/25/19  
Signature of Property Owner Date

I, ZAHID MUNIR (property owner), hereby give permission for City of Farmington officials, staff, and consultants to go on the property for which the above referenced site plan is proposed for purposes of verifying information provided on the submitted application.

<p><u>City Action</u></p> <p>Approved/Denied: _____</p> <p>Date: _____</p> <p>By: _____</p> <p>Conditions of Approval: _____</p> <p>_____</p> <p>_____</p>
--

- a. The proposed special land use shall be compatible with and in accordance with the general goals, objectives and policies of the City of Farmington Master Plan.

The proposed special land use maintains the existing commercial frontage, while buffering and green space in the R1P area of the site will protect the adjacent neighborhood from adverse effects to its quality, character, and privacy. The parcel's future land use is listed as a Neighborhood Center in the Farmington Master Plan, which as a restaurant with a drive-through, will complement the uses provided throughout the neighborhood and serve the daily needs of the residents in the community.

- b. The special land use shall promote the intent of the zoning district in which the use is proposed.

The parcel is zoned C2, Community Commercial, which would be served by the proposed restaurant and drive-through. The intent of the C2 District is to provide convenient services to nearby residents and to harmonize with the character of surrounding uses. The design of the building and layout of the site will coordinate with other businesses in the corridor and positively contribute to the value of the community.

- c. The special land use shall be compatible with the existing or intended character of the general vicinity and shall not change the essential character of the area in which it is proposed.

Development on the subject parcel is limited to the C2 zoning portion of the site, which preserves the R1P portion of the parcel to act as buffering and green space to the residential district, located north of the site. The development will retain the existing character of the corridor, and provide a new restaurant and business to the community.

- d. The special land use shall be served adequately by public facilities and services such as traffic operations, police and fire protection, drainage structures, water and sewer facilities and schools.

The proposed special land use is served by public water and sanitary sewer, and will result in a reduced storm water runoff rate by detaining water on-site and discharging through a metered outlet. The storm water discharge will also be treated to address water quality, in accordance with Federal requirements. The special use proposed will not cause an undue burden on local police or fire protection services, and will result in an attractive redevelopment of an existing building.

- e. The proposed special land use shall not involve uses, activities, processes, materials, equipment or conditions of operation that in comparison to the uses permitted in the district, will be detrimental to the natural environment, public health, safety or welfare.

The special land use proposed for this site (drive-through incidental to a restaurant) will complement the proposed development of the site and surrounding areas. The special land use will not be detrimental to the natural environment or the health, safety, or welfare of the public. The site is not located within a floodplain area, and the proposed use will redevelop an existing parcel within the urban area of the corridor.

*\* The special land use criteria included above is not the only requirement for special land use applications. For additional information please refer to ARTICLE 12 SPECIAL LAND USES of the City of Farmington Zoning Ordinance.*

**PROJECT NARRATIVE**

PROPOSED DEMOLITION OF A BANK AND CONSTRUCTION OF A BURGER KING RESTAURANT AND ASSOCIATED UTILITIES AND PARKING ON LOTS 82 THRU 85, EXCEPT THE SOUTH 50' FOR ROAD AND ALL OF LOT 118, BROOKDALE SUBDIVISION, RECORDED IN LIBER 12 OF PLATS, PAGE 25, OAKLAND COUNTY RECORDS (0.90 ACES). TAX ID: 23-27-403-136.

**BENCHMARKS**

ALL ELEVATIONS ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) ESTABLISHED BY USING THE MICHIGAN DEPARTMENT OF TRANSPORTATION MSRN/RTCM SYSTEM AND GEOID 12B.

**BENCHMARK #200**

SET MAG NAIL IN N.E. FACE OF POWER POLE AT N.W. QUADRANT OF GRAND RIVER AVENUE AND LAKE WAY. ELEV = 704.26

**BENCHMARK #201**

SET MAG NAIL IN S.E. FACE OF POWER POLE AT BACK AND N.E. CORNER OF BUILDING, BUILDING ON ADJACENT PROPERTY TO THE WEST. ELEV = 708.39

**UTILITY NOTE**

ALL UTILITIES ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE SHOWN PER RECORD PLAN AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION AND DEPTH OF ALL SERVICE LINES. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY MISS DIG 811 AT EITHER (811 OR 1-800-482-7171) THREE (3) BUSINESS DAYS IN ADVANCE BUT NOT MORE THAN FOURTEEN (14) DAYS BEFORE CONDUCTING EXCAVATION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (I.E.; CABLES, ELECTRIC WIRES, GAS & WATER LINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS AND IN THE TECHNICAL SPECIFICATIONS & SPECIAL PROVISIONS.

**UTILITY CONTACTS**

**GAS COMPANY**  
CONSUMERS ENERGY  
PHONE: (800) 805-0490

**ELECTRIC COMPANY**  
DTE ENERGY  
8001 HAGGERTY ROAD  
BELLEVILLE, MI 48111  
PHONE: (734) 397-4321

**COMMUNICATION**  
AT&T  
PHONE: (866) 620-6900

**WATER, SANITARY SEWERS AND STORM SEWER**  
CITY OF FARMINGTON DEPARTMENT OF PUBLIC WORKS  
23600 LIBERTY STREET  
FARMINGTON, MI 48335  
CONTACT: CHUCK EUDY  
PHONE: (248) 473-7250

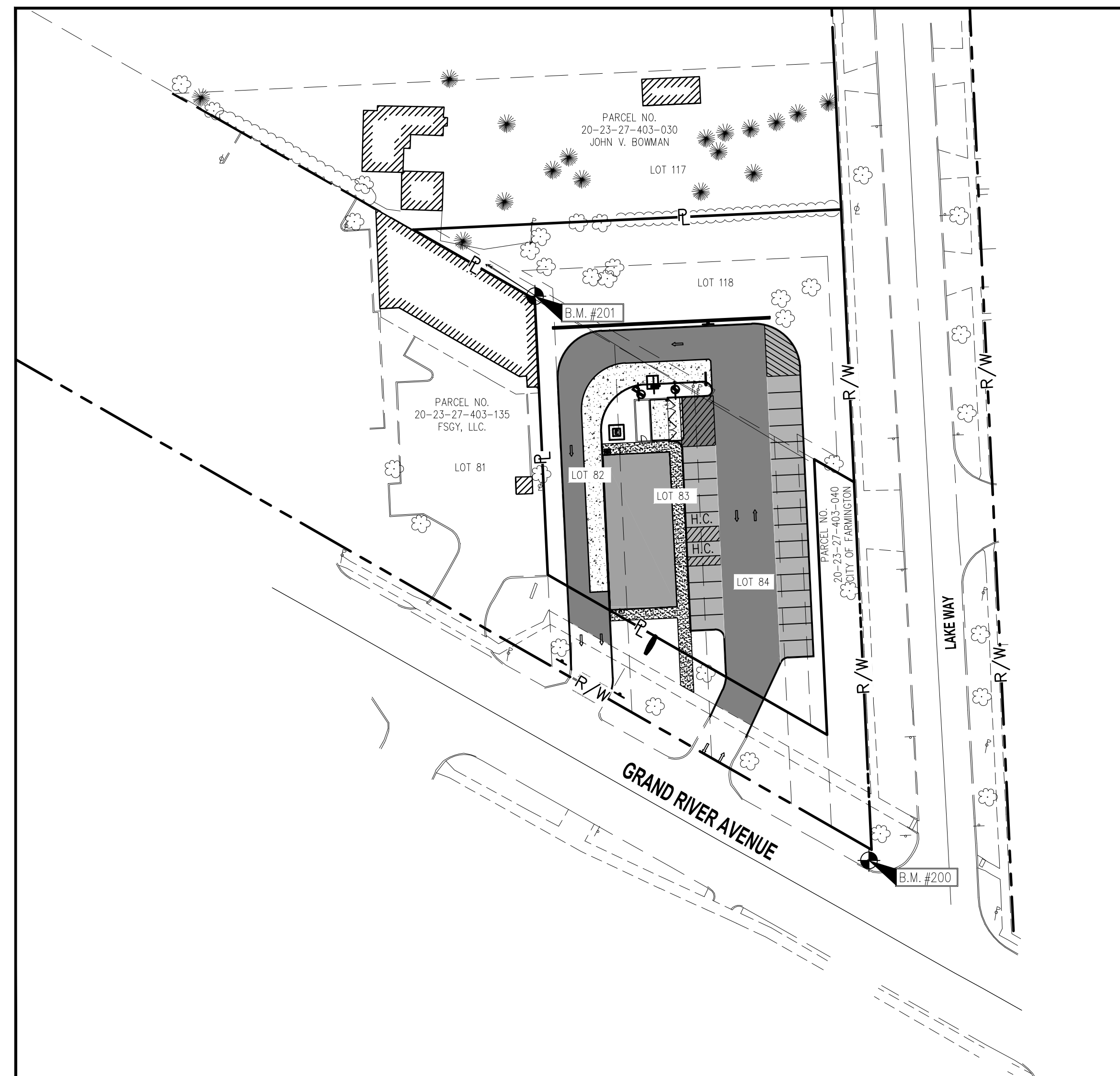
**AS-SURVEYED LEGAL DESCRIPTION:**

A PARCEL OF LAND SITUATED IN THE CITY OF FARMINGTON, COUNTY OF OAKLAND, STATE OF MICHIGAN: LOTS 82 THROUGH 85, EXCEPT THE SOUTH 50 FEET FOR ROAD, AND ALL OF LOT 118, BROOKDALE SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 12 OF PLATS, PAGE 25, OAKLAND COUNTY RECORDS, ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 118; THENCE SOUTH 05°01'27" EAST ALONG THE WESTERLY RIGHT-OF-WAY LINE OF LAKE WAY (75 FEET WIDE) 148.38 FEET TO THE SOUTHEAST CORNER OF SAID LOT 118; THENCE NORTH 62°30'09" WEST ALONG THE SOUTHERLY LINE OF SAID LOT 25.00 FEET TO THE NORTHEAST CORNER OF LOT 85; THENCE ALONG THE EAST LINE OF LOT 85 SOUTH 05°00'00" EAST 150.00 FEET TO THE NORTHERLY RIGHT-OF-WAY LINE OF GRAND RIVER AVENUE; THENCE NORTH 62°30'00" WEST ALONG THE NORTHERLY LINE OF GRAND RIVER AVENUE 175.00 FEET TO THE WEST LINE OF LOT 82; THENCE ALONG THE WEST LINE OF LOT 82 NORTH 05°00'04" WEST 149.99 FEET TO THE NORTHWEST CORNER OF LOT 82, ALSO BEING THE SOUTHERLY LINE OF LOT 118; THENCE NORTH 62°30'09" WEST 76.18 FEET TO THE WESTERLY CORNER OF LOT 118; THENCE ALONG THE NORTH LINE OF LOT 118 NORTH 85°00'01" EAST 232.88 FEET TO THE POINT OF BEGINNING. CONTAINS 0.90 ACRES, MORE OR LESS. SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

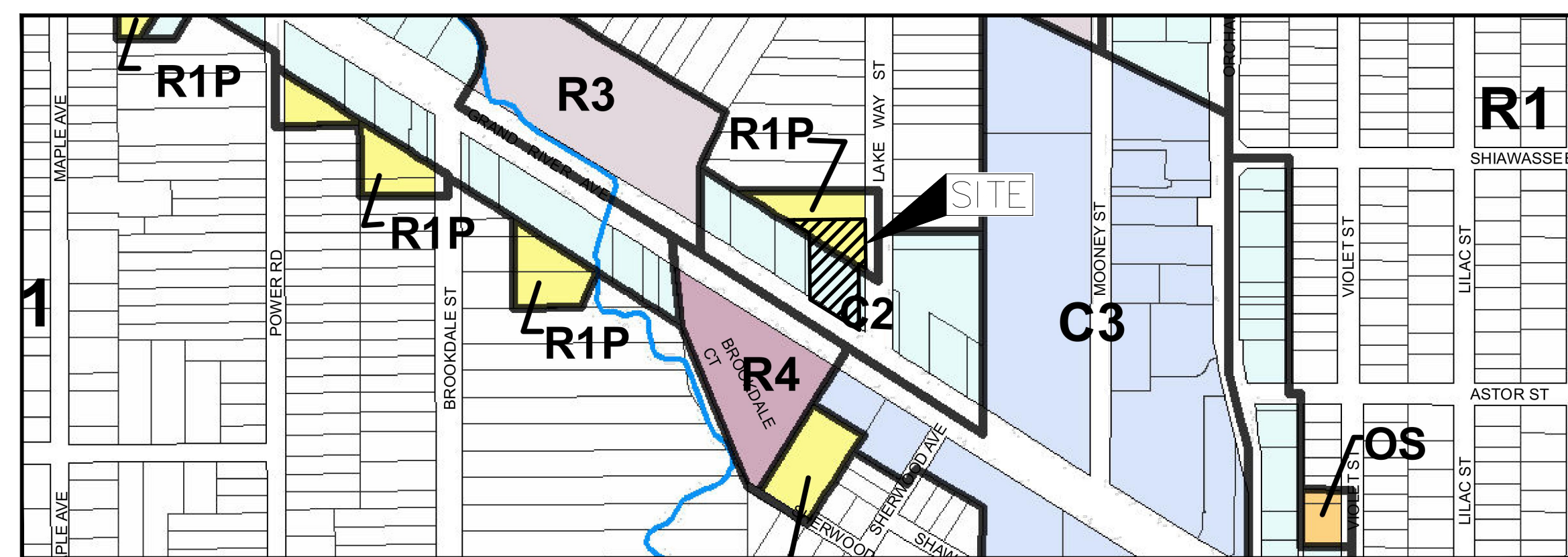
# PRELIMINARY SITE PLAN DRAWINGS

## FOR BURGER KING

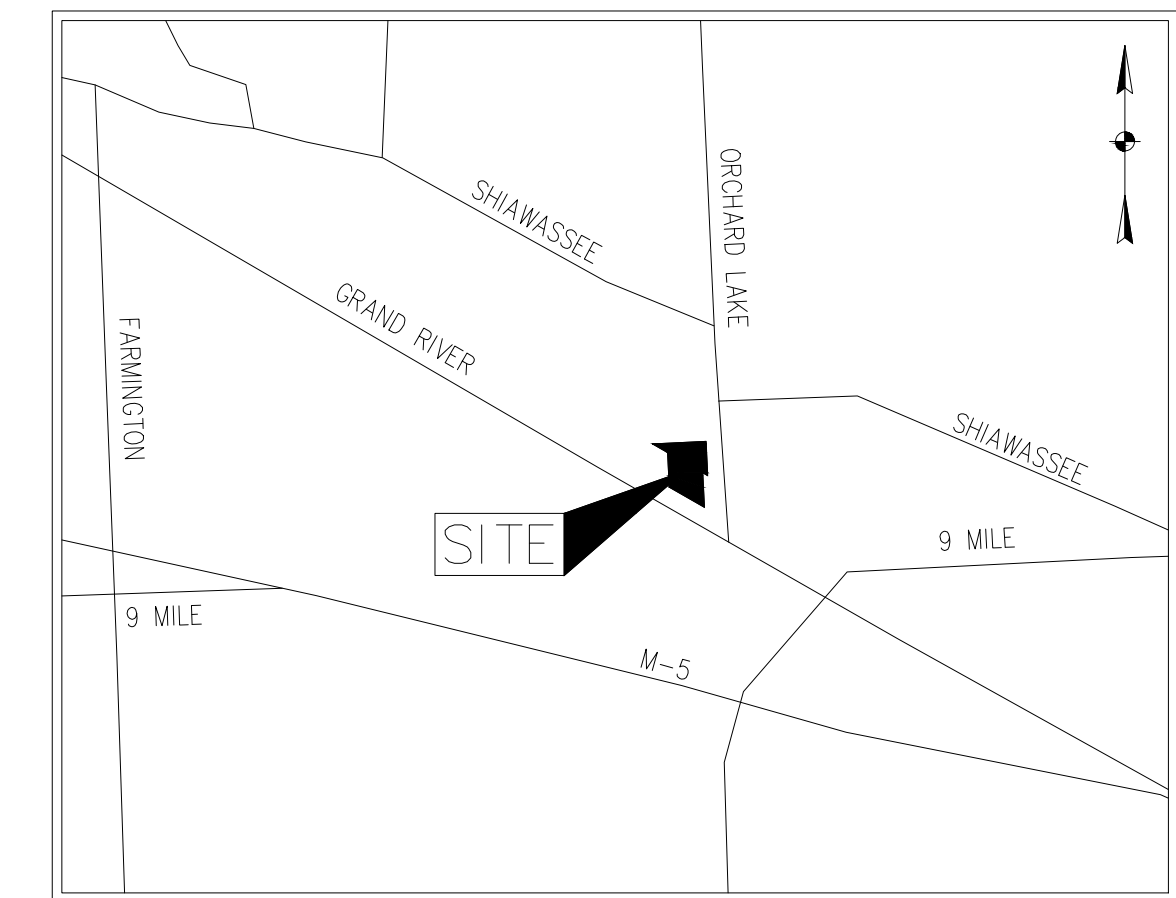
### 31806 GRAND RIVER AVENUE FARMINGTON, MICHIGAN 48336 2019



**INDEX MAP**  
SCALE: 1"=50'



**ZONING MAP**  
SCALE: NOT TO SCALE



**VICINITY MAP**  
NOT TO SCALE

**DEVELOPER**

CARROLS CORPORATION  
968 JAMES STREET  
SYRACUSE, NY 13203  
CONTACT: AMANDA ALDRIDGE  
PHONE: 901.515.6865

**OWNER**

PARAMOUNT HOME CARE  
31806 GRAND RIVER AVENUE  
FARMINGTON, MI 48336

**SHEET INDEX**

TITLE SHEET.....	C000
GENERAL NOTES.....	C001
SITE DETAILS.....	C002
SITE DETAILS.....	C003
EXISTING CONDITIONS AND DEMOLITION PLAN.....	C100
PRELIMINARY SITE PLAN.....	C200
TRUCK MANEUVERING PLAN.....	C201
PRELIMINARY GRADING PLAN.....	C300
PRELIMINARY UTILITY PLAN.....	C400
PRELIMINARY STORM SEWER DESIGN.....	C401
LANDSCAPE PLAN.....	L100
LANDSCAPE NOTES AND DETAILS.....	L101
STANDARD STORM SEWER DETAILS.....	1-2
<b>BY OTHERS</b>	
FLOOR PLAN.....	A-1
EXTERIOR ELEVATIONS.....	A-2.1
EXTERIOR ELEVATIONS.....	A-2.2
DUMPSTER ENCLOSURE.....	A-3
PHOTOMETRIC PLAN.....	1 OF 1



CONTACT: MARK J. MATHE, P.E.  
MAILING ADDRESS: 1160 DUBLIN ROAD, SUITE 100  
CINCINNATI, OH 45242  
(614) 441-4222  
EMAIL ADDRESS: MMA@MANNIKSMITHGROUP.COM

TECHNICAL SKILL.  
CREATIVE SPIRIT.



*Mark J. Mathe*  
6-24-2019

MICHIGAN REGISTERED PROFESSIONAL ENGINEER

DATE

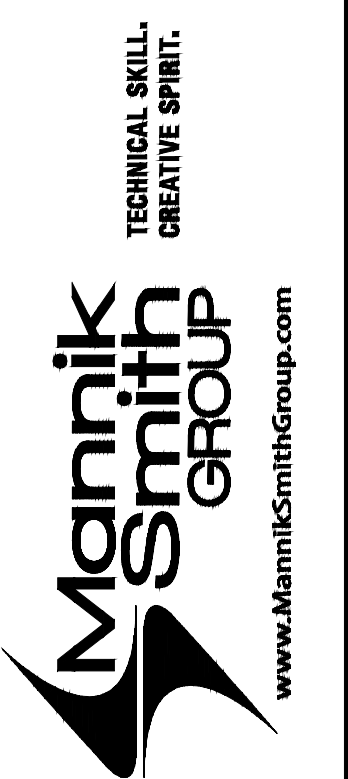
DESCRIPTION  
1 CITY OF FARMINGTON REVIEW  
2 SUPPLEMENTARY CITY OF FARMINGTON SUBMITTAL

NO. DATE BY  
1 4/25/2019 MJM  
2 6/24/2019 MJM

**PRELIMINARY NOT FOR CONSTRUCTION**

1160 DUBLIN ROAD, SUITE 100  
COLUMBUS, OH 43215  
PHONE: 614.441.4222  
FAX: 614.441.4222

PROJECT DATE: 4/25/2019  
PROJECT NO: C553009  
DRAWN BY: DES  
CHECKED BY: RJT



PREPARED FOR:  
**CARROLS CORPORATION**  
968 JAMES STREET  
SYRACUSE, NY 13203

DEVELOPMENT PLAN FOR  
**BURGER KING**  
31806 GRAND RIVER AVENUE  
FARMINGTON, MICHIGAN 48336

TITLE SHEET

C000



GENERAL CONSTRUCTION NOTES:

- 1. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS. ALL CONSTRUCTION SHALL COMPLY WITH CURRENT LOCAL MUNICIPALITY AND COUNTY CODES AND STANDARDS.
2. ALL CONSTRUCTION WITHIN A MDOT RIGHT OF WAY SHALL COMPLY WITH ALL MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARDS.
3. ALL WORK WITHIN RIGHT OF WAY TO INCLUDE TRAFFIC CONTROL IN ACCORD WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND PER ALL CITY OF FARMINGTON AND MICHIGAN DEPARTMENT OF TRANSPORTATION REQUIREMENTS. ROAD MUST REMAIN OPEN AT ALL TIMES. IF NECESSARY, CONTRACTOR SHALL PREPARE A MAINTENANCE OF TRAFFIC PLAN AND SUBMIT TO THE CITY OF FARMINGTON AND MICHIGAN DEPARTMENT OF TRANSPORTATION AND OWNER FOR APPROVAL PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO COORDINATE ANY NECESSARY LANE CLOSURES WITH THE CITY OF FARMINGTON AND MICHIGAN DEPARTMENT OF TRANSPORTATION.
4. ALL CURB RAMP, SIDEWALKS, AND PARKING AREAS REQUIRED FOR ACCESSIBILITY SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) OF 1990.
5. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE OWNER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO CONSTRUCTION. ANY CONFLICT BETWEEN DRAWINGS AND THE SPECIFICATIONS SHALL BE CONFIRMED WITH THE CONSTRUCTION MANAGER PRIOR TO BIDDING.
6. EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE ILLUSTRATIVE IN NATURE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING. IF CONDITIONS ENCOUNTERED ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
7. SHOULD ANY UNCHARTED, OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY BEFORE PROCEEDING FURTHER WITH THE WORK IN THIS AREA.
8. THE CONTRACTOR SHALL NOTIFY THE ENGINEER SHOULD ANY DISCREPANCY REGARDING THE PROPOSED WORK OR UNFORESEEN CONDITIONS ARISE PRIOR TO PROCEEDING FURTHER WITH THE AFFECTED WORK.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS FOR THE PROJECT AND NOTIFYING THE OWNER AND ENGINEER OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO CONSTRUCTION.
10. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER, LOCAL MUNICIPALITY AND/OR UTILITY COMPANY. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY OR PERMANENT SERVICE HAS BEEN PROVIDED.
11. CONTRACTOR TO COORDINATE TEMPORARY UTILITY OUTAGES WITH APPLICABLE UTILITY COMPANY AND CITY OF FARMINGTON AND NOTIFY NEIGHBORING AFFECTED OWNERS NO LESS THAN 72 HOURS PRIOR TO PLANNED OUTAGE. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY CONSTRUCTION PERMITS REQUIRED TO PERFORM ALL THE WORK. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
12. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS INCLUDING THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970. THE CONTRACTOR SHALL EXERCISE PRECAUTION ALWAYS FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT SHALL ALSO BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, INCLUDING THE REQUIREMENTS FOR CONFINED SPACES PER 29 CFR 1910.146.
13. THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOSTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT THE POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS.
14. THE CONTRACTOR SHALL RESTORE ANY STRUCTURES, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, ETC. WITHIN THE SITE OR ADJOINING PROPERTIES DISTURBED DURING DEMOLITION OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AND TO THE SATISFACTION OF THE OWNER, LOCAL MUNICIPALITY, AND STATE.
15. THE CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF PEDESTRIANS AND VEHICLES CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC CONTROLLERS IN ACCORDANCE WITH MDOT REGULATIONS AND/OR AS REQUIRED OR DIRECTED BY THE SITE ENGINEER OR CONSTRUCTION MANAGER OR LOCAL GOVERNING AUTHORITIES. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS AT ALL TIMES UNLESS WRITTEN APPROVAL FROM MDOT, LOCAL MUNICIPALITY, COUNTY, OR OTHER GOVERNING AUTHORITY IS RECEIVED.
16. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER FOLLOWING COMPLETION OF CONSTRUCTION ACTIVITIES.
17. THE OWNER AT ITS DISCRETION RESERVES THE RIGHT TO MODIFY THE DETAILS AND STANDARDS OF CONSTRUCTION FOR ALL PRIVATE FACILITIES FROM THAT INDICATED ON THE APPROVED PLAN, PROVIDED THAT THE ALTERNATE STANDARD COMPLIES WITH LOCAL CODE AND/OR UTILITY COMPANY REQUIREMENTS AND THE GENERAL DESIGN INTENT OF THE PROJECT IS NOT COMPROMISED.
18. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS AND PLAN SPECIFICATIONS TO THE OWNER AND LOCAL UTILITY COMPANIES AS REQUIRED FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 15 WORKING DAYS FOR REVIEW.
19. INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT MISSOJ AT 811 OR 800-482-7171 AT LEAST 72 HOURS BEFORE START OF WORK AND VERIFY ALL EXISTING UTILITY LOCATIONS.
20. ANY DEFECTS DISCOVERED IN NEW CONSTRUCTION, WORKMANSHIP, EQUIPMENT, OR MATERIALS SHALL BE REPAIRED, OR CORRECTED BY APPROVED METHODS AS DIRECTED BY AND AT NO ADDITIONAL COST TO THE OWNER.
21. ALL DISTURBANCE INCURRED TO CITY OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE CITY, LOCAL, AND/OR STATE DOT.
22. THE LIMITS OF CLEARING AND GRADING SHALL BE FIELD STAKED 48 HOURS (2 WORKING DAYS) PRIOR TO THE FIRST CONSTRUCTION MEETING. AREAS BEYOND THE LIMITS OF CLEARING AND GRADING SHALL NOT BE DISTURBED INCLUDING THE STOCKPILE OF ANY MATERIALS OR CONSTRUCTION TRAFFIC.
23. WHEREVER UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED THAT ARE NOT INDICATED ON THE PLANS, THE WORK SHALL BE DISCONTINUED UNTIL THE PROJECT ENGINEER AND OWNER APPROVE THE METHOD AND MATERIALS TO BE INCORPORATED INTO THE WORK.
24. ALL ROAD SURFACES, EASEMENTS, OR RIGHT-OF-WAY DISTURBED BY THE CONSTRUCTION OF ANY PART OF THESE IMPROVEMENTS ARE TO BE RESTORED ACCORDING TO THE CITY OF FARMINGTON AND MDOT REQUIREMENTS.
25. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER OR ITS REPRESENTATIVE IF SUSPECTED HAZARDOUS MATERIAL OR ANY OTHER MATERIAL THAT MAY CREATE A HEALTH RISK IS DISCOVERED ON SITE.

- 26. ANY TRAFFIC CONTROL REQUESTED OR REQUIRED BY THE CONTRACTOR WILL BE PROVIDED BY THE CONTRACTOR AT NO COST TO THE OWNER.
27. IF MUD, SOIL, OR OTHER DEBRIS IS DEPOSITED ON ADJACENT STREETS, ROADS, OR OTHER PROPERTY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF SUCH AT THE END OF EACH WORK DAY, OR AS REQUIRED DURING THE WORK DAY.
28. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PLANT TICKETS FOR ALL MATERIALS DELIVERED TO THE SITE. PLANT TICKETS MUST SHOW NET QUANTITY OF DELIVERED MATERIAL. MATERIAL DELIVERED OR PLACED WITHOUT PLANT TICKETS SHALL BE REMOVED AND PROPERLY DISPOSED AT THE EXPENSE OF THE CONTRACTOR.
29. THE CONTRACTOR SHALL CONFINE HIS ACTIVITIES TO THE PROJECT SITE UNDER DEVELOPMENT, THE EXISTING RIGHT-OF-WAYS, AND CONSTRUCTION AND PERMANENT EASEMENTS, AND SHALL NOT TRESPASS UPON OTHER PROPERTY WITHOUT THE WRITTEN CONSENT OF THE OWNER.
30. WHERE CONFLICT ARISES BETWEEN ALL SPECIFICATIONS (BOOK OR PLAN BASED) INCLUDING CITY OF FARMINGTON AND MDOT REQUIREMENTS, THE MORE STRINGENT SPECIFICATION SHALL PREVAIL.
31. FINAL CLEANUP: THE CONTRACTOR SHALL CLEAN-UP ALL DEBRIS AND MATERIALS RESULTING FROM CONSTRUCTION AND SHALL RESTORE ALL SURFACES, STRUCTURES, DITCHES AND PROPERTY TO ITS ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER AND ALL APPLICABLE GOVERNMENTAL AND REGULATORY AGENCIES.

INDIANA DEM. NOTES:

- 1. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
2. A TEN FOOT MINIMUM HORIZONTAL SEPARATION (OUT-TO-OUT, CLEAR) WILL BE MAINTAINED BETWEEN THE WATER LINE AND SANITARY SEWER.
3. AN 18 INCH MINIMUM VERTICAL SEPARATION (OUT-TO-OUT CLEAR) WILL BE MAINTAINED BETWEEN THE WATER LINE AND SANITARY SEWER AT ALL CROSSINGS.
4. A TEN FOOT MINIMUM HORIZONTAL SEPARATION (OUT-TO-OUT CLEAR) WILL BE MAINTAINED BETWEEN THE WATER LINE AND STORM SEWER.
5. AN 18 INCH MINIMUM VERTICAL SEPARATION (OUT-TO-OUT CLEAR) WILL BE MAINTAINED BETWEEN THE WATER LINE AND STORM SEWER AT ALL CROSSINGS. BOOSTER PUMPS ARE NOT PERMITTED ON SERVICE CONNECTIONS.

DEMOLITION NOTES:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS, AND ORGANIC MATERIAL IN A LAWFUL MANNER.
3. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER AND OWNER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT, AND/OR EXISTING FACILITIES OCCURRING IN THE COURSE OF THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
4. ALL UTILITY REMOVAL, RELOCATION, CUTTING, CAPPING, AND/OR ABATEMENT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY LISTED ON THE PLANS.
5. ALL DEMOLISHED MATERIALS SHALL BE TAKEN FROM THE SITE IMMEDIATELY (UNLESS OTHERWISE NOTED) AND DISPOSED OFF-SITE IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND ORDINANCES. NO BURNING OF ANY MATERIALS WILL BE ALLOWED ON OR OFF SITE. NO CLEARED OR GRUBBED MATERIAL SHALL BE BURIED OR LEFT ON SITE.
6. MATERIALS NOTED ON THE PLANS TO BE SALVAGED TO OWNER SHALL BE STORED IN AREAS INDICATED ON THE PLANS, OR TO THE OWNERS SATISFACTION.
7. USE SUITABLE METHODS TO LIMIT DUST AND DIRT TO ADJACENT STRUCTURES OR PROPERTY. CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO EXISTING CONDITIONS PRIOR TO THE START OF THE DEMOLITION WORK.
8. THE CONTRACTOR SHALL PROTECT TREES, LANDSCAPING, SITE IMPROVEMENTS, AND OTHER ITEMS NOT SCHEDULED FOR CLEARING, OR THAT MIGHT BE DAMAGED BY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING ANY ITEMS THAT ARE DAMAGED.
9. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY EROSION, POLLUTION, AND DUST CONTROL MEASURES THROUGHOUT THE ENTIRE CONSTRUCTION PROJECT. REFERENCE THE EROSION CONTROL PLAN, NOTES AND DETAILS.
10. THE BUILDING PAD AREA IS DEFINED AS THE AREA TWENTY (20) FEET OUTSIDE OF THE PROPOSED BUILDING FOOTPRINT, INCLUDING ATTACHED WALKWAYS, CANOPIES, SIDEWALKS, LOADING DOCKS, UTILITY PADS, AND ANY OTHER SUCH APPURTENANCES.
11. ANY AND ALL DAMAGE TO EXISTING PAVEMENT WITHIN THE LAYDOWN AREA SHALL BE REPAIRED.

- 12. ALL UTILITIES NOT MARKED FOR REMOVAL OR RELOCATION SHALL REMAIN INTACT. THE CONTRACTOR SHALL REPAIR ANY AND ALL DAMAGE TO EXISTING UTILITIES NOT MARKED FOR REMOVAL OR RELOCATION AT THEIR SOLE EXPENSE.
13. CONTRACTOR SHALL PERFORM ALL CLEARING, GRUBBING, REMOVAL OF TREES, STUMPS, VEGETATION, AND DEBRIS NECESSARY TO PERFORM THE WORK INDICATED HEREIN. THAT CONTRACTOR SHALL LIMIT LAND DISTURBANCE TO ONLY THAT REQUIRED TO COMPLETE THE PROPOSED IMPROVEMENTS. NO CLEARED OR GRUBBED MATERIAL SHALL BE BURIED OR LEFT ON SITE.

LAYOUT AND PAVING NOTES:

- 1. THE CONTRACTOR SHALL MAKE HIS OWN PROVISIONS TO PROVIDE A SITE STAGING AREA AND JOB TRAILER (IF REQUIRED) FOR THE PROJECT IMPROVEMENTS.
2. THE CONTRACTOR SHALL REFERENCE ALL IRON PINS OR MONUMENTS. IF ANY PINS OR MONUMENTS ARE DESTROYED OR DAMAGED BY THE CONTRACTOR, THEY SHALL BE ACCURATELY REPLACED BY A REGISTERED SURVEYOR IN THE STATE OF MICHIGAN AT THE COMPLETION OF THE PROJECT.
3. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE UNLESS OTHERWISE NOTED.
4. ALL PAVING MATERIALS FURNISHED AND WORK COMPLETED SHALL BE IN STRICT ACCORDANCE WITH MDOT CONSTRUCTION AND MATERIALS SPECIFICATIONS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL SUBMIT A JOB-MIX FORMULA FOR THE BITUMINOUS PAVEMENT TO THE CONSTRUCTION MANAGER FOR REVIEW AND APPROVAL AT LEAST 14 DAYS PRIOR TO THE PLACEMENT OF BITUMINOUS PAVEMENTS.
5. ASPHALT SURFACE COURSE SHALL BE LAID WITH THE DIRECTION OF TRAFFIC FLOW IN ALL DRIVE LANES WITHIN PARKING FIELDS.
6. DO NOT PLACE MIX ON FROZEN OR WET SURFACES, OR WHEN PRECIPITATION IS OCCURRING.
7. DO NOT PLACE MIX WHEN AIR OR SURFACE TEMPERATURE IS BELOW THE FOLLOWING:
1) BINDER COURSE AND WALKS - 40 F
2) WEARING COURSE, ROADWAYS AND PARKING AREAS - 50 F
8. ANY MATERIAL DELIVERED TO THE SPREADER HAVING A TEMPERATURE LOWER THAN 250 F SHALL NOT BE USED.

- 9. ALL PAVEMENT MARKINGS, SIGNS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO AASHTO AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. ALL SIGNS SHALL BE CONSTRUCTED OF FLAT SHEET ALUMINUM IN ACCORDANCE WITH STATE HIGHWAY SPECIFICATIONS. STEEL SIGN POSTS SHALL BE USED AND CONFORM TO ASTM A36 OR ASTM A441 AND SHALL BE GALVANIZED IN ACCORDANCE WITH AASHTO M11.
10. CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS. PAVEMENT MARKINGS SHALL BE APPLIED PER MANUFACTURER RECOMMENDATIONS. APPLY PAINT TO CLEAN, DRY SURFACES TO YIELD SHARP DEFINITION OF EDGES. AIR TEMPERATURE 50F MINIMUM. APPLY TWO (2) COATS.
11. PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH MDOT CONSTRUCTION AND MATERIALS SPECIFICATIONS AND SHALL BE EITHER COLD LAID PLASTIC TAPE OR PAINTED AS DESIGNATED ON THE PLANS OR PAVEMENT MARKING DETAILS.
12. THE CONTRACTOR SHALL REMOVE CONFLICTING PAVEMENT MARKINGS IN A METHOD APPROVED BY MDOT CONSTRUCTION AND MATERIALS SPECIFICATIONS.
13. DIRECTIONAL TRAFFIC ARROWS SHALL BE PAINTED WHITE UNLESS OTHERWISE NOTED.
14. A MINIMUM CLEARANCE OF 2 FEET SHALL BE MAINTAINED FROM THE FACE OF CURB AND ANY PART OF A LIGHT POLE OR TRAFFIC SIGN.
15. CONTRACTOR SHALL SAW-CUT IN A NEAT, STRAIGHT LINE FOR SMOOTH TRANSITIONS AT TIE-INS TO EXISTING EDGES OF PAVEMENT AND AT COLD JOINTS OF RECENTLY PAVED PAVEMENT.
16. JOINTS OR SCORE MARKS ARE TO BE SHARP AND CLEAN WITHOUT SHOWING EDGES OF JOINTING TOOL.
17. CONTRACTOR SHALL SAWCUT TIE-INS AT EXISTING CURBS TO ENSURE SMOOTH TRANSITIONS. CONTRACTOR SHALL SAWCUT AND TRANSITION TO EXISTING PAVEMENT TO ENSURE POSITIVE DRAINAGE.
18. ALL CONCRETE SHALL BE 6% (+/-1%) AIR ENTRAINED, 3/4" AGGREGATE AND CONFORM TO A 28 DAY STRENGTH OF 4,000 PSI MINIMUM AND SHALL HAVE A MAXIMUM W/C OF 0.50. ALL CONCRETE SHALL BE MADE WITH TYPE I OR TYPE II CEMENT UNLESS OTHERWISE SPECIFIED.
19. ALL SIDEWALKS SHALL HAVE A LIGHT BROOM FINISH. VERTICAL FACES SHALL BE FORMED.
20. BASE AND ASPHALT THICKNESS SPECIFIED ARE THE MINIMUM REQUIRED.
21. ALL CURB RADI ARE 3", UNLESS OTHERWISE NOTED. FOR CURBED ISLANDS SHOWN WITH ONE LABELED RADIUS, THE LABELED RADIUS SHALL APPLY TO ALL FOUR CORNERS OF THE ISLAND.
22. ALL CONCRETE FOR CURBS SHALL BE AIR ENTRAINED TO BE 6% (+/-1%), MADE WITH SAND AND GRAVEL AGGREGATE AND SHALL CONFORM TO A TWENTY EIGHT (28) DAY STRENGTH OF 4,500 PSI MINIMUM, SHALL HAVE A MAXIMUM W/C OF 0.40 AND 130 LBS/LF.
23. CONTRACTOR SHALL INSTALL ALL CURBING IN A TRUE LINE AND PROPER GRADE IN ACCORDANCE WITH THE APPROVED SITE PLANS AND APPROPRIATE STATE DOT SPECIFICATIONS. CURVED CURB SECTIONS SHALL BE USED FOR RADI LESS THAN 30'. ALL CURBING SHALL BE BACKFILLED WITH CLEAN AGGREGATE.
24. CONTRACTOR SHALL REPAIR ANY CURB DAMAGED DURING CONSTRUCTION ACTIVITIES.
25. ALL CURBS SHALL BE FULL DEPTH CONCRETE CURB WITH 6" REVEAL, UNLESS OTHERWISE NOTED.
26. BUILDING FOOTPRINTS ARE SHOWN FOR INTENT ONLY. SEE STRUCTURAL AND ARCHITECTURAL PLANS FOR BUILDING FOUNDATION AND WALL DIMENSIONS.
27. CONTRACTOR TO COORDINATE TRANSFORMER AND GENERATOR PAD DIMENSIONS AND SPECIFICATIONS WITH MEP PLANS AND ELECTRIC PROVIDER PRIOR TO CONSTRUCTION.
28. SEE ARCHITECTURAL PLANS FOR FROST SLAB DETAILS AND SPECIFICATIONS.
29. CONTRACTOR TO INSTALL ALL UTILITY PIPING, SEWERS, CONDUIT PRIOR TO PAVING OPERATIONS. CONTRACTOR TO COORDINATE ALL SITE UTILITIES WITH UTILITY PLAN, AND MEP PLANS.

GENERAL GRADING & DRAINAGE NOTES:

- 1. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING.
2. MANHOLE RIMS AND CATCH BASIN GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE FRAMES AND COVERS, CATCH BASIN GRATES, VALVE BOXES, ETC., TO BE RAISED OR LOWERED, TO PROPOSED FINISHED GRADE, FLUSH WITH THE ADJACENT GRADE.
3. UNDERDRAINS MAY BE ADDED, IF DETERMINED NECESSARY BY THE ENGINEER OR CONSTRUCTION MANAGER, AFTER SUBGRADE IS ROUGH GRADED.
4. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND NOTES.
5. THE CONTRACTOR SHALL COMPACT FILL IN 8" MAXIMUM LIFTS UNDER ALL PARKING, BUILDING, AND DRIVE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
6. THE CONTRACTOR SHALL BE ADVISED THAT ALL EXCAVATION IS CONSIDERED UNCLASSIFIED AND THAT IT SHALL BE RESPONSIBLE FOR ALL MEANS, METHODS, AND MATERIALS OF CONSTRUCTION TO COMPLETE CONSTRUCTION AS DESIGNED. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF ANY AND ALL EXCESS OR UNSUITABLE MATERIAL UNABLE TO BE PLACED ON SITE AND THE IMPORTATION OF ANY BORROW MATERIAL NECESSARY TO COMPLETE THE JOB.
7. CLEAN HARD FILL MATERIAL SHALL MEET THE REQUIREMENTS OF THE CITY OF FARMINGTON, OAKLAND COUNTY AND ALL REQUIREMENTS OF MICHIGAN DEQ. ANY PERSON USING CLEAN HARD FILL ON A SITE OTHER THAN THE SITE OF GENERATION MUST PROVIDE A WRITTEN NOTICE OF INTENT TO FILL TO THE LICENSING AUTHORITY(ES) WHERE THE CLEAN HARD FILL IS TO BE PLACED AT LEAST SEVEN DAYS PRIOR TO PLACING.
8. SITE GRADING SHALL BE PERFORMED TO PROVIDE POSITIVE DRAINAGE TO CATCH BASINS AND TO PRECLUDE THE PONDING OF WATER ON SITE.
9. VERIFY REQUIRED SPOT ELEVATIONS/GRADING IN THE VICINITY OF THE BUILDINGS WITH THE ARCHITECTURAL PLANS.
10. SPOT ELEVATIONS SHOWN DEPICT THE PROPOSED PAVEMENT OR GROUND SURFACE OR PAVEMENT ELEVATION AT FACE OF CURB, UNLESS OTHERWISE NOTED. TOP OF ALL CONCRETE CURBING IS 6-INCHES ABOVE SPOT ELEVATIONS UNLESS OTHERWISE NOTED.
11. IT IS THE CONTRACTORS OBLIGATION AND RESPONSIBILITY TO CONFIRM/CONCUR WITH THE EXISTING GRADES SHOWN HEREIN. THE CONTRACTOR MUST CONFIRM ALL EXISTING GRADES PRIOR TO ANY/ALL EXCAVATION.
12. THE CONTRACTOR MUST DOCUMENT EXISTING GRADE DISPUTES BY PROVISION OF A TOPOGRAPHIC SURVEY BY A STATE OF MICHIGAN REGISTERED PROFESSIONAL SURVEYOR, PRIOR TO ANY EARTH DISTURBING ACTIVITIES. IN THE ABSENCE OF THE PROVISION OF TOPOGRAPHIC SURVEY BY THE CONTRACTOR, THE GRADES SHOWN HEREIN WILL BE THE "TOPOGRAPHY OF RECORD" FOR ANY AND ALL SOIL VOLUME DISPUTES.
13. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL IMPORT/EXPORT NECESSARY TO ACHIEVE THE PROPOSED GRADES.
14. ALL PROPOSED SLOPES 3:1 OR STEEPER AND ALL EARTHEN DRAINAGE WAYS SHALL RECEIVE JUTE OR EXCELSDOR MATTING AS PER MDOT SPECIFICATIONS.

- 15. ALL EXCAVATION UNDER OR NEAR EXISTING OR FUTURE PAVEMENT (INCLUDING SIDEWALKS), SUBJECT TO SETTLEMENT, WILL BE BACK FILLED WITH PREMIUM BACKFILL AS DEFINED HEREIN. AT QUESTIONABLE AREAS THE DECISION OF THE ENGINEER, OR HIS REPRESENTATIVE, WILL PREVAIL.
16. PAVEMENT EXCAVATION AND EMBANKMENT SHALL BE IN ACCORDANCE WITH SECTION 205 OF MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS. THE CONTRACTOR MAY BE REQUIRED TO MAKE COMPACTION TESTS. TESTS SHALL BE TAKEN BY A TESTING COMPANY APPROVED BY THE ENGINEER. THE COST OF THESE TESTS SHALL BE PAID BY THE CONTRACTOR. "PROOF" ROLLING WILL BE REQUIRED PRIOR TO PAVING AND SHALL BE CONDUCTED PRIOR TO PLACEMENT OF AGGREGATE BASE AND PERFORMED WITH THE OWNER'S INSPECTOR PRESENT AND PAID FOR BY THE CONTRACTOR.

GENERAL UTILITY NOTES:

- 1. PROPER COORDINATION WITH THE RESPECTIVE UTILITY COMPANIES SHALL BE PERFORMED BY THE CONTRACTOR TO INSURE THAT ALL UTILITY COMPANY, LOCAL MUNICIPALITY, AND LOCAL COUNTY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET.
2. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE SEWERS CROSS EXISTING UTILITIES, AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE CONTRACTOR SHALL CONTACT THE CONSTRUCTION MANAGER IN THE EVENT OF ANY UNFORESEEN CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
3. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES FOR SERVICE INSTALLATIONS AND CONNECTIONS AND MAIN AND SERVICE RELOCATIONS. THE CONTRACTOR SHALL COORDINATE THE WORK TO BE PERFORMED BY THE VARIOUS UTILITY COMPANIES AND SHALL SECURE ALL PERMITS AND PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION, AS NECESSARY.
4. RELOCATION OF ANY UTILITY COMPANY FACILITIES TO BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY AND LOCAL MUNICIPALITY.
5. ALL WATER MAINS, WATER SERVICES AND SANITARY SEWER LATERALS SHALL CONFORM TO THE INDIANA DEM. APPLICABLE COUNTY AND LOCAL DEPARTMENTS, AND APPROPRIATE UTILITY COMPANY SPECIFICATIONS.
6. THE CONTRACTOR SHALL MAINTAIN ALL FLOWS AND UTILITY CONNECTIONS TO EXISTING BUILDINGS, ETC. WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT BY THE OWNER, UTILITY COMPANES, AND GOVERNING AUTHORITIES. THE CONTRACTOR SHALL INSTALL AS NECESSARY, TEMPORARY SITE LIGHTING, GAS, SANITARY, WATER, STORM, ELECTRIC, TELEPHONE, AND CABLE SERVICES TO SERVICE BUILDING(S) TO REMAIN OPEN.
7. ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAW CUT AND REPLACED IN ACCORDANCE WITH THE PAVEMENT REPAIR REQUIREMENTS OF LOCAL MUNICIPALITY AND THE DETAILS CONTAINED HEREIN.
8. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
9. SANITARY LATERAL AND STORM SEWERS SHALL MAINTAIN 10-FOOT MIN. HORIZONTAL AND 1.5-FOOT MIN. VERTICAL SEPARATION DISTANCE FROM WATER LINES. A 1-FOOT MIN. CLEARANCE SHALL BE MAINTAINED BETWEEN WATER LINES AND OTHER UTILITIES INCLUDING GAS, ELECTRICAL, AND TELEPHONE. ADDITIONAL PROTECTION MEASURES INCLUDING, BUT NOT LIMITED TO, CONCRETE PIPE ENCASUREMENT MAY BE REQUIRED IF INDICATED CLEARANCES ARE NOT MET.
10. THE CONTRACTOR SHALL COMPACT PIPE BACKFILL IN MAX. 8" LOOSE LIFTS TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D1557, ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED IN AREAS OF ROCK EXCAVATION.
11. CONTRACTOR TO PROVIDE SLEEVES UNDER FOOTINGS OR THROUGH FOUNDATIONS FOR UTILITY CONNECTIONS.
12. CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC. AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING/CANOPY STUB-OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
13. UTILITY CONDUIT PIPE SHALL BE SCHEDULE 80 PVC AND/OR AS REQUIRED BY THE LOCAL UTILITY COMPANY. SERVICES MAY BE INSTALLED IN A COMMON TRENCH WITH 12" CLEAR SPACE BETWEEN SERVICES. MINIMUM COVER SHALL BE 36" ON ELECTRIC CONDUITS AND 24" ON TELEPHONE AND CABLE CONDUITS. SERVICES SHALL BE MARKED WITH MAGNETIC LOCATOR TAPE. GALVANIZED STEEL ELECTRICAL CONDUIT SHALL BE USED AT POLE AND TRANSFORMER LOCATIONS. INSTALL HAND HOLES AS REQUIRED.
14. ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION PRIOR TO APPROVAL FOR BACKFILL, IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY, LOCAL MUNICIPALITY, AND/OR LOCAL COUNTY REQUIREMENTS.
15. MANHOLE RIMS AND CATCH BASIN GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE FRAMES AND COVERS, CATCH BASIN GRATES, VALVE BOXES, ETC., TO BE RAISED OR LOWERED, TO PROPOSED FINISHED GRADE, FLUSH WITH THE ADJACENT GRADE.
16. THE CONTRACTOR MAY SUBSTITUTE MASONRY STRUCTURES FOR PRECAST STRUCTURES IF APPROVED BY THE CONSTRUCTION MANAGER AND IF ALLOWED BY THE CITY AND/OR COUNTY ENGINEERS.
17. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF WATER MAINS & SERVICES TO A POINT 5' OUTSIDE OF EACH BUILDING. THE INDIVIDUAL BUILDING CONTRACTORS SHALL BE RESPONSIBLE FOR ALL CONNECTIONS TO INTERIOR PLUMBING.
18. IN THE EVENT OF CONFLICT OF ANY REQUIREMENTS OR PROVISIONS OF THE WORK INDICATED HEREON, THE SITE ENGINEER SHALL BE NOTIFIED FOR A DETERMINATION OF THE PLAN REQUIREMENTS AND INTENT THEREOF.
19. REFERENCE SITE ELECTRICAL PLAN FOR LOCATION OF ELECTRIC CONDUIT FOR ALL SITE ELECTRICAL WORK.
20. CONTRACTOR TO SEE MEP SITE PLAN FOR ALL ELECTRICAL AND COMMUNICATION CONDUIT RUNS PRIOR TO START OF CONSTRUCTION.
21. ALL UTILITIES SHALL BE CONSTRUCTED, INSPECTED, AND TESTED IN ACCORDANCE WITH CITY AND/OR COUNTY STANDARDS AND REGULATIONS. THE CITY OR COUNTY ENGINEERING DEPARTMENT SHALL BE NOTIFIED A MINIMUM OF 48 HOURS IN ADVANCE FOR SCHEDULING OF AN INSPECTOR.
22. PROPOSED ELEVATIONS SHOWN SHALL NOT BE CHANGED WITHOUT APPROVAL OF THE CITY ENGINEERING DEPARTMENT AND THE CONSTRUCTION MANAGER.
23. THE LOCATION, SIZE, AND DEPTH OF THE EXISTING SANITARY LATERAL OR MAIN SHALL BE VERIFIED IN THE FIELD IN THE PRESENCE OF THE CITY INSPECTOR. THE SLOPE OF THE LATERAL TO THE BUILDING WILL THEN BE DETERMINED. THE CITY MUST APPROVE THE TYPE AND LOCATION OF ANY CONNECTION PRIOR TO INSTALLATION. THE EXISTING SANITARY LATERAL SHALL BE TELEVEED PRIOR TO INSTALLATION OF ANY SANITARY SEWER SYSTEM COMPONENTS. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER IS THE EXISTING LATERAL IS NOT FOUND TO BE IN GOOD CONDITION.
24. ALL BACK FLOW PREVENTION DEVICES SHALL BE APPROVED BY THE CITY'S UTILITY DEPARTMENT.
25. ALL FIRE SERVICE MAINS SHALL BE INSTALLED BY AN INDIVIDUAL WITH APPROPRIATE CERTIFICATION BY THE GOVERNING AUTHORITY.
26. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.

- 27. IN THOSE AREAS WHERE IT IS REQUIRED TO LOWER THE WATER LINE TO CLEAR AN OBSTACLE AND THE DEFLECTION WILL BE GREATER THAN 18", THE USE OF BENDS WILL BE REQUIRED TO CLEAR THE OBSTACLE AND BRING THE WATER MAIN UP TO THE STANDARD FIVE (5) FEET OF COVER.
28. CONTRACTOR TO INSTALL SHORING AND/OR TEMPORARY STRUCTURES TO PROVIDE SUPPORT TO ANY AND ALL EXISTING AFFECTED UTILITIES PER UTILITY PROVIDER'S MINIMUM STANDARDS.
29. CONTRACTOR TO COORDINATE ALL UTILITY CONNECTIONS, ELECTRICAL AND TELECOMMUNICATIONS CONDUIT, AND GAS LINES WITH M.E.P. PLANS PRIOR TO START OF CONSTRUCTION.

STORM UTILITY NOTES:

- 1. CURB INLETS ARE TO BE ALIGNED WITH FACE OF CURBS.
2. NORTHINGS AND EASTINGS FOR STORM STRUCTURES GIVEN IN SITE PLANS ARE UNDERSTOOD TO REPRESENT THE CENTER OF THE INLET STRUCTURE.
3. ALL STORM SEWER PIPES SHALL BE RCP UNLESS STATED OTHERWISE ON THE PLANS.
3.1. HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER PIPE SHALL HAVE A SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND MEET THE REQUIREMENTS OF ONE OF THE FOLLOWING SPECIFICATIONS: AASHTO M252, TYPE S FOR 4-INCH THROUGH 10-INCH PIPE, AASHTO M294, TYPE S FOR 12-INCH THROUGH 36-INCH PIPE, ASTM F2306 FOR 12-INCH THROUGH 60-INCH PIPE, OR ASTM F2648 FOR 4-INCH THROUGH 60" PIPE. JOINTS SHALL BE SILT-TIGHT BELL AND SPIGOT CONNECTIONS. HDPE PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAIL, ASTM D2321 AND MANUFACTURERS RECOMMENDED PROCEDURE.
3.2. POLY VINYL CHLORIDE (PVC) PIPE FOR STORM SHALL HAVE BUILT-IN RUBBER GASKET JOINTS. PVC PIPE SHALL CONFORM TO ASTM D3034 SDR35 WITH COMPRESSION JOINTS AND APPROPRIATE FITTINGS. PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAIL, ASTM D2321 AND MANUFACTURERS RECOMMENDED PROCEDURE.
3.3. RE-INFORCED CONCRETE PIPE (RCP) SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-76; ALL RCP SHALL BE CLASS IV UNLESS OTHERWISE SHOWN. JOINTS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-443.
4. ALL STORM SEWERS, INLET BASINS AND MANHOLES SHALL BE CLEANED PRIOR TO ACCEPTANCE.

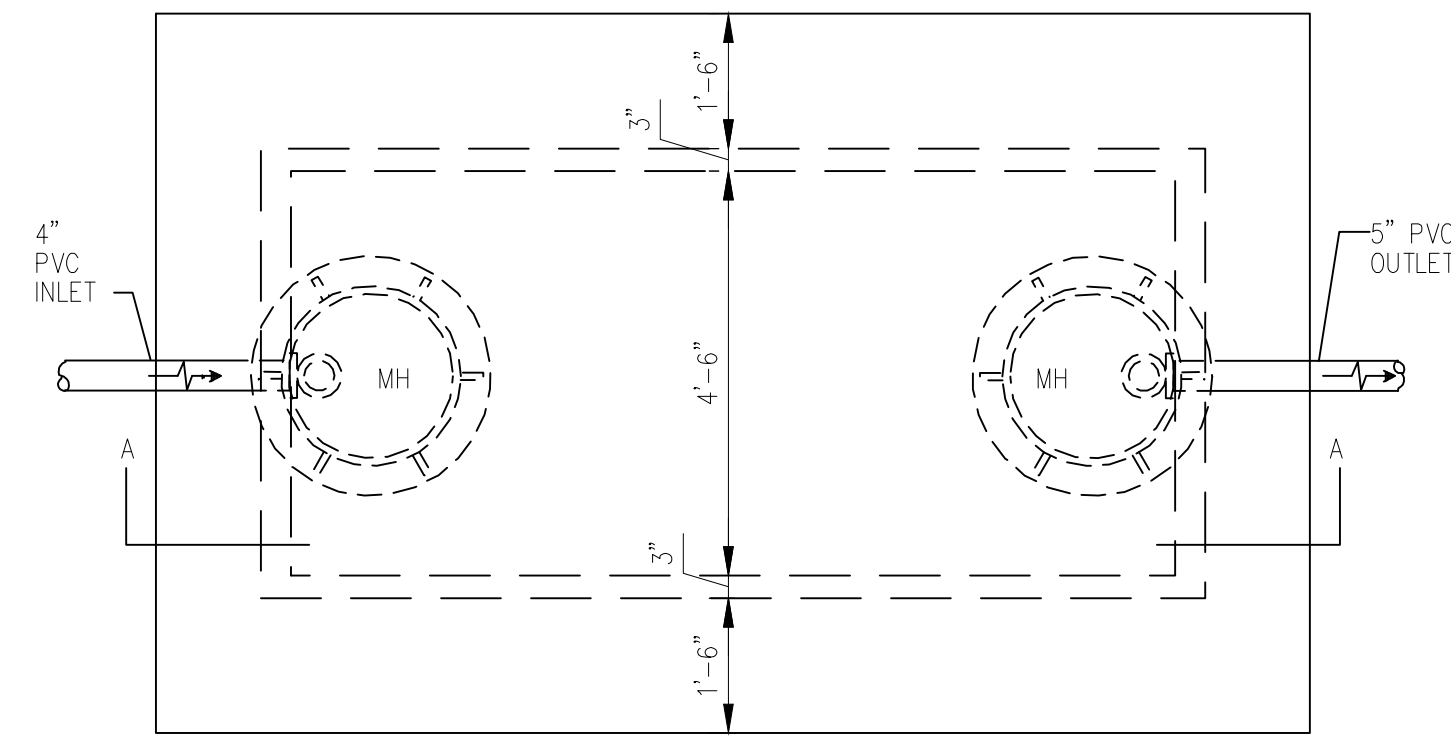
SANITARY UTILITY NOTES:

- 1. SANITARY LATERAL SHALL BE A MINIMUM 6" DIAMETER OF PVC PIPE, ASTM D3034 SDR 26 WITH RUBBER GASKET JOINTS OR APPROVED EQUAL. LATERALS SHALL BE CONSTRUCTED WITH A MINIMUM 1% SLOPE, AND HAVE A MINIMUM OF 3 FT. COVER. PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAIL, ASTM D2321 AND MANUFACTURERS RECOMMENDED PROCEDURE.
2. MANHOLE SECTION AND CONSTRUCTION SHALL CONFORM TO ASTM C-478.
3. TEST FLEXIBLE PIPING FOR DEFLECTION THAT PREVENTS PASSAGE OF BALL OR CYLINDER OF SIZE NOT LESS THAN 95 PERCENT OF PIPING DIAMETER. DEFLECTION OF 5% SHALL NOT BE EXCEEDED.
4. TEST SANITARY SEWERAGE ACCORDING TO REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. PERFORM AIR TESTS ON SANITARY SEWERAGE ACCORDING TO REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION IN ACCORDANCE WITH UNI-B-6. TEST PLASTIC GRAVITY SEWER PIPING ACCORDING TO ASTM F 1417 AND CONCRETE GRAVITY SEWER PIPING ACCORDING TO ASTM C-924.
5. PERFORM HYDRAULIC TEST IN MANHOLES ACCORDING TO ASTM C-969.

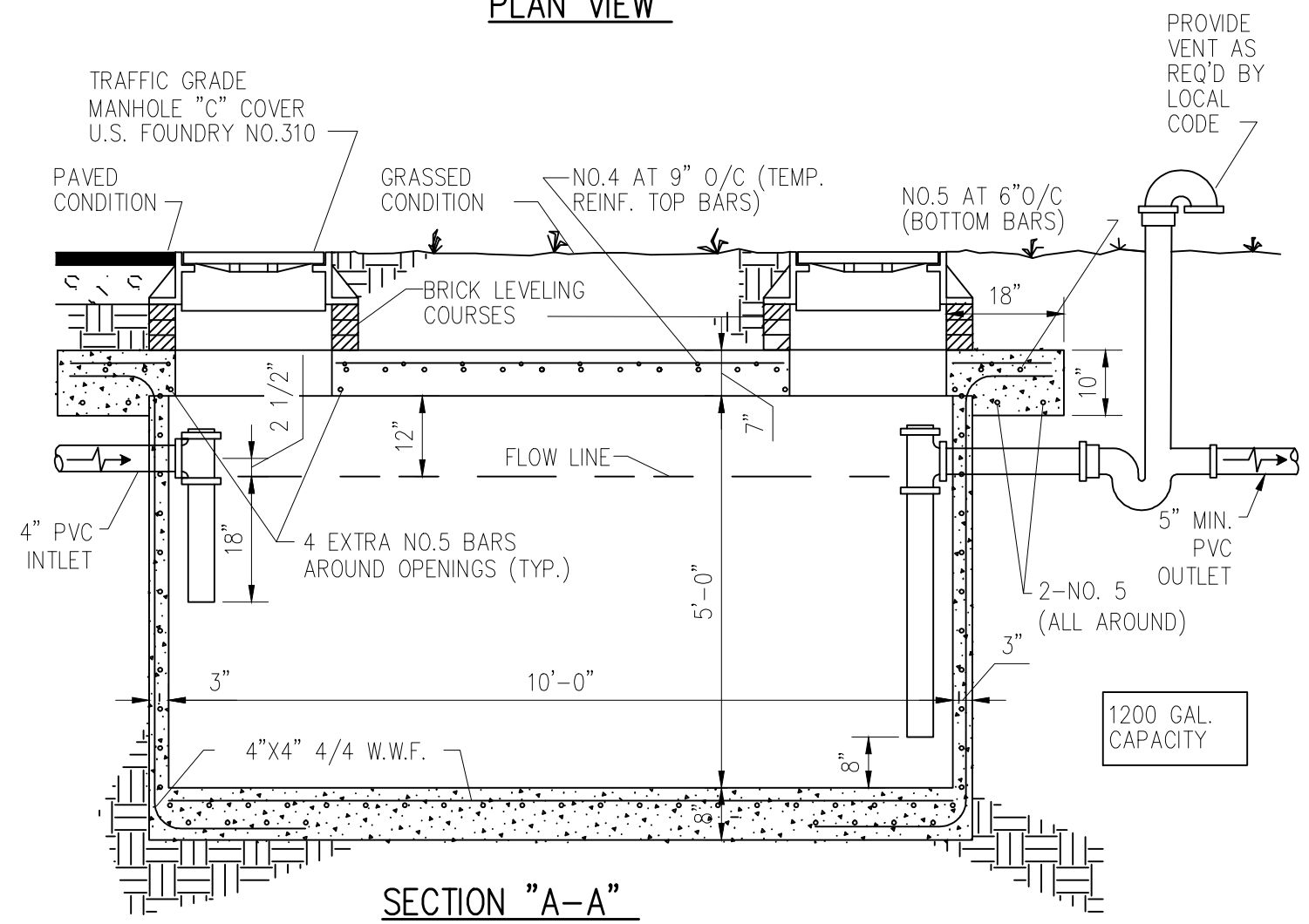
WATER UTILITY NOTES:

- 1. WATER MAIN SHALL BE MANUFACTURED AND TESTED IN ACCORDANCE WITH AWWA STANDARD C900 FOR POLYVINYL CHLORIDE (PVC) PRESSURE PIPE AND FABRICATED FITTINGS, 4-INCH THROUGH 12-INCH, FOR WATER DISTRIBUTION, OR AWWA STANDARD C909 FOR MOLECULARLY ORIENTED POLYVINYL CHLORIDE (PVC) PRESSURE PIPE, 4-INCH THROUGH 12-INCH, FOR WATER DISTRIBUTION AND CLEARLY MARKED AS SUCH. PVC WATER PIPE SHALL BE CERTIFIED TO NSF INTERNATIONAL STANDARD NO. 61.
2. REFERENCE BUILDING PLANS FOR PLACEMENT OF WATER METER AND BACKFLOW PREVENTER INSTALLATION.
3. MINIMUM DEPTH OF WATER MAIN COVER SHALL BE FIVE (5) FEET BELOW FINISH GRADE.

DEVELOPMENT PLAN FOR BURGER KING 31806 GRAND RIVER AVENUE FARMINGTON, MICHIGAN 48336
GENERAL NOTES
C001
Mgnmik Smith Group
CARROLLS CORPORATION
968 JAMES STREET SYRACUSE, NY 13203
TECHNICAL SKILL: CREATIVE SPIRIT.
PREPARED FOR:
BY: M.M. DATE: 4/25/2019
NO. 2
DESCRIPTION: CITY OF FARMINGTON REVIEW SUPPLEMENTARY CITY OF FARMINGTON SUBMITTAL
1180 DUBLIN ROAD, SUITE 100 COLUMBUS, OH 43215
PROJECT DATE: 4/25/2019
PROJECT NO: C5530009
DRAWN BY: DES
CHECKED BY: RJT



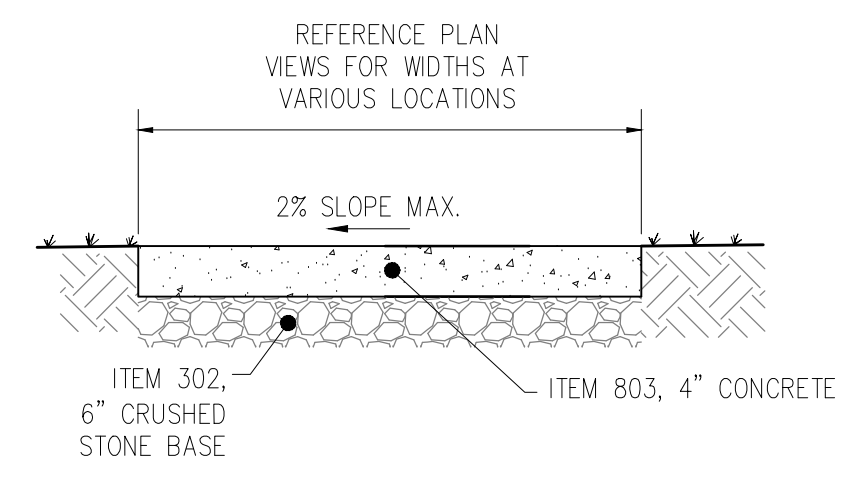
**PLAN VIEW**



**SECTION "A-A"**

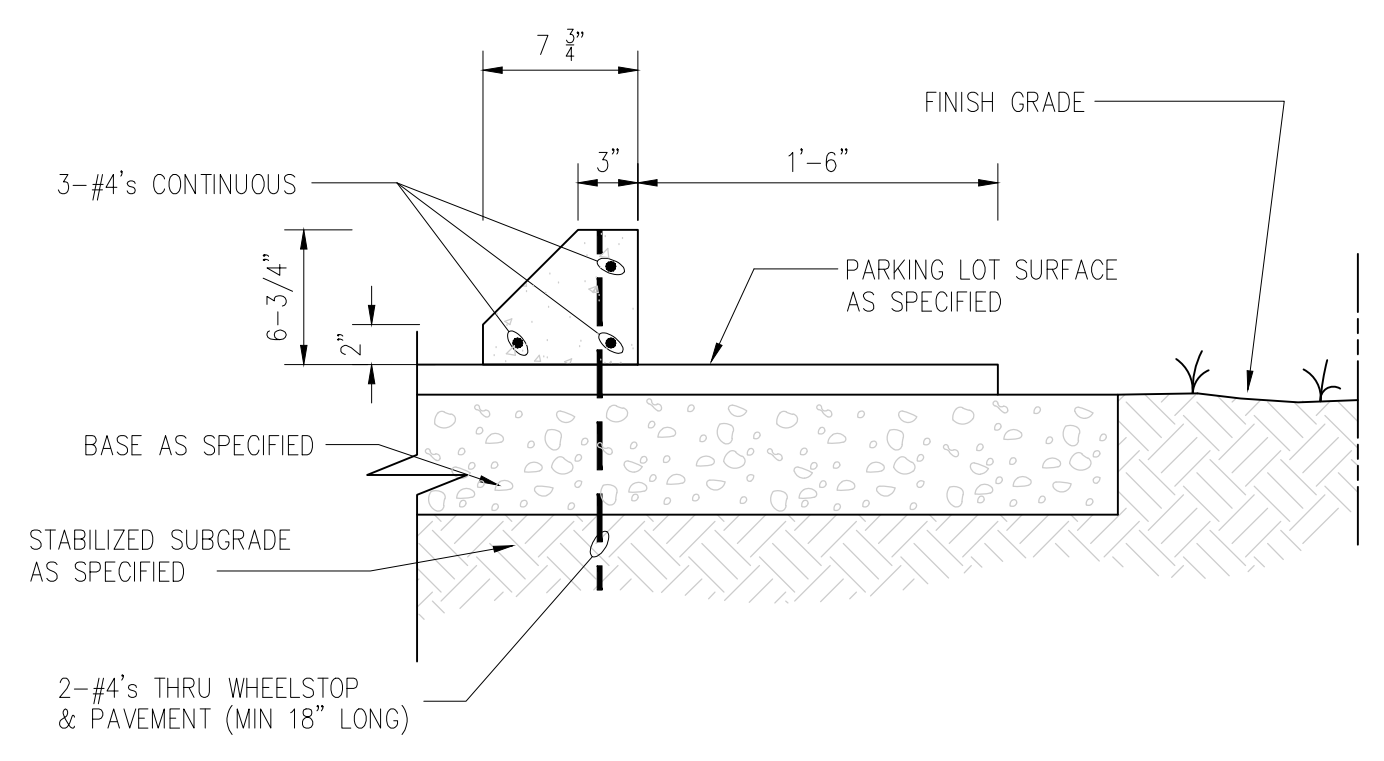
- NOTES:
1. PRECAST UNITS ARE APPROVED FOR USE PER ABOVE DESIGN AND DIMENSIONS.
  2. BITUMASTIC COATING ON BOTTOM AND ALL SIDES (EXTERIOR ONLY).
  3. LOCAL STANDARD CODE SHALL APPLY IF REQUIREMENTS EXCEED THIS STANDARD DETAIL.

**GREASE INTERCEPTOR**  
NOT TO SCALE

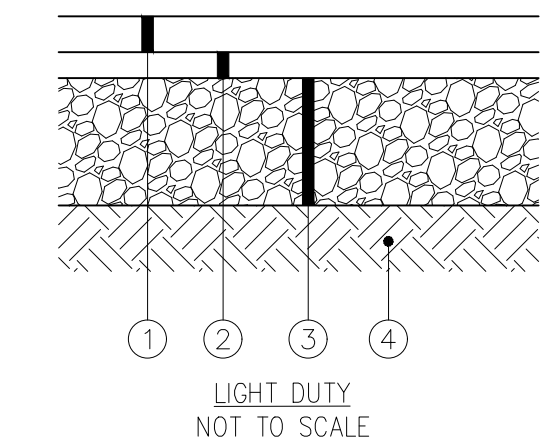


NOTE:  
SIDEWALK JOINTS TO BE SPACED EQUALLY AT INTERVALS NO GREATER THAN THE WIDTH, 10' MAXIMUM. EXPANSION JOINT FILLER 1/2" THICK SHALL BE INSTALLED BETWEEN WALK AND ANY FIXED STRUCTURE EXTENDING FOR THE FULL DEPTH OF THE SIDEWALK. THE EXPANSION JOINT FILLER SHALL BE 1" THICK WHERE WALK IS INSTALLED AGAINST BACK OF CURB.

**TYPICAL SIDEWALK SECTION**  
NOT TO SCALE



**PARKING BLOCK DETAIL**  
NOT TO SCALE

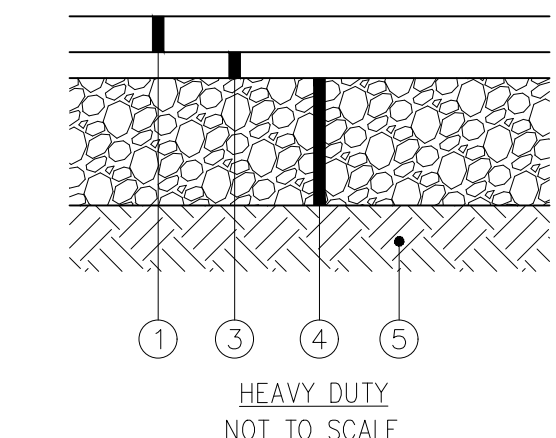


1. 1.5" HMA SURFACE COURSE
2. 2" HMA INTERMEDIATE COURSE
3. 8" 21AA
4. SUBGRADE COMPACTION

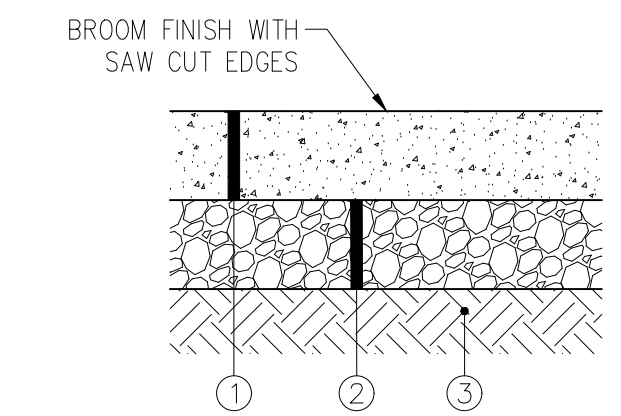
NOTE:  
PAVEMENT SECTIONS ARE SUBJECT TO CHANGE UPON RECEIPT OF SITE SUBSURFACE INVESTIGATION REPORT.

THE MANNIK AND SMITH GROUP ASSUMES NO LIABILITY FOR PAVEMENT SECTIONS. CONTRACTOR TO USE PAVEMENT DETAILS IN THE GEOTECHNICAL REPORT WHEN PROVIDED BY THE OWNER.

**ASPHALT PAVEMENT SECTIONS**  
NOT TO SCALE



1. 1.5" HMA SURFACE COURSE
2. 2.5" HMA INTERMEDIATE COURSE
3. 8" 21AA
4. SUBGRADE COMPACTION

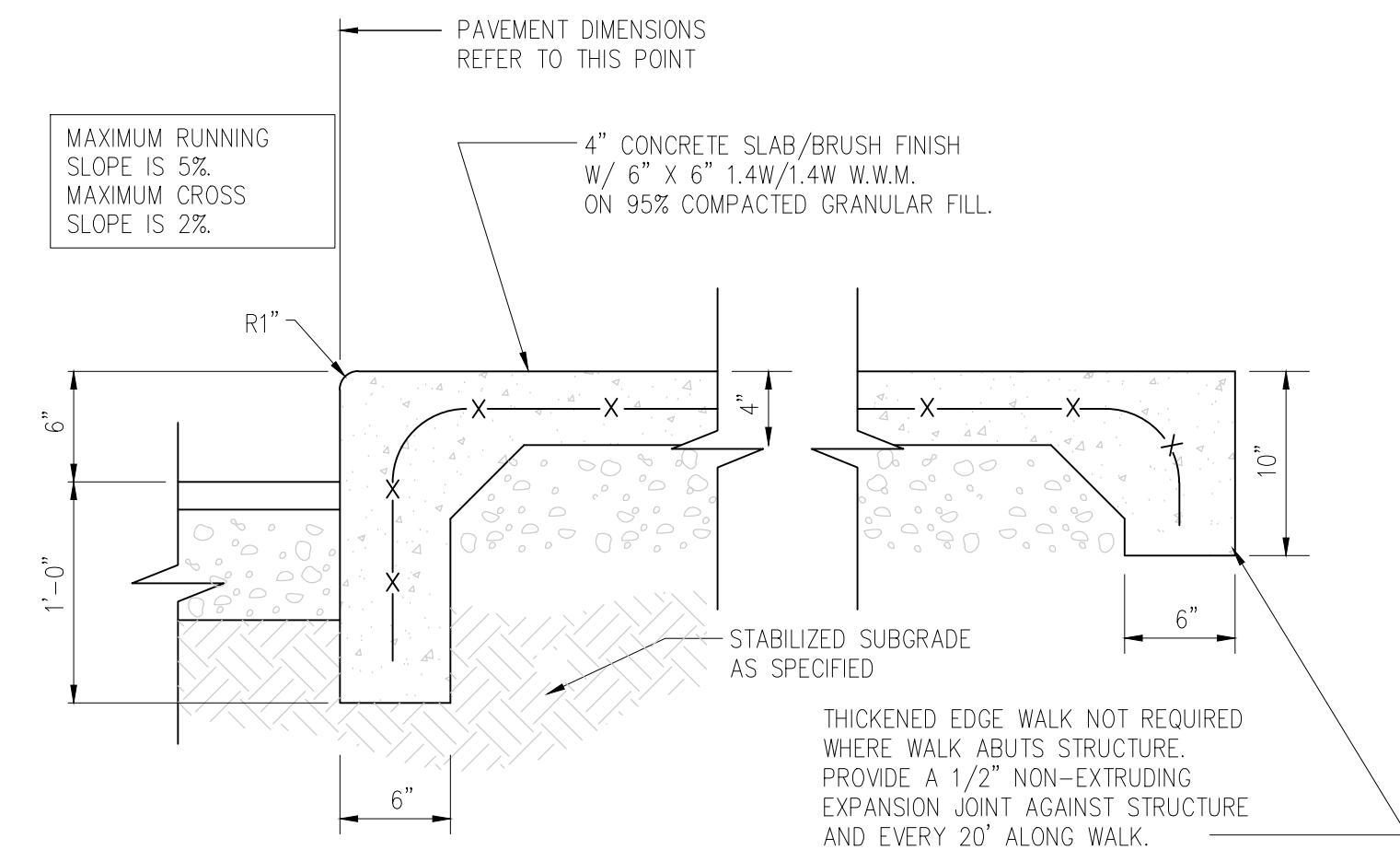


1. 8" PORTLAND CEMENT CONCRETE PAVEMENT W/ 6x6 W.W.F. IT IS REQUIRED TO COLOR THE CONCRETE BLACK USING ADMIXTURE (CHROMIX C-24 CHARCOAL BY SCOFIELD CO., OR EQUAL)
2. 6" 21AA STONE BASE
3. SUBGRADE COMPACTION, REFERENCE SOILS REPORT

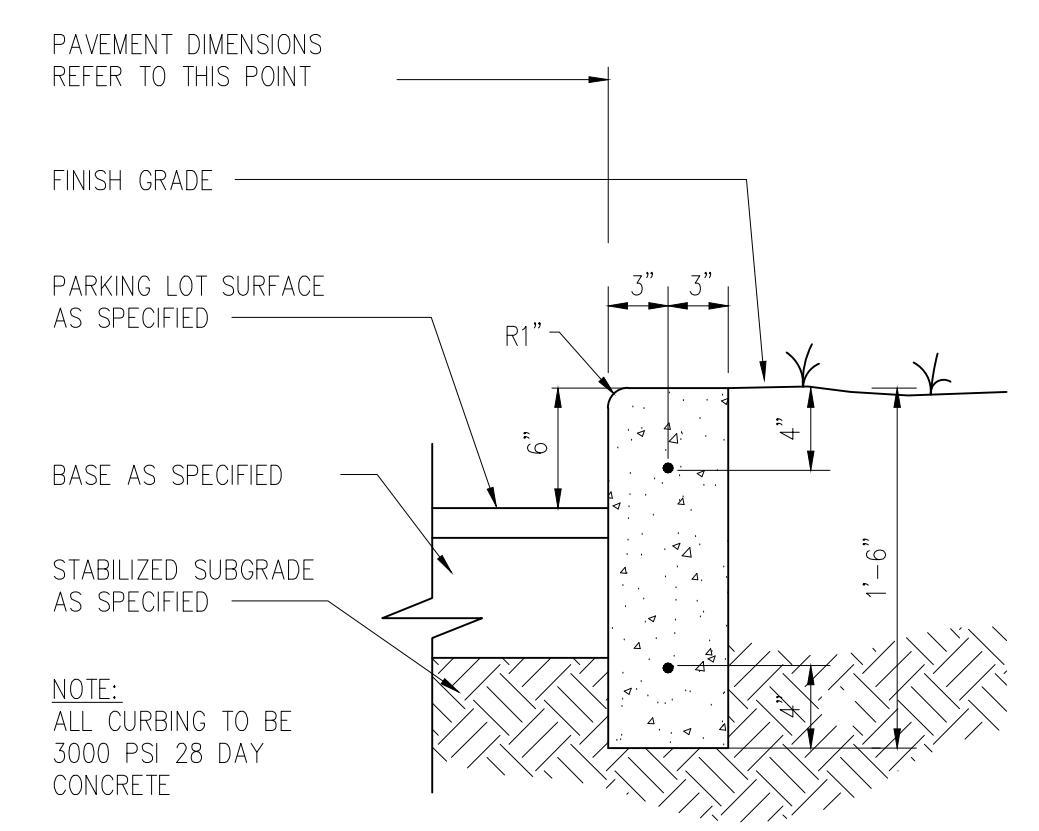
NOTE:  
PAVEMENT SECTION SUBJECT TO CHANGE UPON RECEIPT OF SITE SUBSURFACE INVESTIGATION REPORT.

THE MANNIK AND SMITH GROUP ASSUMES NO LIABILITY FOR PAVEMENT SECTIONS. CONTRACTOR TO USE PAVEMENT DETAILS IN THE GEOTECHNICAL REPORT WHEN PROVIDED BY THE OWNER.

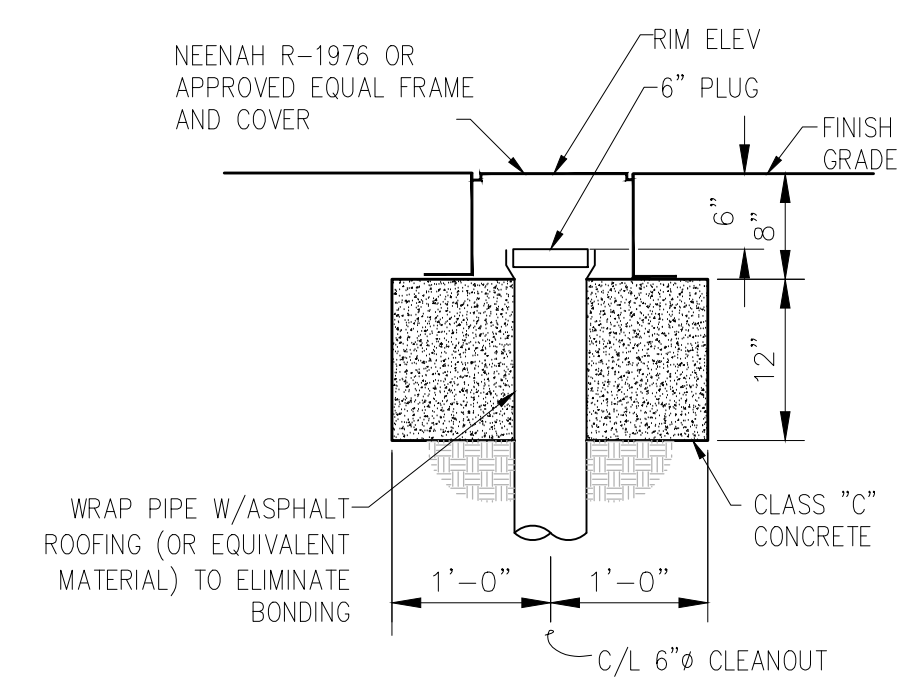
**DUMPSTER PAD AND DRIVE THRU PAVEMENT SECTION**  
NOT TO SCALE



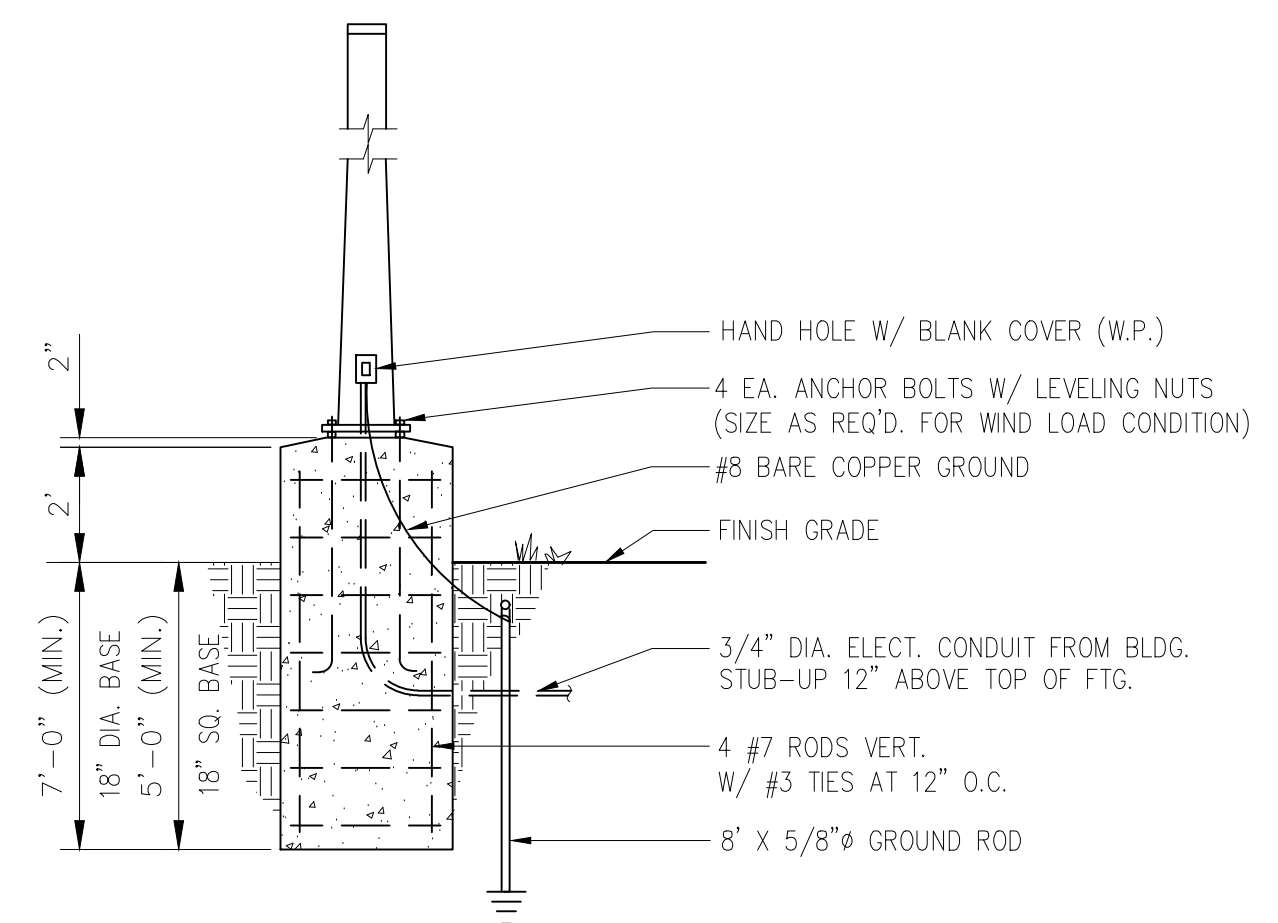
**COMBINED CURB AND WALK**  
NOT TO SCALE



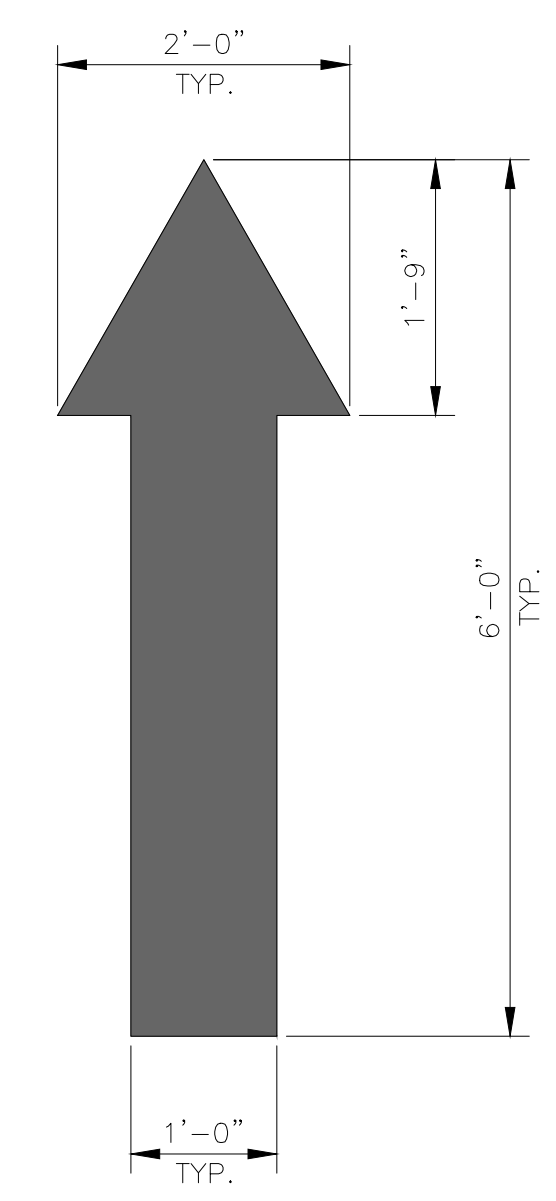
**6" CONCRETE CURB**  
NOT TO SCALE



**CLEANOUT DETAIL**  
NOT TO SCALE



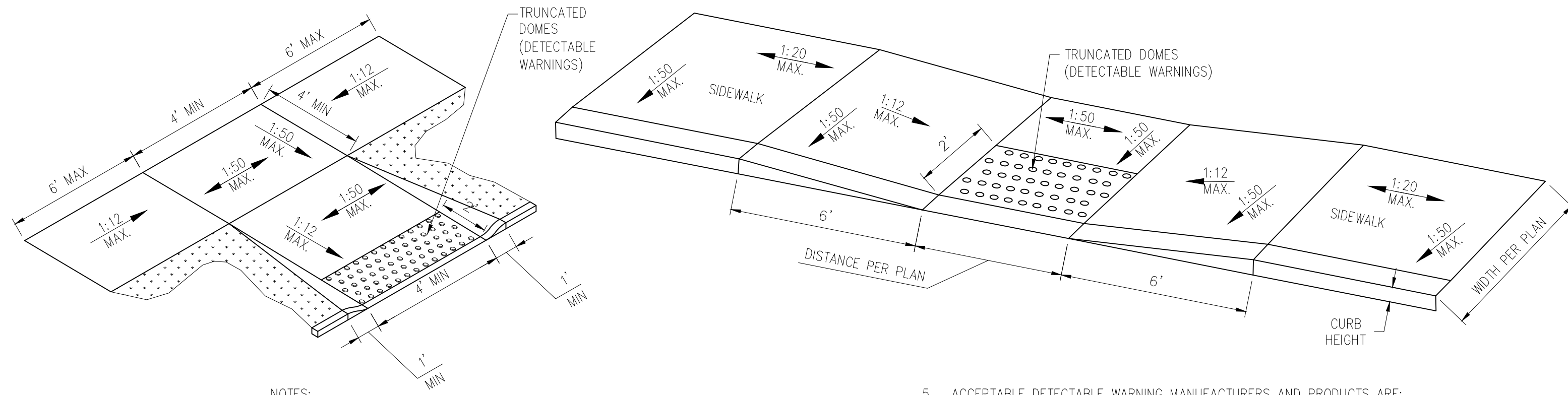
**LIGHT POLE FOUNDATION**  
NOT TO SCALE



**PAINTED TRAFFIC ARROWS**  
NOT TO SCALE

DEVELOPMENT PLAN FOR <b>BURGER KING</b> 31806 GRAND RIVER AVENUE FARMINGTON, MICHIGAN 48336	PREPARED FOR <b>CARROLS CORPORATION</b> 988 JAMES STREET SYRACUSE, NY 13203	TECHNICAL SKILL: <b>Mannik Smith Group</b> CREATIVE SPIRIT. www.MannikSmithGroup.com	NO. 1 DATE 4/25/2019 BY MAM DESCRIPTION CITY OF FARMINGTON REVIEW
			NO. 2 DATE 4/25/2019 BY MAM DESCRIPTION SUPPLEMENTARY CITY OF FARMINGTON SUBMITTAL
PROJECT NO. 4/25/2019 DRAWN BY: CS530029 DES: RJT CHECKED BY:		<b>PRELIMINARY</b> <b>NOT FOR CONSTRUCTION</b>	
1180 DUBLIN ROAD, SUITE 100 COLUMBIUS, OH 43215 TEL: 614-844-4222 FAX: 614-888-6730		PROJECT DATE: 4/25/2019 PROJECT NO.: CS530029 DRAWN BY: DES CHECKED BY: RJT	
C002		C002	

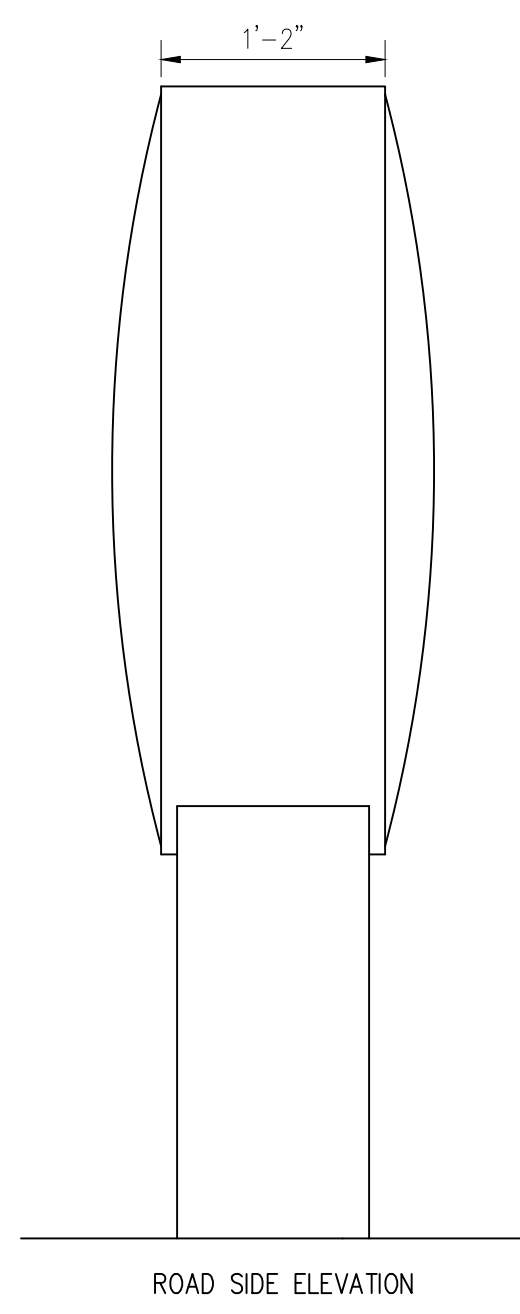




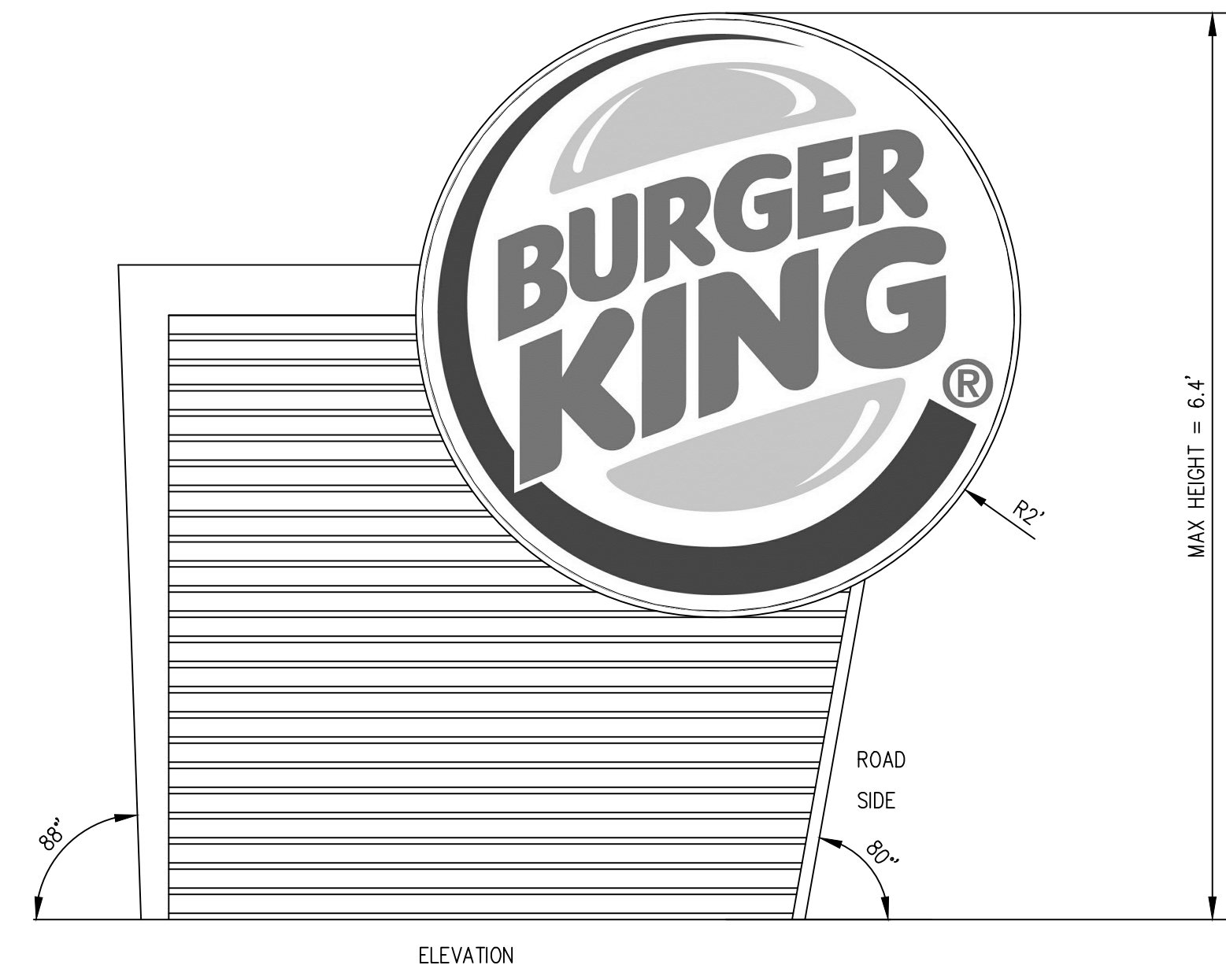
- NOTES:**
1. TEXTURE OF CONCRETE RAMP SURFACE SHALL BE OBTAINED BY COURSE BRROOMING PERPENDICULAR TO THE RAMP SLOPE AND SHALL BE ROUGHER THAN ADJACENT WALK.
  2. DETECTABLE WARNINGS ARE TO BE INSTALLED THE FULL WIDTH OF THE RAMP OR FLUSH SURFACE AND EXTEND 24" IN THE DIRECTION OF TRAVEL. THE DETECTABLE WARNINGS SHALL BE LOCATED AS INDICATED IN DETAIL AND/OR PLAN.
  3. DETECTABLE WARNINGS SHALL CONSIST OF TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 INCH AND A HEIGHT OF NOMINAL 0.2 INCH.
  4. DETECTABLE WARNINGS ARE TO BE CONSTRUCTED WITH RED PAVERS. THE PAVERS SHALL BE SET ON A 4" UN-REINFORCED CONCRETE BASE. SETTING BED AND JOINTS SHALL BE MORTARED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. MORTAR JOINTS ARE TO BE FLUSH WITH THE TOP SURFACE AND STRUCK SO AS TO GIVE A SMOOTH SURFACE. PAVERS SHALL BE LAID SUCH THAT JOINTS ARE LEVEL WITH ADJOINING PAVERS IN ORDER TO PROVIDE A SMOOTH TRANSITION FROM PAVEMENT TO PAVEMENT AND FROM PAVEMENT TO CONCRETE SURFACE. A MINIMUM OF 3 INCHES OF CONCRETE SHALL BE PROVIDED ON EACH SIDE OF THE WARNING.

5. ACCEPTABLE DETECTABLE WARNING MANUFACTURERS AND PRODUCTS ARE:
- 5.1. WHITACTE-GREER FIREPROOFING COMPANY, 1400 S. MAHONING AVE. ALLIANCE, OH. 44601 (800)WC PAVER ADA PAVER, 4"x8"x2 1/4", CLEAR RED (RUSTIC) #30
  - 5.2. HANOVER ARCHITECTURAL PRODUCTS, 240 BENDER ROAD, HANOVER PA. 17331, (717)-637-0500 DETECTABLE WARNING PAVER, 12"x12"x2" OR 24"x24"x2", RED OR QUARRY RED
  - 5.3. ENDICOTT CLAY PRODUCTS, P.O. BOX 17, FAIRBURY, NE, 68352 (402)-729-5864 HANDICAP DETECTABLE WARNING PAVER, 4"x8"x2 1/4", RED BLEND.
  - 5.4. ADA SOLUTION INC. WILMINGTON MA. (800)-372-0519 CAST-IN-PLACE REPLACEABLE TACTILE PAVERS, COLOR FAST UV STABLE HOMOGENOUS GLASS & CARBON COMPOSITE WITH FIBERGLASS TRUNCATED DOMES, BRICK RED IN COLOR. OR APPROVED EQUAL.

**CURB RAMP DETAILS**  
NOT TO SCALE

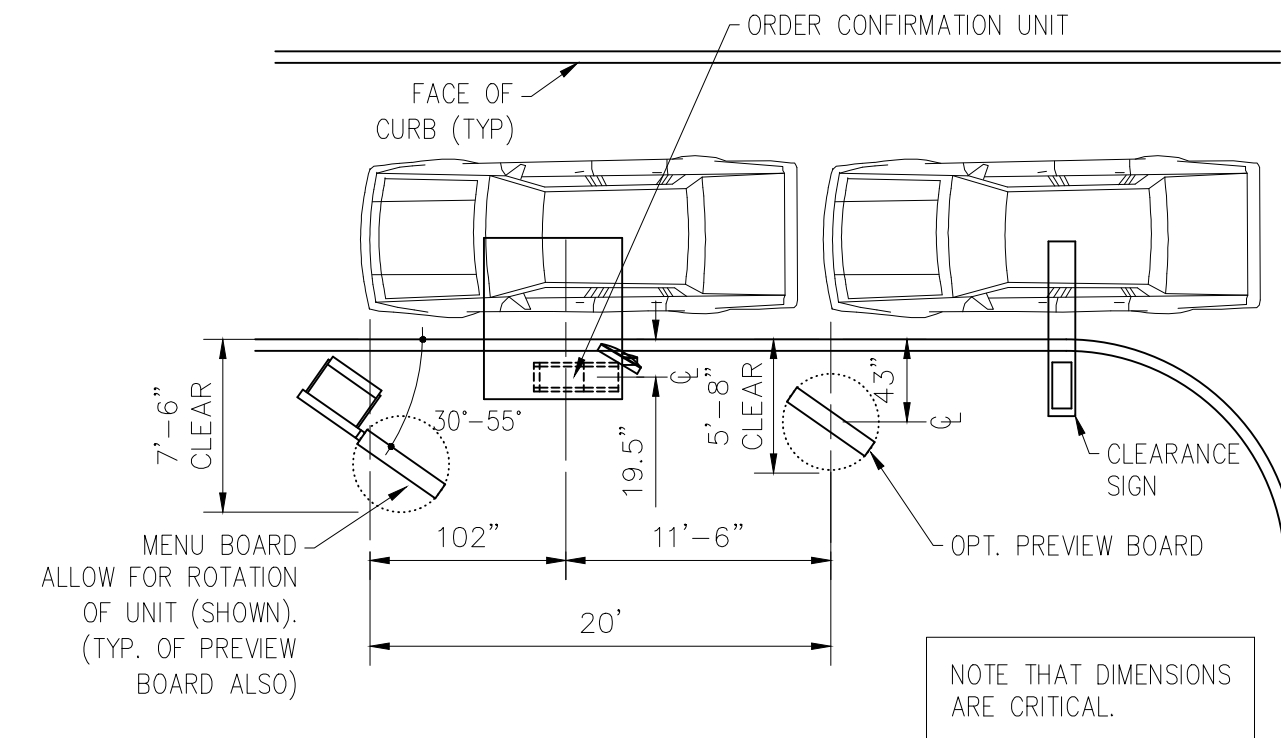


ROAD SIDE ELEVATION



**NOTE:**  
SIGN STRUCTURAL FOUNDATION AS REQUIRED BY SITE CONDITIONS. DESIGN IS THE RESPONSIBILITY OF THE SUBCONTRACTOR.

**MONUMENT SIGN**  
NOT TO SCALE

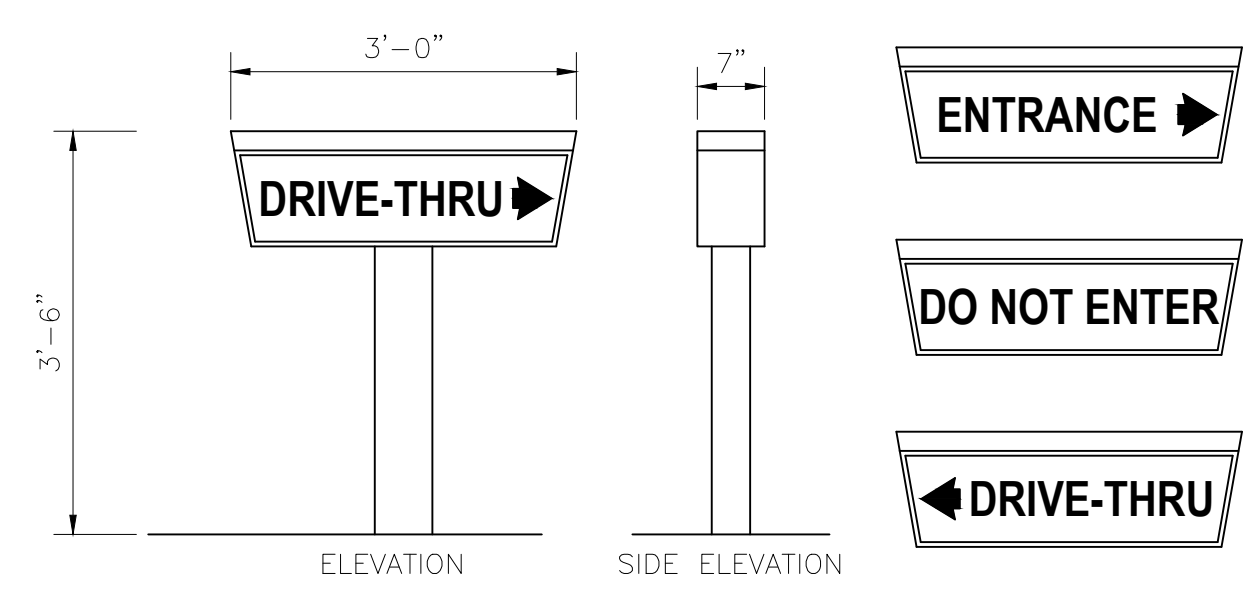


**NOTE:** THE PREFERRED LAYOUT SHOULD BE USED WHENEVER SPACE ALLOWS. 30° ROTATION ANGLE SHOULD BE CONSIDERED OPTIMAL. ANGLES BETWEEN THE PREFERRED LAYOUT AND MINIMUM LAYOUT ARE ACCEPTABLE AS LONG AS:

- (1) THE DISTANCES FROM THE CENTERLINES OF THE SUPPORT POLES OF THE MENU BOARD AND PREVIEW BOARD TO THE FACE OF CURB ARE REDUCED BY 4" FOR EVERY 5 DEGREES OF ROTATION, AND;
- (2) THE DISTANCE FROM THE CENTERLINE OF THE ORDER CONFIRMATION UNIT AND THE CENTERLINE OF THE MENU BOARD IS REDUCED BY 3" FOR EVERY 5 DEGREES OF ROTATION.

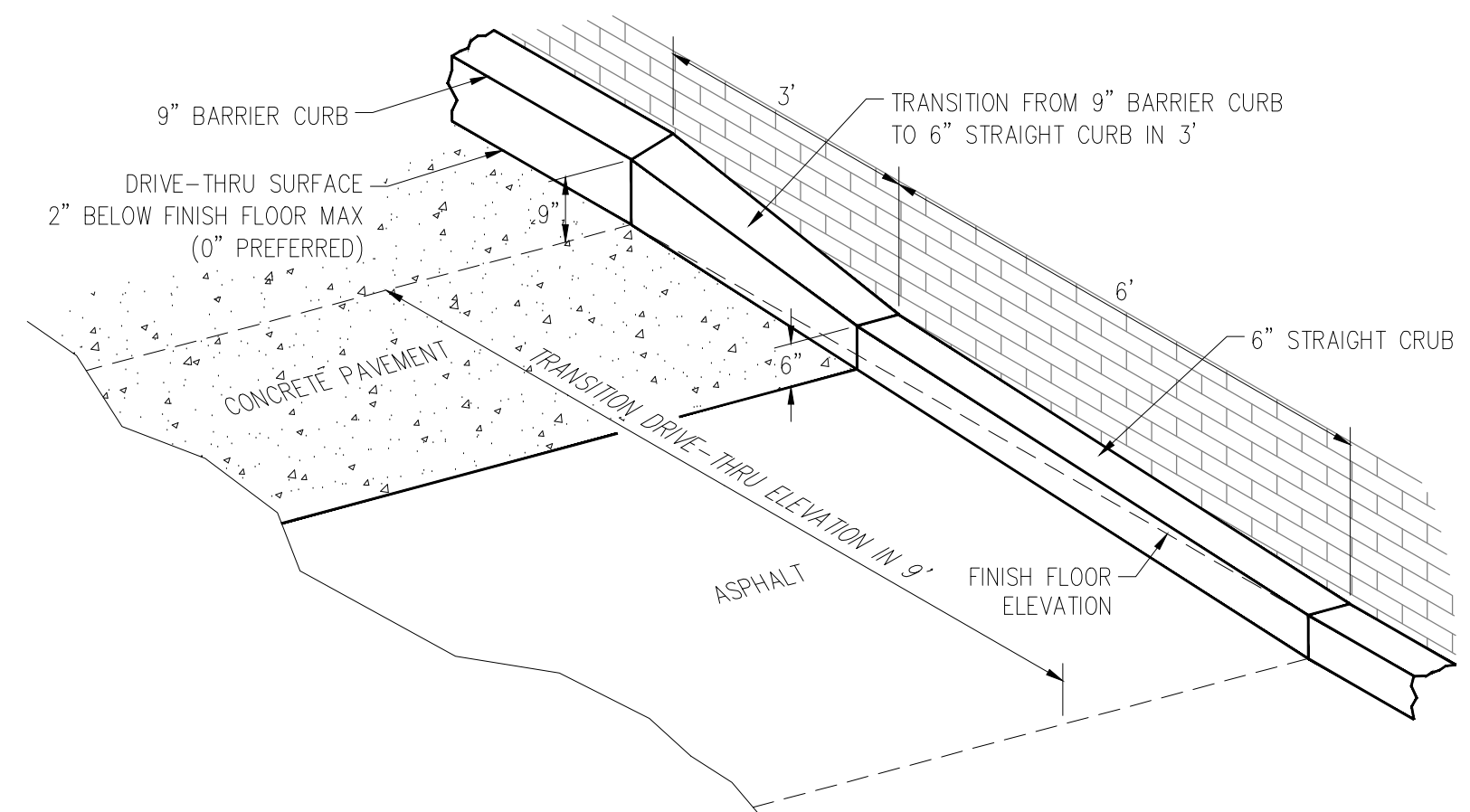
THE CENTERLINE OF MENU BOARD TO CENTERLINE OF PREVIEW BOARD REMAINS AT 20'.

**DRIVE THRU ORDER STATION**  
NOT TO SCALE



**NOTE:**  
SIGN STRUCTURAL FOUNDATION AS REQ'D. BY SITE CONDITIONS. DESIGN IS THE RESPONSIBILITY OF THE SUBCONTRACTOR.

**DIRECTIONAL SIGN**  
NOT TO SCALE



**DRIVE-THRU CURB AND PAVEMENT TRANSITION**  
NOT TO SCALE

NO.	DATE	BY	DESCRIPTION
1	4/25/2019	NMM	CITY OF FARMINGTON REVIEW
2		NMM	SUPPLEMENTARY CITY OF FARMINGTON SUBMITTAL

**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

1160 DUBLIN ROAD, SUITE 100  
COLUMBUS OH 43215  
TEL: 614 462 4222  
FAX: 614 468 7340

PROJECT DATE: 4/25/2019  
PROJECT NO: C5530029  
DRAWN BY: DES  
CHECKED BY: RJT

**Mannik Smith Group**  
CREATIVE SPIRIT.  
www.MannikSmithGroup.com

PREPARED FOR:

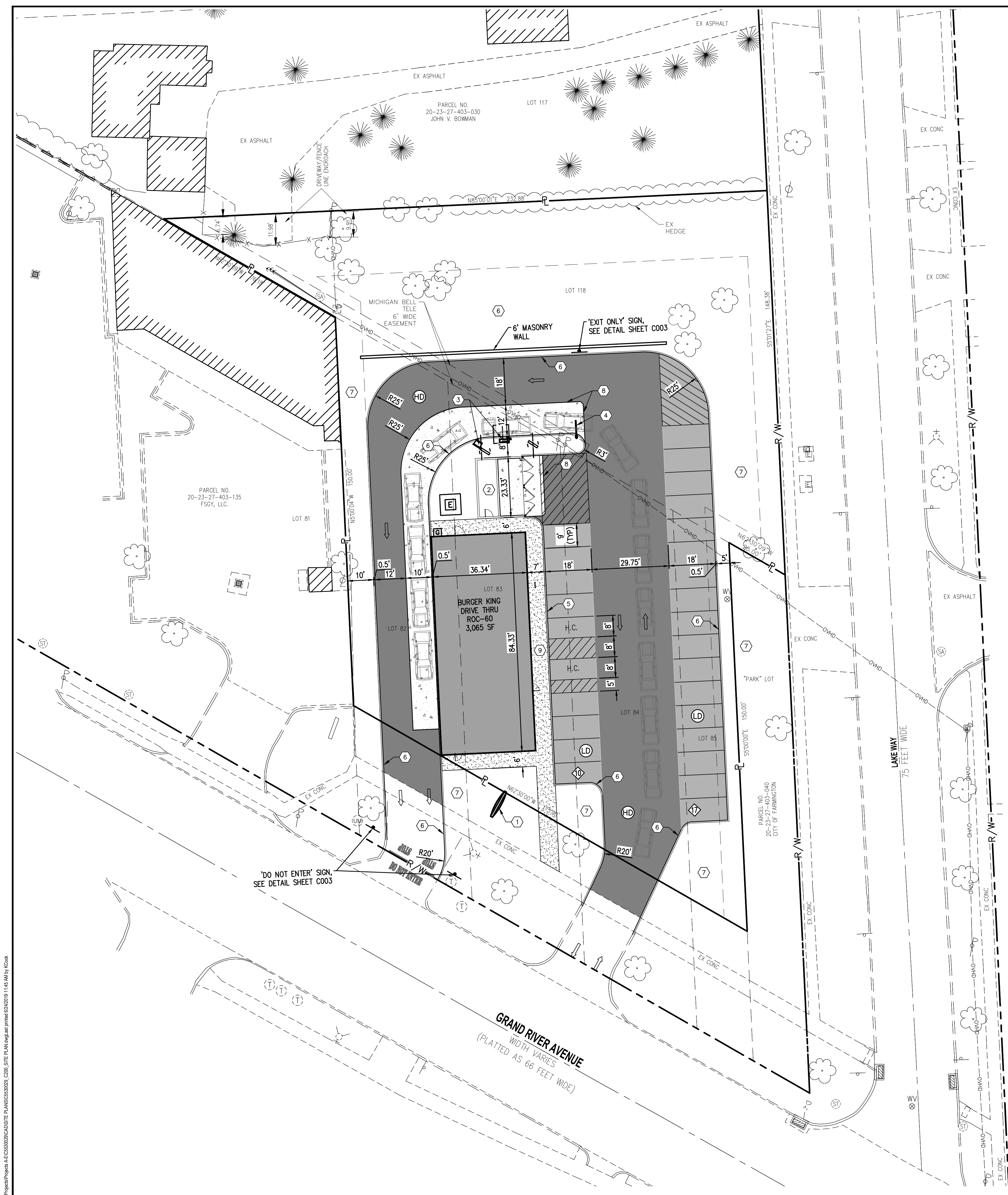
**CARROLS CORPORATION**  
966 JAMES STREET  
SYRACUSE, NY 13203

DEVELOPMENT PLAN FOR

**BURGER KING**  
31806 GRAND RIVER AVENUE  
FARMINGTON, MICHIGAN 48336

**SITE DETAILS**





**LEGEND**

	R/W	RIGHT OF WAY
	PR	PROPERTY LINE
	EX CONC	EXISTING CURB
	EX CONC	EXISTING CURB AND GUTTER
	BM	BENCHMARK
	EX SM	EXISTING STORM MANHOLE
	EX SC	EXISTING STORM CLEANOUT
	EX SMH	EXISTING SANITARY MANHOLE
	EX FH	EXISTING FIRE HYDRANT
	EX CB	EXISTING CATCH BASIN, CURB INLET
	EX UV	EXISTING UNIDENTIFIED VALVE
	EX UM	EXISTING UNIDENTIFIED MANHOLE
	EX EP	EXISTING ELECTRIC PEDESTAL
	EX B	EXISTING BOLLARD
	EX EM	EXISTING ELECTRIC METER
	EX ET	EXISTING ELECTRIC TRANSFORMER
	EX CC	EXISTING CANOPY COLUMN
	EX AC	EXISTING AIR CONDITION
	EX LP	EXISTING LIGHT POLE
	EX PP	EXISTING POWER POLE
	EX TP	EXISTING TELEPHONE PEDESTAL
	PR CB	PROPOSED CATCH BASIN, CURB INLET
	PR M	PROPOSED MANHOLE
	PR SS	PROPOSED STORM STRUCTURE NUMBER
	PR SC	PROPOSED SANITARY CLEANOUT
	PR FH	PROPOSED FIRE HYDRANT
	PR ET	PROPOSED ELECTRIC TRANSFORMER
	PR LP	PROPOSED LIGHT POLES
	PR NPS	PROPOSED NUMBER OF PARKING SPACES
	PR CP	PROPOSED CONC PAD
	PR CS	PROPOSED CONC SIDEWALK
	PR LD	PROPOSED LIGHT DUTY ASPHALT
	PR HD	PROPOSED HEAVY DUTY ASPHALT

- SITE PLAN NOTES**
- ALL DIMENSIONS ARE TO EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
  - ALL PAVEMENT MARKINGS, SIGNS AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO AASHTO AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
  - CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS. PAVEMENT MARKINGS SHALL BE APPLIED PER MANUFACTURER RECOMMENDATIONS. APPLY PAINT TO CLEAN, DRY SURFACES TO YIELD SHARP DEFINITION OF EDGES. AIR TEMPERATURE OF 50° MINIMUM. APPLY TWO (2) COATS.
  - PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH MDOT CONSTRUCTION MATERIALS SPECIFICATIONS AND SHALL BE EITHER COLD LAID PLASTIC TAPE OR PAINTED AS DESIGNATED ON THE PLANS.
  - ALL PAVEMENT RADII ARE 5' UNLESS NOTED OTHERWISE ON PLAN.

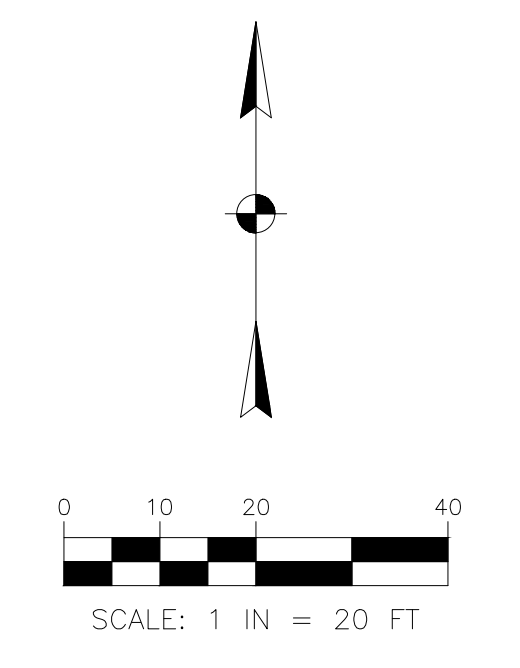
**NOTES**

27 PARKING SPACES SHOWN  
 2 ARE ADA COMPLIANT  
 ZONING: LOT 118 = R1P (SINGLE FAMILY PARKING) AND  
 LOTS 82 THRU 85 = C2 (COMMUNITY COMMERCIAL)

**ABBREVIATIONS**

PR PROPERTY LINE  
 PR PROPOSED  
 R/W RIGHT OF WAY  
 FFE FINISH FLOOR ELEVATION  
 C.O. CLEAN OUT

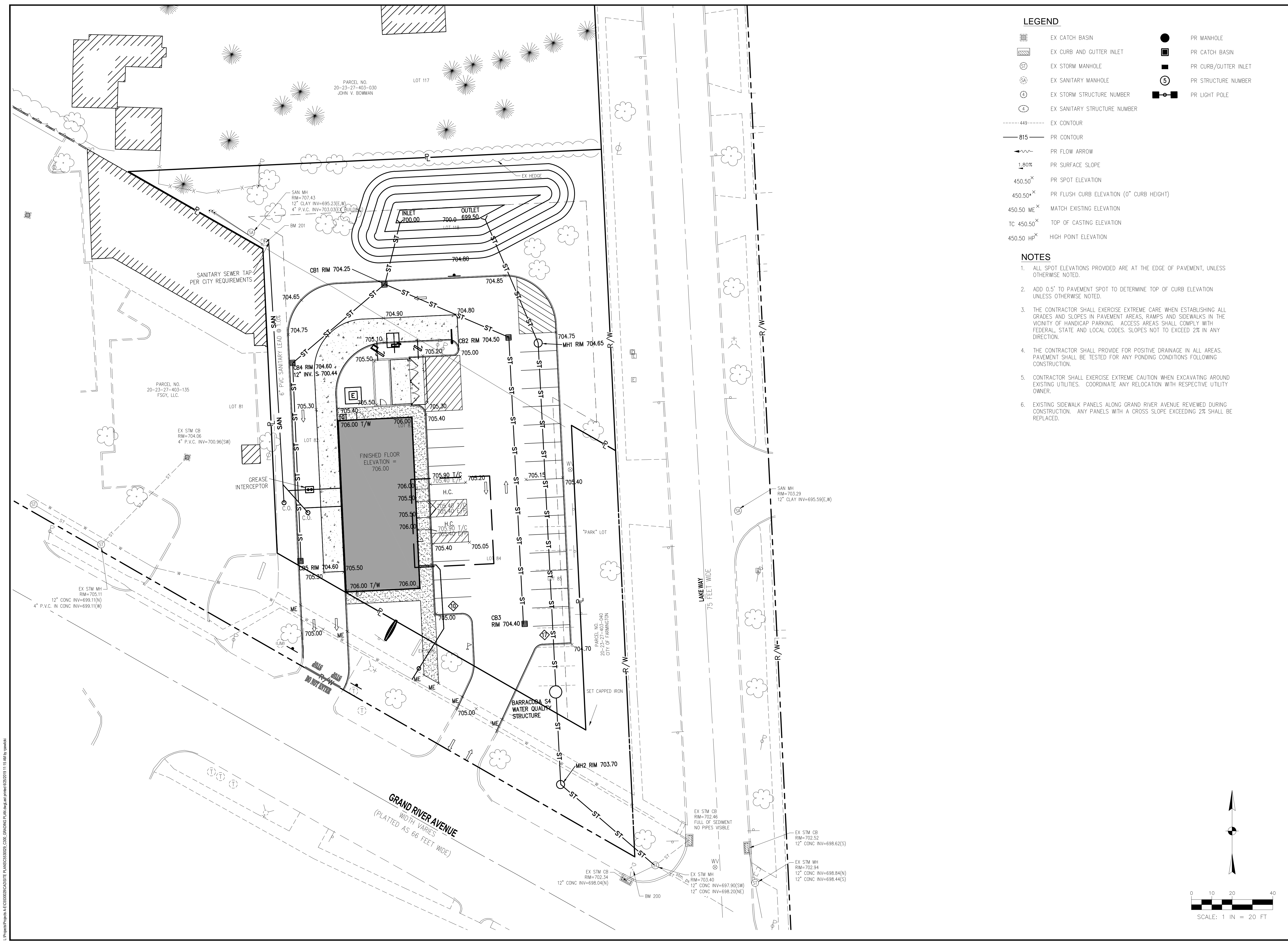
- KEYED NOTES**
- BURGER KING SIGN, SEE DETAIL SHEET C003
  - TRASH CORRAL, SEE ARCHITECTURAL PLANS FOR DETAIL
  - DIGITAL MENU BOARDS AND SPEAKER BOX PER BK STANDARDS. SEE ARCHITECTURAL PLANS FOR DETAIL
  - CLEARANCE BAR, SEE ARCHITECTURAL PLANS FOR DETAIL
  - COMBINED WALK AND CURB, SEE DETAIL SHEET C002
  - 18" STRAIGHT CONCRETE CURB, SEE DETAIL SHEET C002
  - SEEDING MULCHING, SEE LANDSCAPE PLAN
  - BLACK COLORED CONCRETE USING ADMIXTURE (CHROMIX C-24 "CHARCOAL" BY SCHOFIELD CO. OR EQUAL) 4000 PSI 6" THICK W/ 6x6 W2.9xW2.9 W/ PRE-MOULDED BITUMINOUS NON-EXTRUDING EXPANSION JOINTS AT 10' O.C.
  - ADA CURB RAMP, SEE DETAIL SHEET C301



1181 DUBLIN ROAD, SUITE 100 COLUMBUS OH 43215 TEL: 614.444.4222 FAX: 614.444.4222	NO. 1 DATE 4/25/2019	BY MAM CITY OF FARMINGTON REVIEW SUPPLEMENTARY CITY OF FARMINGTON SUBMITTAL	<b>PRELIMINARY</b> <b>NOT FOR CONSTRUCTION</b>
	NO. 2 DATE 6/24/2019	BY MAM	
PROJECT NO. 4752019 DRAWN BY: CS530029 CHECKED BY:	PROJECT NO. 4752019 DES CS530029 R/JT	<b>TECHNICAL SKILL:</b> <b>CREATIVE SPIRIT.</b>  www.MannikSmithGroup.com	
DEVELOPMENT PLAN FOR	PREPARED FOR:	CARROLS CORPORATION 988 JAMES STREET SYRACUSE, NY 13203	BURGER KING 31806 GRAND RIVER AVENUE FARMINGTON, MICHIGAN 48336
PRELIMINARY SITE PLAN			C200

L:\Project\190814\EGS\2019\CAUSTE\PLANS\20190814\EGS\2019\1145.dwg by Rook



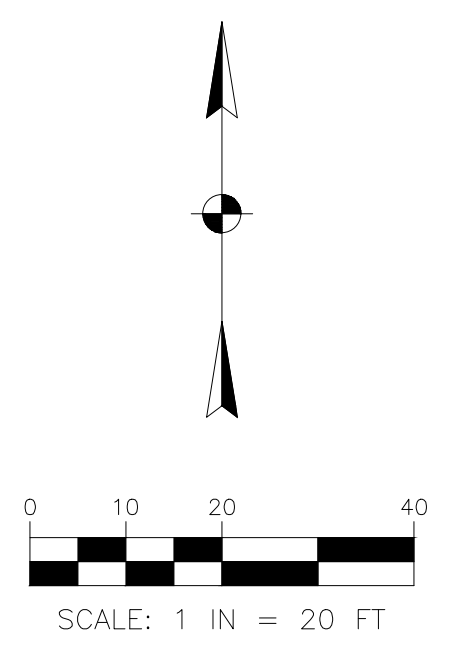


**LEGEND**

	EX CATCH BASIN		PR MANHOLE
	EX CURB AND GUTTER INLET		PR CATCH BASIN
	EX STORM MANHOLE		PR CURB/GUTTER INLET
	EX SANITARY MANHOLE		PR STRUCTURE NUMBER
	EX STORM STRUCTURE NUMBER		PR LIGHT POLE
	EX SANITARY STRUCTURE NUMBER		
	PR CONTOUR		
	PR FLOW ARROW		
	PR SURFACE SLOPE		
	PR SPOT ELEVATION		
	PR FLUSH CURB ELEVATION (0" CURB HEIGHT)		
	MATCH EXISTING ELEVATION		
	TOP OF CASTING ELEVATION		
	HIGH POINT ELEVATION		

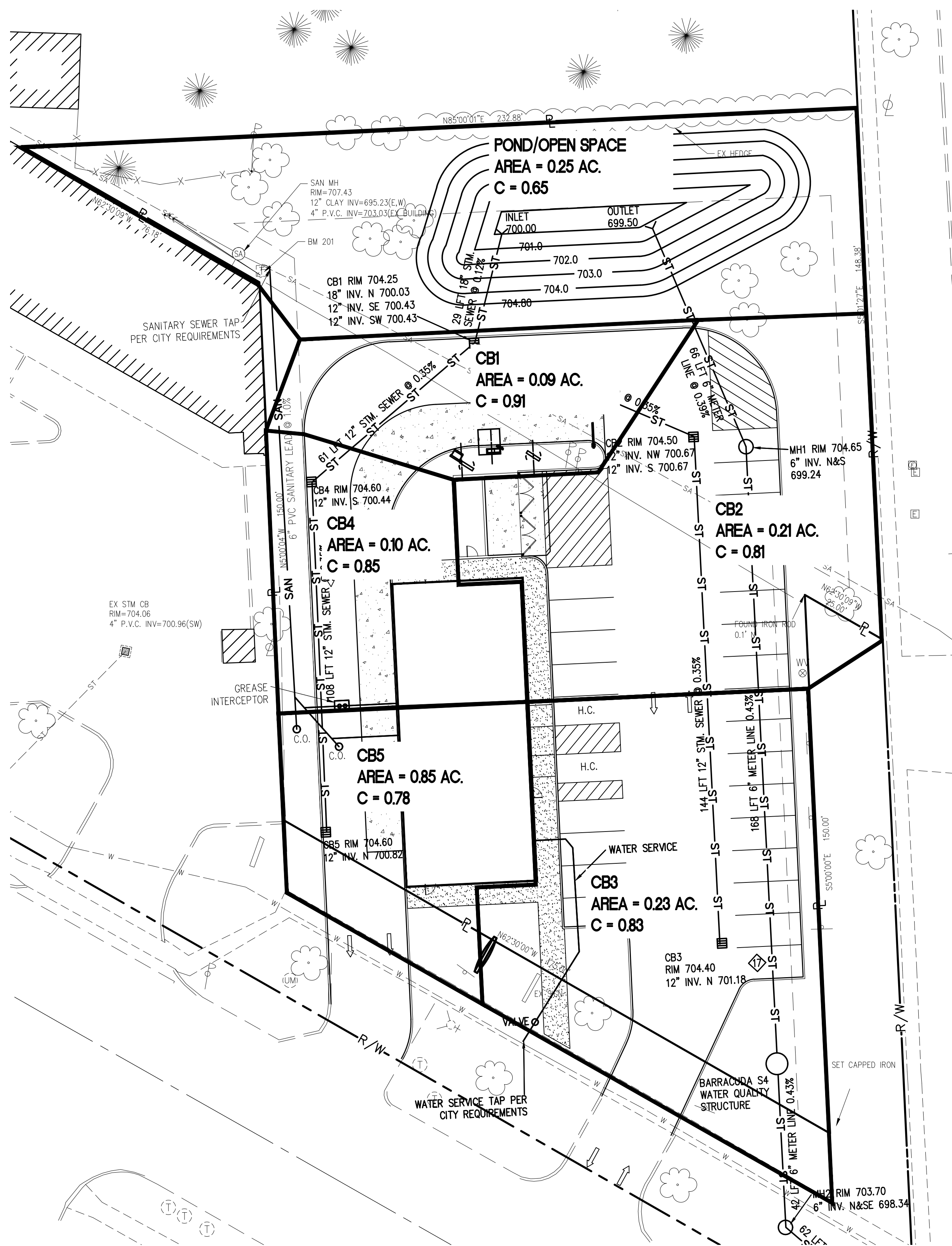
- NOTES**
1. ALL SPOT ELEVATIONS PROVIDED ARE AT THE EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
  2. ADD 0.5' TO PAVEMENT SPOT TO DETERMINE TOP OF CURB ELEVATION UNLESS OTHERWISE NOTED.
  3. THE CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN ESTABLISHING ALL GRADES AND SLOPES IN PAVEMENT AREAS, RAMPS AND SIDEWALKS IN THE VICINITY OF HANDICAP PARKING. ACCESS AREAS SHALL COMPLY WITH FEDERAL, STATE AND LOCAL CODES. SLOPES NOT TO EXCEED 2% IN ANY DIRECTION.
  4. THE CONTRACTOR SHALL PROVIDE FOR POSITIVE DRAINAGE IN ALL AREAS. PAVEMENT SHALL BE TESTED FOR ANY PONDING CONDITIONS FOLLOWING CONSTRUCTION.
  5. CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING AROUND EXISTING UTILITIES. COORDINATE ANY RELOCATION WITH RESPECTIVE UTILITY OWNER.
  6. EXISTING SIDEWALK PANELS ALONG GRAND RIVER AVENUE REVIEWED DURING CONSTRUCTION. ANY PANELS WITH A CROSS SLOPE EXCEEDING 2% SHALL BE REPLACED.

PRELIMINARY NOT FOR CONSTRUCTION	NO. 1 DATE 4/25/2019 BY M/M CITY OF FARMINGTON REVIEW SUPPLEMENTARY CITY OF FARMINGTON SUBMITTAL
	NO. 2 DATE 6/24/2019 BY M/M CITY OF FARMINGTON REVIEW SUPPLEMENTARY CITY OF FARMINGTON SUBMITTAL
1161 DUBLIN ROAD, SUITE 100 COLUMBUS, OH 43215 TEL: 614-422-4222 FAX: 614-422-4222	PROJECT NO. 4/25/2019 DESIGN NO. C5530029 DRAWN BY: DES CHECKED BY: R/T
	TECHNICAL SKILL: CREATIVE SPIRIT.
PREPARED FOR: <b>CARROLS CORPORATION</b> 968 JAMES STREET SYRACUSE, NY 13203	DEVELOPMENT PLAN FOR: <b>BURGER KING</b> 31806 GRAND RIVER AVENUE FARMINGTON, MICHIGAN 48336
PRELIMINARY GRADING PLAN	C300



L:\Project\Projects\4-EGS\2019\CA\EGS\2019\CA\EGS\2019\CA\EGS\2019\11-12-AM by rmanicki





**POST DEVELOPMENT SITE DATA:**  
 PAVEMENT 0.47 AC. C= 0.95  
 BUILDING 0.07 AC. C= 0.95  
 POND 0.09 AC. C= 1.00  
 GREENSPACE 0.35 AC. C= 0.45  
 TOTAL 0.98 AC. Cavg = 0.75

**STORMWATER DETENTION CALCULATIONS:**  
 AREA: 0.98 AC.  
 Cavg: 0.75  
 Qo: 0.20 CFS/AC.  
 $Qo = \frac{0.20}{(0.98)(0.75)} = 0.28 \text{ CFS}$   
 $T = -25 + \frac{6562.5}{0.28} = 153 \text{ MIN.}$   
 $Vs = \frac{10500(153) - 40(0.28)(153)}{(153+25)} = 7,311 \text{ CFT/AC.}$   
 $Vr = (7,611)(0.75)(0.98) = 6,116 \text{ CFT}$   
 VOLUME PROVIDED: 5,374 CFT.  
 HIGH WATER ELEV. = 703.80  
 1' FREEBOARD

**Storage Provided in Basin**

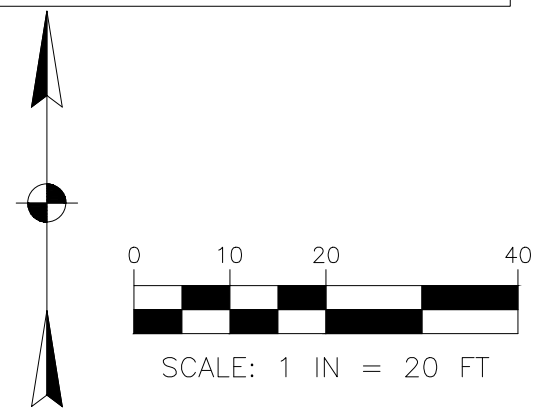
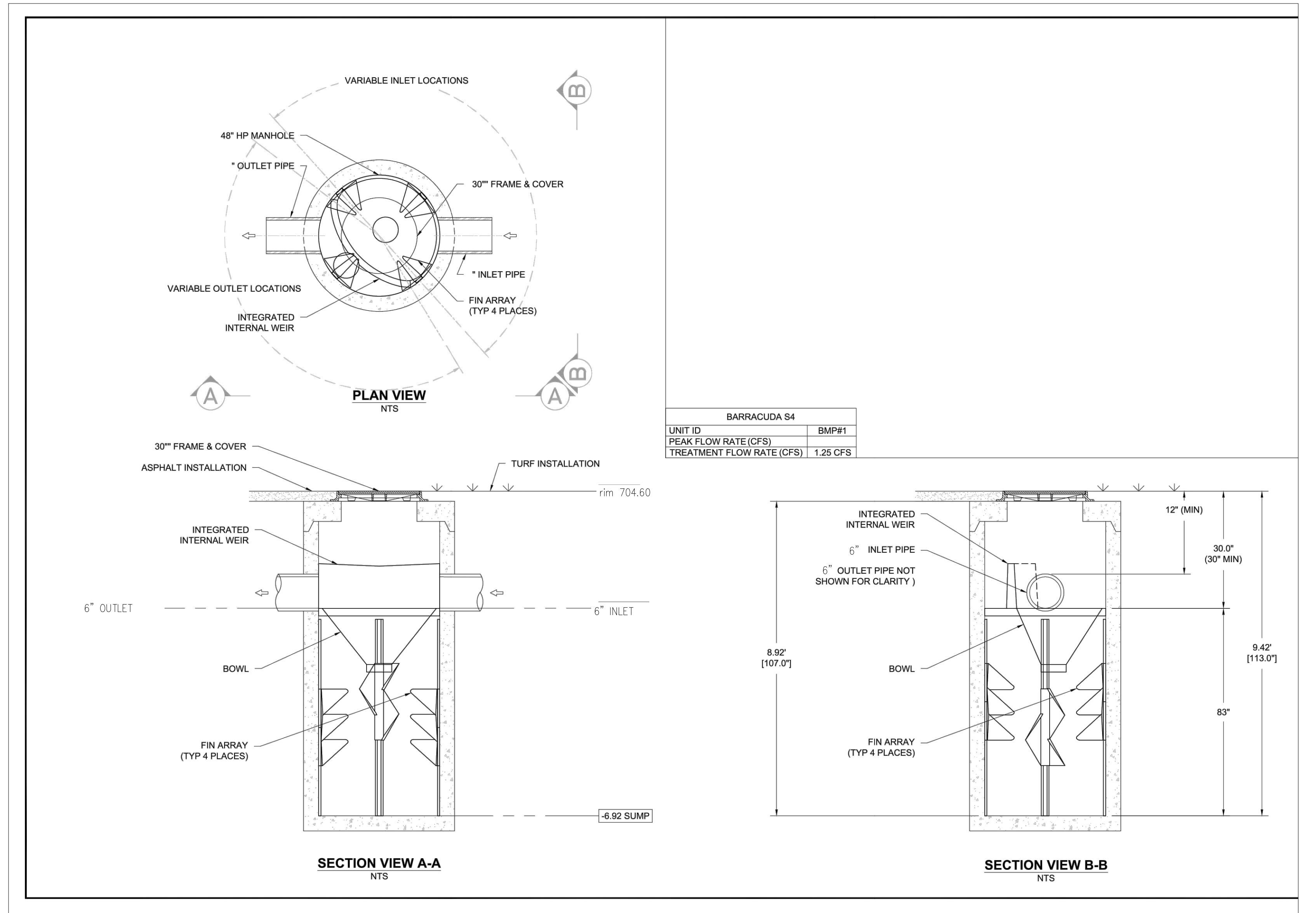
Elevation (feet)	Area (sq. ft.)	D (h (ft.))	Inc. Vol. (c.f.)	Cumulative Volume (c.f.)
700.00	286	0	0	0
701.00	802	1.00	544	544
702.00	1590	1.00	1196	1740
703.00	2440	1.00	2015	3755
704.00	3373	1.00	2907	6662
704.80	4200	0.80	3029	9691

Z10 year = 703.80

- LEGEND**
- EX CATCH BASIN
  - EX CURB AND GUTTER INLET
  - EX STORM MANHOLE
  - EX SANITARY MANHOLE
  - EX STORM STRUCTURE NUMBER
  - EX SANITARY STRUCTURE NUMBER
  - EX WATER METER
  - EX FIRE HYDRANT
  - EX POWER/LIGHT POLE
  - EX GAS METER
  - EX STORM
  - EX SANITARY
  - EX FORCE MAIN
  - EX UNDERGROUND ELECTRIC
  - EX WATER
  - EX FIBER OPTIC CABLE
  - EX OVERHEAD ELECTRIC
  - PR MANHOLE
  - PR CATCH BASIN
  - PR CURB/GUTTER INLET
  - PR CLEANOUT
  - PR STRUCTURE NUMBER
  - PR LIGHT POLE

STARTING TIME =	15.00	10 YEAR STORM =	175
MANNING'S "n" =	0.013	T+25.00	

FROM MH#	TO MH#	INCR. AREA	RUN-OFF COEF.	EQUIV. AREA	TOTAL EQUIV. AREA	TIME (MIN.)	I	FLOW	PIPE CAP. FULL	PIPE DIA.	PIPE LEN.	SLOPE PIPE (%)	SLOPE FOR FULL FLOW (%)	VEL. (FT./S.)	TIME (MIN.)	PIPE INVERT EL. UPPER END	PIPE INVERT EL. LOWER END	UPPER RIM ELEV.
CB3	CB2	0.23	0.83	0.19	0.19	15.00	4.38	0.84	2.11	12	144	0.35	0.05	2.69	0.89	701.18	700.67	704.40
CB2	CB1	0.21	0.81	0.17	0.36	15.89	4.28	1.54	2.11	12	68	0.35	0.19	2.69	0.42	700.67	700.43	704.50
CB1	INLET	0.09	0.91	0.08	0.60	16.31	4.24	2.54	3.65	18	29	0.12	0.06	2.06	0.23	700.03	700.00	704.25
CB5	CB4	0.10	0.78	0.08	0.08	15.00	4.38	0.34	2.11	12	108	0.35	0.01	2.69	0.67	700.81	700.43	704.60
CB4	CB1	0.10	0.85	0.08	0.16	15.67	4.30	0.68	2.11	12	61	0.35	0.04	2.69	0.38	700.43	700.23	704.60
outlet	MH1	0.00	0.00	0.00	0.00	15.00	4.38	0.28	0.35	6	66	0.39	0.25	1.79	0.61	699.50	699.24	699.50
MH1	S4	0.00	0.00	0.00	0.00	15.00	4.38	0.28	0.37	6	168	0.43	0.25	1.88	1.49	699.24	698.52	704.65
S4	MH2	0.00	0.00	0.00	0.00	15.00	4.38	0.28	0.37	6	42	0.43	0.25	1.88	0.37	698.52	698.34	704.60
MH2	EXIST.	0.00	0.00	0.00	0.00	15.00	4.38	0.28	0.37	6	62	0.43	0.25	1.88	0.55	698.34	698.07	703.70



PRELIMINARY STORM SEWER DESIGN  
 C401

DEVELOPMENT PLAN FOR  
**BURGER KING**  
 31806 GRAND RIVER AVENUE  
 FARMINGTON, MICHIGAN 48336

PREPARED FOR:  
**CARROLLS CORPORATION**  
 988 JAMES STREET  
 SYRACUSE, NY 13203

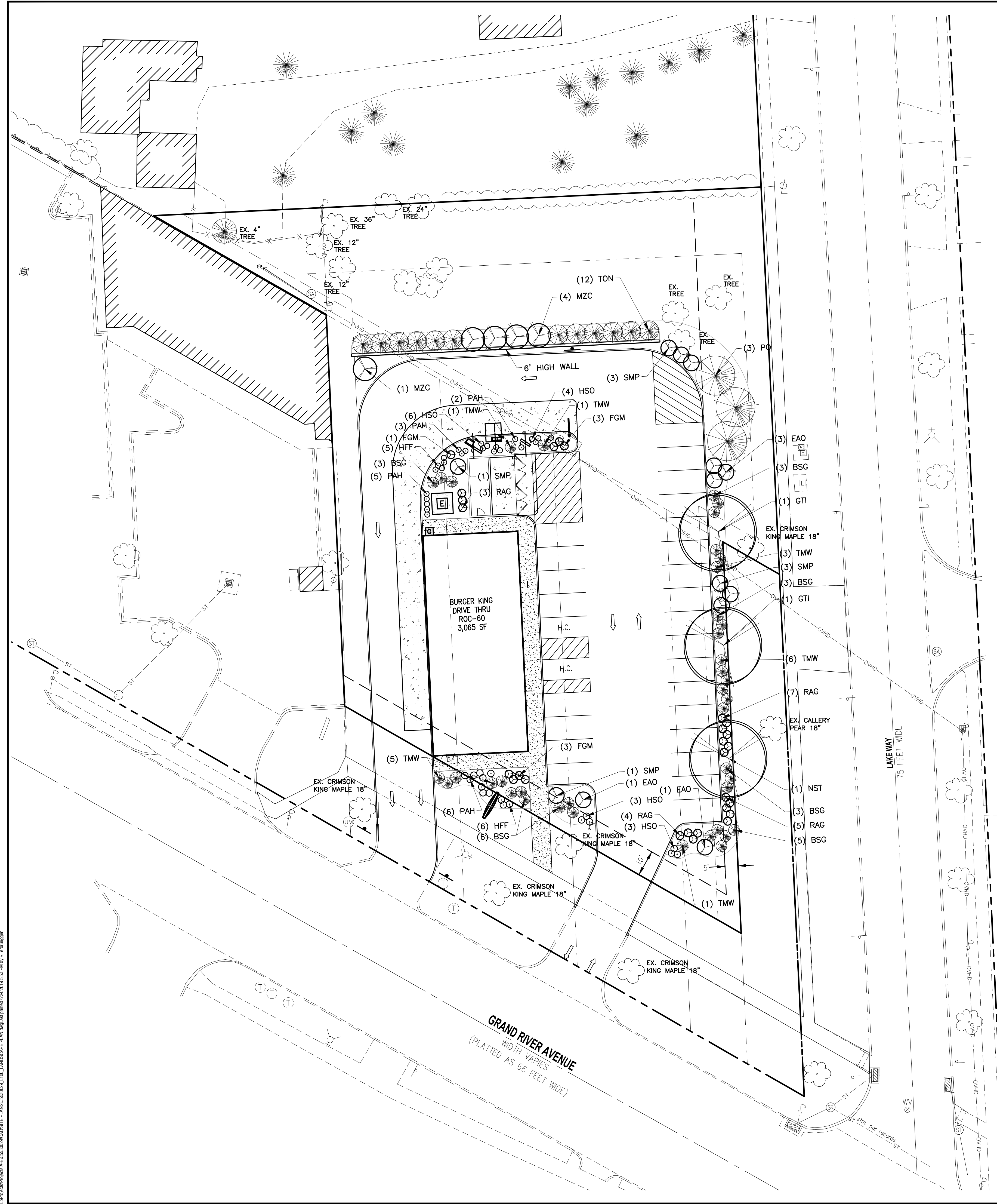
TECHNICAL SKILL:  
**CREATIVE SPIRIT.**  
**Mannik Smith Group**  
 www.MannikSmithGroup.com

DESCRIPTION:  
 CITY OF FARMINGTON REVIEW  
 SUPPLEMENTARY CITY OF FARMINGTON SUBMITTAL

NO.	DATE	BY	DESCRIPTION
1	4/25/2019	NMM	CITY OF FARMINGTON REVIEW
2	6/24/2019	NMM	SUPPLEMENTARY CITY OF FARMINGTON SUBMITTAL

PROJECT NO: 4/25/2019  
 PROJECT DATE: 4/25/2019  
 DRAWN BY: CS530059  
 CHECKED BY: DES RJT

L:\Project\190814\_48336\Burger King\DWG\190814\_48336\_Burger King Storm Sewer Design.dwg  
 11/13/2019 11:13 AM by: kcc

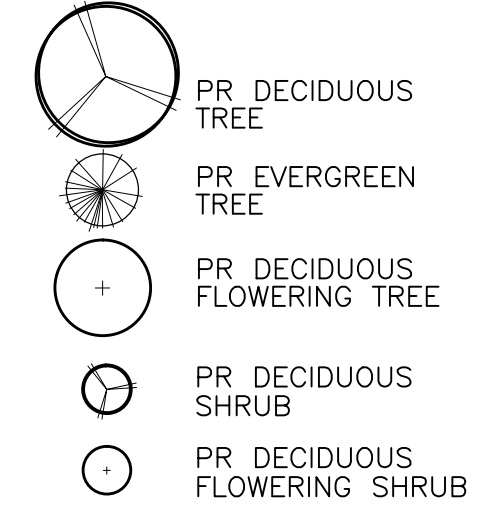


**LANDSCAPE PLANT LIST**

ABRV.	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	REMARKS
GTI	2	GLEDTISIA TRI. 'IMPERIAL'	IMPERIAL HONEY LOCUST	2-1/2" CAL.	B&B
NST	1	NYSSA SYLVATICA 'TUPELO TOWER'	TUPELO TOWER BLACK GUM	2-1/2" CAL.	B&B
TON	11	THUJA OCCIDENTALIS 'NIGRA'	NIGRA ARBORVITAE	8' HT'	B&B
MZC	5	MALUS ZUMI 'CALOCARPA'	ZUMI CRABAPPLE	2" CAL.	B&B
PO	3	PICEA OMORIKA	SERBIAN SPRUCE	7' HT'	B&B

ABRV.	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	REMARKS
HFF	11	HOSTIA FURTUNEII 'FRANCEE'	FRANCEE HOSTA	2 GALLON	CONTAINER
HSD	16	HEMORCALLIS SP 'STELLA D'ORO'	STELLA D'ORO DAYLILY	2 GALLON	CONTAINER
EAO	5	EUONYMUS ALATUS 'ODOM'	LITTLE MOSES BURNING BUSH	30" HT.	B&B
FGM	8	FOTHERGILLA GARDENII 'MOUNT AIRY'	MOUNT AIRY DWARF FOTHERGILLA	2 GALLON	CONTAINER
RAG	19	RIBES ALPINUM 'GREEN MOUND'	GREEN MOUND ALPINE CURRANT	24" HT.	B&B
PAH	16	PENNISETUM ALOPECUROIDES 'HAMELN'	DWARF FOUNTAIN GRASS	2 GALLON	CONTAINER
SMP	8	SYRINGA MEYERII 'PALUBINIANA'	DWARF KOREAN LILAC	36" HT.	B&B
BSG	24	BUXUS X SEMPERVIRENS 'GREEN GEM'	GREEN GEM BOXWOOD	18" SPRD.	B&B (EVRGN.)
TMW	17	TAXUS MEDIA 'WARDII'	WARDS JAPANESE YEW	18" SPRD.	B&B

**LEGEND**



**LANDSCAPE IRRIGATION SYSTEM NOTES**

LANDSCAPE CONTRACTOR TO PROVIDE DESIGN AND INSTALLATION OF A LANDSCAPE IRRIGATION SYSTEM WITH COVERS THE ENTIRE SITE PROPERTY. LAWN, TREES AND LANDSCAPE BEDS SHALL BE IRRIGATED ON SEPARATE ZONES. IRRIGATION SYSTEM SHALL INCLUDE A SMART ELECTRONIC CONTROLLER WITH WEATHER SENSOR, RAIN DELAY SEASONAL ADJUST AND WATER BUDGET FEATURES. A SEPARATE IRRIGATION METER AND BACKFLOW PREVENTOR PER CITY REQUIREMENTS AND ANY PERMITS SHALL BE INCLUDED. PROVIDE COMPLETE IRRIGATION DESIGN DRAWINGS AND SPECS FOR OWNER REVIEW PRIOR TO INSTALLATION. A COMPLETE SINGLE SOURCE IRRIGATION SYSTEM FROM HUNTER, RAINBIRD AND TORO WILL ONLY BE ACCEPTED.

**LANDSCAPE PLANTING NOTES**

**TOPSOIL**  
LANDSCAPE CONTRACTOR TO PROVIDE 4" OF TOPSOIL IN LAWN AREAS AND 12" OF TOPSOIL IN LANDSCAPE BED AREAS.

**MULCH**  
LANDSCAPE CONTRACTOR TO PROVIDE 3" OF DOUBLE PROCESSED SHREDDED MULCH AROUND ALL PLANTS AND IN LANDSCAPE BEDS.

**METAL EDGING**  
LANDSCAPE CONTRACTOR TO PROVIDE 1/8" X 4" PERMALOC (OR APPROVED EQUAL) ALUMINUM METAL LANDSCAPE BED EDGING AROUND ALL INDIVIDUAL PLANTS AND LANDSCAPE BEDS NOT ADJACENT CURB OR PAVEMENT.

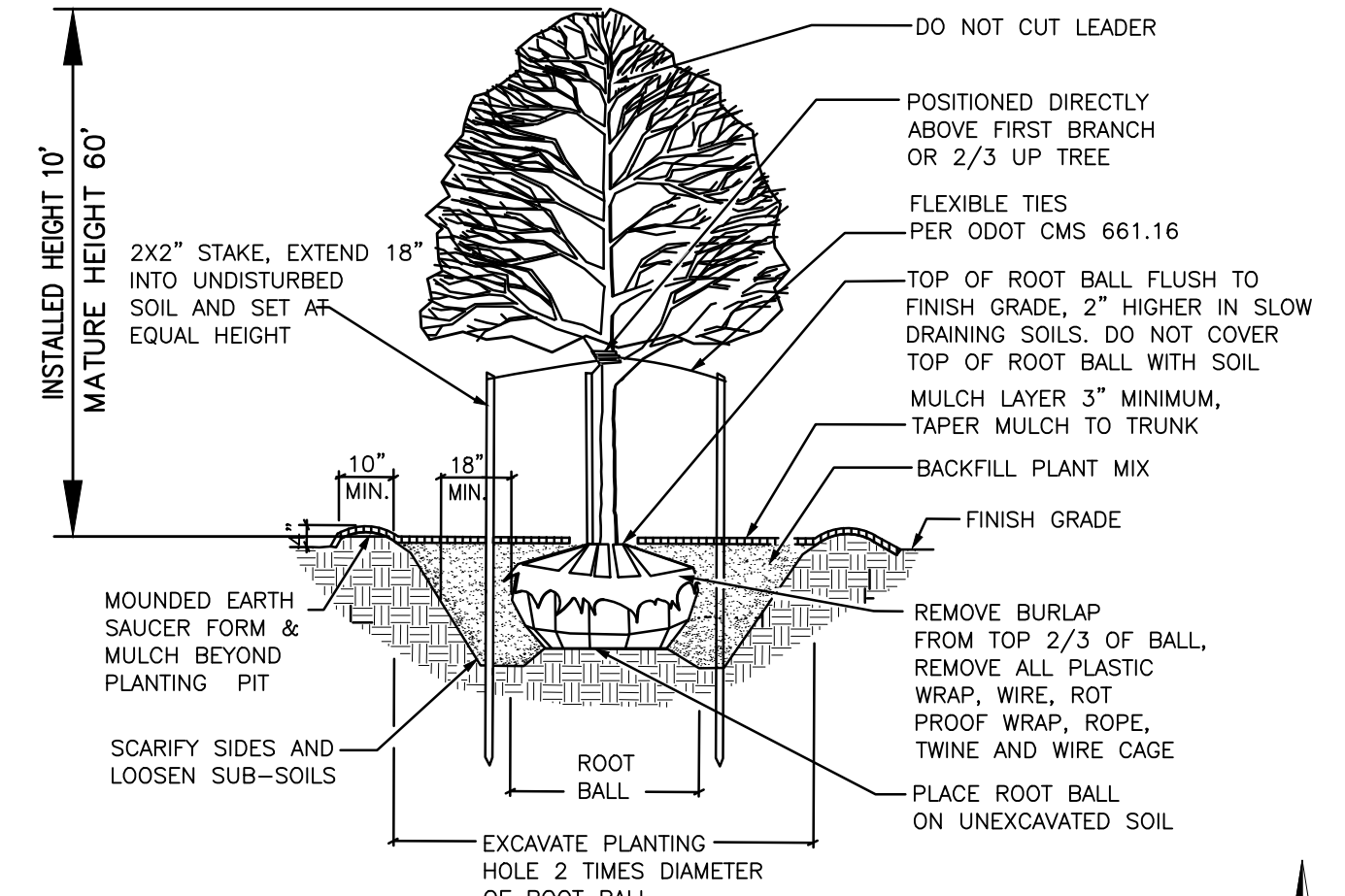
**LANDSCAPE REQUIREMENTS**

**INCENTIVES FOR PRESERVING EXISTING VEGETATION (ART. 15 SEC. 35-183.C)**  
CREDIT FOR TREE PRESERVATION SHALL BE APPLIED AT THE FOLLOWING RATE:  
GREATER THAN 12 INCHES: TWO (2) TREES.  
LESS THAN 11.9 INCHES: ONE (1) TREE.  
PROVIDED: COUNT (2) EX. 18" CRIMSON KING MAPLE ADJACENT OR IN GREENBELT FOR GRANDRIVER FRONTAGE GREENBELT TREES.  
PROVIDED: COUNT (1) EX. 18" CRIMSON KING MAPLE & (1) EX. CALERY PEAR ALONG FOR LAKE WAY FRONTAGE GREENBELT TREES.

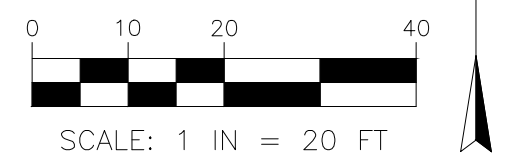
**INTERIOR LANDSCAPE (ART. 15 SEC. 35-184.A)**  
ALL AREAS NOT COVERED BY BUILDINGS, PARKING AREAS, DRIVEWAYS, PEDESTRIAN PATHWAYS AND OTHER PEDESTRIAN IMPERVIOUS SURFACES, SIGNS, WATER SURFACES AND ESSENTIAL SERVICES SHALL INCLUDE ONLY LIVING PLANT MATERIAL AND PLANTING BEDS.  
PROVIDED: INTERIOR LANDSCAPING AS SHOWN.

**FRONTAGE LANDSCAPE (ART. 15 SEC. 35-184.B)**  
THE WIDTH OF THE GREENBELT BETWEEN THE PARKING LOT AND THE RIGHT-OF-WAY SHALL BE EQUAL TO AT LEAST TEN (10) FEET. THE GREENBELT SHALL CONTAIN A MINIMUM OF ONE (1) CANOPY TREE AND SIX (6) SHRUBS PER THIRTY (30) LINEAR FEET, OR FRACTION THEREOF, OF ROAD FRONTAGE INCLUDING ANY OPENINGS FOR DRIVEWAYS, PATHWAYS OR EASEMENTS. A HEDGEROW WITH UPRIGHT SHRUBS PLANTED FOUR (4) FEET TO FIVE (5) FEET ON CENTER ALONG THE ENTIRE ROAD FRONTAGE MAY ALSO BE UTILIZED. ORNAMENTAL TREES MAY BE USED TO DIVERSIFY GREENBELT PLANTING REQUIREMENTS, PROVIDED TWO (2) ORNAMENTAL TREES SHALL BE PROVIDED FOR EACH ONE (1) REQUIRED CANOPY TREE.  
REQUIRED (GRANDRIVER AVENUE): 65' PARKING LOT FRONTAGE = 3 TREES + 18 SHRUBS. PROVIDED: (5) EX (18") TREES = (4) REQUIRED + 18 SHRUBS.  
REQUIRED (LAKE WAY): 183' PARKING LOT FRONTAGE = 7 TREES + 42 SHRUBS. PROVIDED: (2) EX. TREES = 4 REQUIRES + 3 DECIDUOUS TREES + 3 EVERGREEN TREES + 37 SHRUBS.

**BUFFER ZONES (ART. 15 SEC. 35-184.C)**  
A BUFFER SHALL BE PROVIDED BETWEEN THE SUBJECT SITE AND ALL ADJACENT PROPERTIES AS FOLLOWS:  
1. MULTIPLE-FAMILY DISTRICT OR USE ADJACENT TO SINGLE-FAMILY RESIDENTIAL DISTRICT OR USE  
2. INSTITUTIONAL USES ADJACENT TO ANY RESIDENTIAL DISTRICT OR USE  
3. COMMERCIAL AND OFFICE DISTRICT OR USE ADJACENT TO ANY RESIDENTIAL DISTRICT OR USE.  
REQUIRED: 4' WALL AND LANDSCAPING ALONG NORTH PROPERTY LINE. PROVIDED: 4' WALL AND LANDSCAPING ALONG NORTH CURB LINE AS SHOWN.



**DECIDUOUS TREE PLANTING DETAIL**



DEVELOPMENT PLAN FOR **BURGER KING** LANDSCAPE PLAN L100

PREPARED FOR: **CARROLS CORPORATION**  
31806 GRAND RIVER AVENUE  
FARMINGTON, MICHIGAN 48336

TECHNICAL SKILL: **Mannik Smith GROUP** CREATIVE SPIRIT: **Mannik Smith GROUP**  
www.MannikSmithGroup.com

DATE: 4/25/2019  
BY: MAM  
CITY OF FARMINGTON REVIEW: SUPPLEMENTARY CITY OF FARMINGTON SUBMITTAL

NO: 1  
DESCRIPTION: 160 DUBLIN ROAD, SUITE 100 COLUMBUS, OH 43215  
TEL: 614.441.4222  
FAX: 614.441.4222  
PROJECT NO: 4/25/2019  
DESIGNER: C5530029  
DRAWN BY:  
CHECKED BY:

**PRELIMINARY NOT FOR CONSTRUCTION**



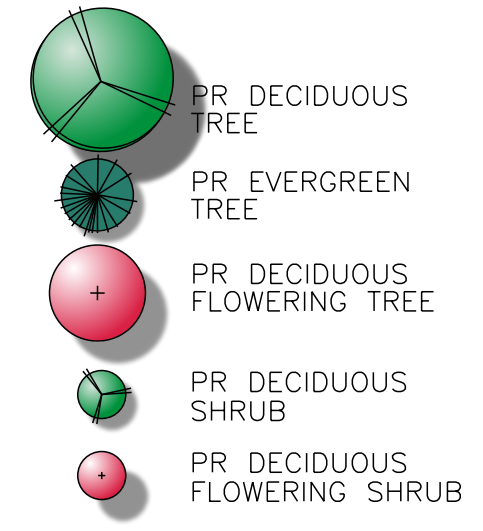


**LANDSCAPE PLANT LIST**

TREES							
ABRV.	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	REMARKS		
GTI	2	GLEDTISIA TRI. INERMIS 'IMPERIAL'	IMPERIAL HONEY LOCUST	2-1/2" CAL.	B&B		
NST	1	NYSSA SYLVATICA 'TUPELO TOWER'	TUPELO TOWER BLACK GUM	2-1/2" CAL.	B&B		
TON	11	THUJA OCCIDENTALIS 'NIGRA'	NIGRA ARBORVITAE	8" HT	B&B		
MZC	5	MALUS ZUMI 'CALOCARPA'	ZUMI CRABAPPLE	2" CAL.	B&B		
PO	3	PICEA OMORIKA	SERBIAN SPRUCE	7" HT	B&B		

SHRUBS AND PERENNIALS							
ABRV.	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	REMARKS		
HFF	11	HOSTIA FURTUNEII 'FRANCEE'	FRANCEE HOSTIA	2 GALLON	CONTAINER		
HSD	16	HEMORCALLIS SP 'STELLA D'ORO'	STELLA D'ORO DAYLILY	2 GALLON	CONTAINER		
EAO	5	EUONYMUS ALATUS 'ODOM'	LITTLE MOSES BURNING BUSH	30" HT.	B&B		
FGM	8	FOTHERGILLA GARDENII 'MOUNT AIRY'	MOUNT AIRY DWARF FOTHERGILLA	2 GALLON	CONTAINER		
RAG	19	RIBES ALPINUM 'GREEN MOUND'	GREEN MOUND ALPINE CURRANT	24" HT.	B&B		
PAH	16	PENNISETUM ALOPECUROIDES 'HAMELN'	DWARF FOUNTAIN GRASS	2 GALLON	CONTAINER		
SMP	8	SYRINGA MEYERII 'PALIBINIANA'	DWARF KOREAN LILAC	36" HT.	B&B		
BSG	24	BUXUS X SEMPERVIRENS 'GREEN GEM'	GREEN GEM BOXWOOD	18" SPRD.	B&B (EVRGN.)		
TMW	17	TAXUS MEDIA 'WARDII'	WARDS JAPANESE YEW	18" SPRD.	B&B		

**LEGEND**



**LANDSCAPE IRRIGATION SYSTEM NOTES**

LANDSCAPE CONTRACTOR TO PROVIDE DESIGN AND INSTALLATION OF A LANDSCAPE IRRIGATION SYSTEM WITH COVERS THE ENTIRE SITE PROPERTY. LAWNS, TREES AND LANDSCAPE BEDS SHALL BE IRRIGATED ON SEPARATE ZONES. IRRIGATION SYSTEM SHALL INCLUDE A SMART ELECTRONIC CONTROLLER WITH WEATHER SENSOR, RAIN DELAY SEASONAL ADJUST AND WATER BUDGET FEATURES. A SEPARATE IRRIGATION METER AND BACKFLOW PREVENTOR PER CITY REQUIREMENTS AND ANY PERMITS SHALL BE INCLUDED. PROVIDE COMPLETE IRRIGATION DESIGN DRAWINGS AND SPECS FOR OWNER REVIEW PRIOR TO INSTALLATION. A COMPLETE SINGLE SOURCE IRRIGATION SYSTEM FROM HUNTER, RAINBIRD AND TORO WILL ONLY BE ACCEPTED.

**LANDSCAPE PLANTING NOTES**

**TOPSOIL**  
LANDSCAPE CONTRACTOR TO PROVIDE 4" OF TOPSOIL IN LAWN AREAS AND 12" OF TOPSOIL IN LANDSCAPE BED AREAS.

**MULCH**  
LANDSCAPE CONTRACTOR TO PROVIDE 3" OF DOUBLE PROCESSED SHREDDED MULCH AROUND ALL PLANTS AND IN LANDSCAPE BEDS.

**METAL EDGING**  
LANDSCAPE CONTRACTOR TO PROVIDE 1/8" X 4" PERMALOC (OR APPROVED EQUAL) ALUMINUM METAL LANDSCAPE BED EDGING AROUND ALL INDIVIDUAL PLANTS AND LANDSCAPE BEDS NOT ADJACENT CURB OR PAVEMENT.

**LANDSCAPE REQUIREMENTS**

**INCENTIVES FOR PRESERVING EXISTING VEGETATION (ART. 15 SEC. 35-183.C)**  
CREDIT FOR TREE PRESERVATION SHALL BE APPLIED AT THE FOLLOWING RATE:  
GREATER THAN 12 INCHES: TWO (2) TREES.  
LESS THAN 11.9 INCHES: ONE (1) TREE.  
PROVIDED: COUNT (2) EX. 18" CRIMSON KING MAPLE ADJACENT OR IN GREENBELT FOR GRANDRIVER FRONTAGE GREENBELT TREES.  
PROVIDED: COUNT (1) EX. 18" CRIMSON KING MAPLE & (1) EX. CALERY PEAR ALONG FOR LAKE WAY FRONTAGE GREENBELT TREES.

**INTERIOR LANDSCAPE (ART. 15 SEC. 35-184.A)**  
ALL AREAS NOT COVERED BY BUILDINGS, PARKING AREAS, DRIVEWAYS, PEDESTRIAN PATHWAYS AND OTHER PEDESTRIAN IMPERVIOUS SURFACES, SIGNS, WATER SURFACES AND ESSENTIAL SERVICES SHALL INCLUDE ONLY LIVING PLANT MATERIAL AND PLANTING BEDS. PROVIDED: INTERIOR LANDSCAPING AS SHOWN.

**FRONTAGE LANDSCAPE (ART. 15 SEC. 35-184.B)**  
THE WIDTH OF THE GREENBELT BETWEEN THE PARKING LOT AND THE RIGHT-OF-WAY SHALL BE EQUAL TO AT LEAST TEN (10) FEET. THE GREENBELT SHALL CONTAIN A MINIMUM OF ONE (1) CANOPY TREE AND SIX (6) SHRUBS PER THIRTY (30) LINEAR FEET, OR FRACTION THEREOF, OF ROAD FRONTAGE INCLUDING ANY OPENINGS FOR DRIVEWAYS, PATHWAYS OR EASEMENTS. A HEDGEROW WITH UPRIGHT SHRUBS PLANTED FOUR (4) FEET TO FIVE (5) FEET ON CENTER ALONG THE ENTIRE ROAD FRONTAGE MAY ALSO BE UTILIZED. ORNAMENTAL TREES MAY BE USED TO DIVERSIFY GREENBELT PLANTING REQUIREMENTS, PROVIDED TWO (2) ORNAMENTAL TREES SHALL BE PROVIDED FOR EACH ONE (1) REQUIRED CANOPY TREE.  
REQUIRED (GRANDRIVER AVENUE): 65' PARKING LOT FRONTAGE = 3 TREES + 18 SHRUBS. PROVIDED: (5) EX (18") TREES = (4) REQUIRED + 18 SHRUBS.  
REQUIRED (LAKE WAY): 183' PARKING LOT FRONTAGE = 7 TREES + 42 SHRUBS. PROVIDED: (2) EX. TREES = 4 REQUIRES + 3 DECIDUOUS TREES + 3 EVERGREEN TREES + 37 SHRUBS.

**BUFFER ZONES (ART. 15 SEC. 35-184.C)**  
A BUFFER SHALL BE PROVIDED BETWEEN THE SUBJECT SITE AND ALL ADJACENT PROPERTIES AS FOLLOWS:  
1. MULTIPLE-FAMILY DISTRICT OR USE ADJACENT TO SINGLE-FAMILY RESIDENTIAL DISTRICT OR USE  
2. INSTITUTIONAL USES ADJACENT TO ANY RESIDENTIAL DISTRICT OR USE  
3. COMMERCIAL AND OFFICE DISTRICT OR USE ADJACENT TO ANY RESIDENTIAL DISTRICT OR USE.  
REQUIRED: 4' WALL AND LANDSCAPING ALONG NORTH PROPERTY LINE. PROVIDED: 4' WALL AND LANDSCAPING ALONG NORTH CURB LINE AS SHOWN.

**WASTE RECEPTACLES, MECH. EQUIP. AND UTIL. SCREENING (ART. 15 SEC. 35-184.F)**  
NECESSARY SITE ELEMENTS SUCH AS WASTE RECEPTACLES AND GROUND-MOUNTED AND BUILDING-MOUNTED MECHANICAL EQUIPMENT SUCH AS AIR CONDITIONER UNITS, UTILITY BOXES AND OTHER SIMILAR COMPONENTS SHALL BE APPROPRIATELY SCREENED WITH PLANT MATERIAL WHERE APPROPRIATE AS DETERMINED BY THE PLANNING COMMISSION OR BUILDING OFFICIAL. SCREENS SHALL INCLUDE A WALL, WOOD FENCING OR COMBINATION OF PLANTINGS OF SUFFICIENT HEIGHT, LENGTH, AND OPACITY TO FORM A VISUAL BARRIER. IF THE SCREEN IS COMPOSED OF NONLIVING MATERIAL, SUCH MATERIAL SHALL BE COMPATIBLE WITH MATERIALS USED IN CONSTRUCTION OF THE MAIN BUILDING, BUT IN NO CASE SHALL INCLUDE WIRE FENCING.  
PROVIDED:

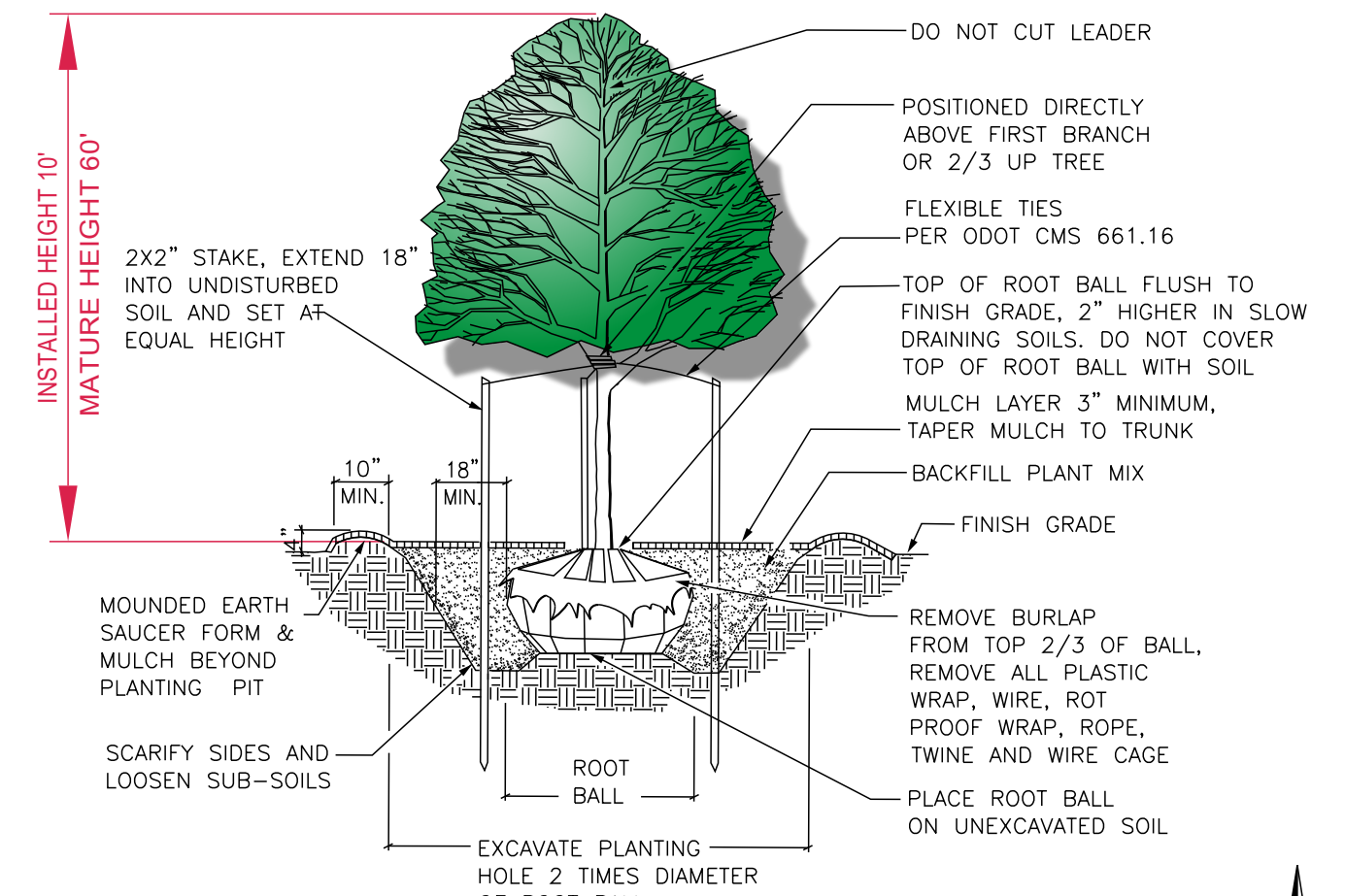
**MINIMUM SIZES AND SPACING (ART. 15 SEC. 35-185.B)**  
PROVIDE MINIMUM SIZES AND SPACES PER TABLE FOR SCREENING LANDSCAPE PLANTS AND TREES.  
PROVIDED:

**MIXING OF SPECIES (ART. 15 SEC. 35-185.C)**  
THE OVERALL LANDSCAPE PLAN SHALL NOT CONTAIN MORE THAN THIRTY-THREE (33) PERCENT OF ANY ONE (1) PLANT SPECIES. THE USE OF NATIVE SPECIES AND MIXTURE OF TREES FROM THE SAME SPECIES ASSOCIATION IS STRONGLY ENCOURAGED.  
PROVIDED: AS REQUIRED.

**PLANTING BEDS (ART. 15 SEC. 35-185.E)**  
BARK USED AS MULCH SHALL BE MAINTAINED AT A MINIMUM OF TWO (2) INCHES DEEP. PLANTING BEDS SHALL BE EDGED WITH EITHER PLASTIC OR METAL EDGING IN RESIDENTIAL DISTRICTS AND METAL EDGING IN ALL OTHER ZONING DISTRICTS.  
PROVIDED: SEE LANDSCAPE NOTES ABOVE.

**TOPSOIL (ART. 15 SEC. 35-185.F)**  
TOPSOIL SHALL CONSIST OF A FOUR-INCH BASE FOR LAWN AREAS AND AN EIGHT-INCH TO TWELVE-INCH BASE WITHIN PLANTING BEDS.  
PROVIDED: SEE LANDSCAPE NOTES ABOVE.

**IRRIGATION (ART. 15 SEC. 35-186.C)**  
ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN UNDERGROUND IRRIGATION SYSTEM. ALTERNATE MEANS OF IRRIGATION THAT REDUCE POTABLE WATER CONSUMPTION FOR IRRIGATION SHALL BE PERMITTED SUCH AS CAPTURED RAINWATER OR RECYCLED WASTEWATER.  
PROVIDED: SEE LANDSCAPE IRRIGATION SYSTEM NOTES ABOVE.



**DECIDUOUS TREE PLANTING DETAIL**



DESCRIPTION: CITY OF FARMINGTON REVIEW SUPPLEMENTARY CITY OF FARMINGTON SUBMITTAL

DATE: 4/25/2019

BY: MAM

NO. 1

160 DUBLIN ROAD, SUITE 100 COLUMBUS, OH 43215 TEL: 614.441.4222 FAX: 614.441.4222

PROJECT NO: 4426/2019 C5530029

DESIGN: DES

RUT

PROJECT DATE: 4/25/2019

PROJECT NO: C5530029

DESIGN: DES

DRAWN BY: [Name]

CHECKED BY: [Name]

TECHNICAL SKILL: CREATIVE SKILL

**Mannik Smith GROUP**  
www.MannikSmithGroup.com

PREPARED FOR: **CARROLLS CORPORATION**  
888 JAMES STREET  
SPRINGFIELD, NY 13203

DEVELOPMENT PLAN FOR: **BURGER KING**

31806 GRAND RIVER AVENUE  
FARMINGTON, MICHIGAN 48336

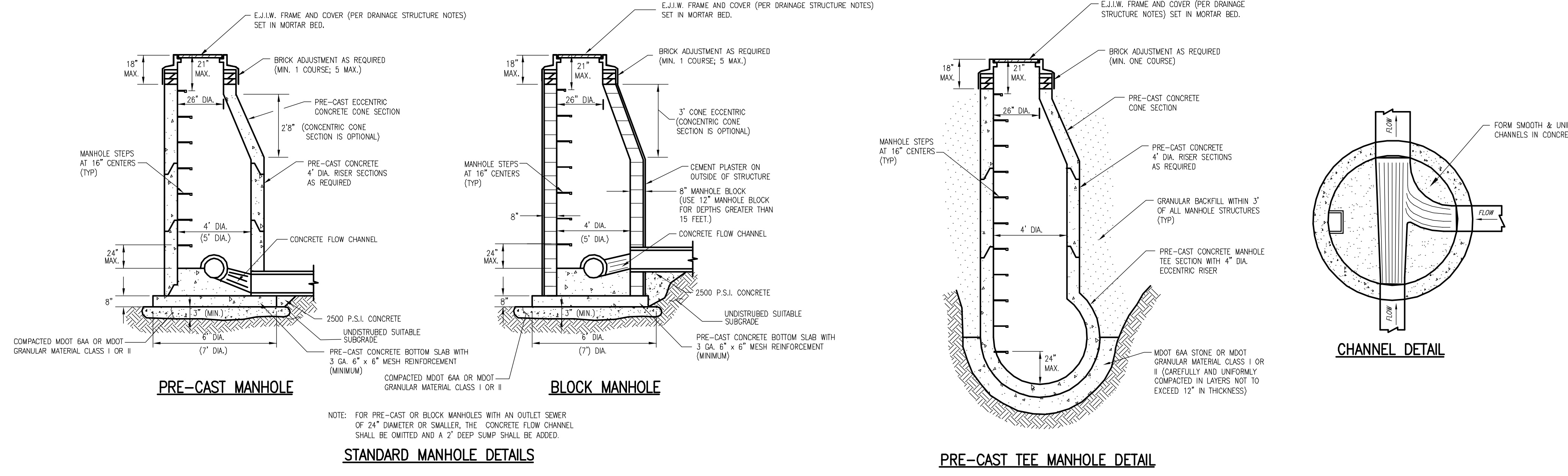
**LANDSCAPE PLAN**

L100

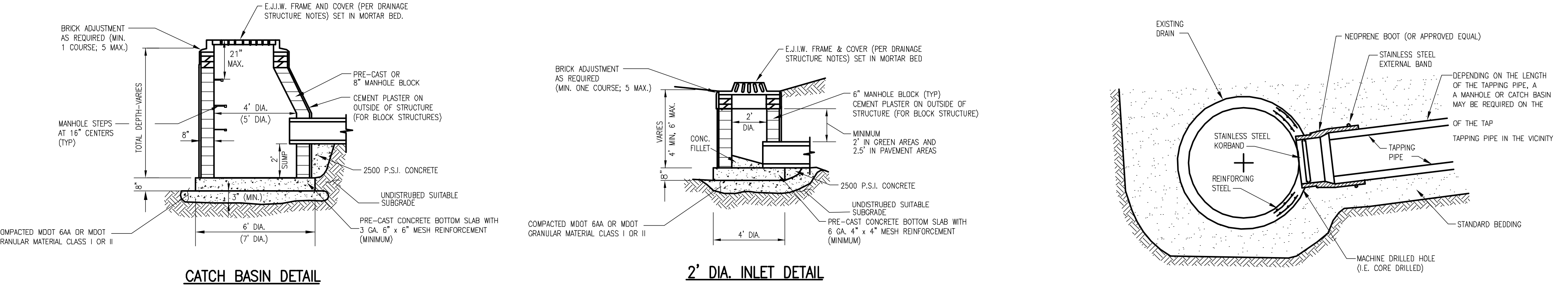


**GENERAL NOTES FOR STORM SEWER CONSTRUCTION**

- All materials and workmanship shall be in accordance with the standards and specifications of the City of Farmington.
  - Type and class of pipe shall be as specified on plans.
  - Bedding shall be used as called for on the details.
  - All end sections 18" and larger shall be provided with a galvanized bar screen.
- Contractor shall construct manholes with precast reinforced concrete in lieu of concrete, brick and block manholes in accordance with the following conditions:
  - No openings shall be made in precast units which would leave less than 12" of undisturbed precast structure wall between pipes (as measured between outside pipe walls) or would remove more than 40% of the circumference along any horizontal plane.
  - Structures for sewers larger than 18", or those not meeting the opening requirements, may be built of block or brick up to a minimum of 8" above the top of sewer, with precast units being used above this point. Where precast units rest on the block or brick, the groove in the precast unit shall be filled with mortar.
  - Openings for the outlet sewer shall be precast with a diameter of 3 inches larger than the outside diameter of the outlet pipe. All other openings shall be made in the field after the manhole has been constructed.
- All vertical openings in concrete block structure walls shall be completely filled with mortar. All vertical wall joints shall be cement pointed.
- Concrete pipe requirements:
  - The contractor shall provide reinforced concrete pipe as specified on the plans.
  - All round reinforced concrete pipe shall meet the requirements of ASTM C76 with modified grooved tongue and rubber gasket meeting the requirements of ASTM C443.
  - All elliptical reinforced concrete pipe shall meet the requirements of ASTM C507 with tongue and grooved joints with bituminous (DeWitt #10) joint material meeting the requirements of C443. Elliptical concrete pipe joints shall also be wrapped per ASTM C877 for external sealing bands for non-circular concrete pipe. In addition, elliptical concrete pipe of 42" equivalent size and larger shall require inside concrete pointing.
  - The inside joints of round pipe over 27" diameter shall be pointed with mortar upon completion of backfilling operations.
  - Where unstable ground conditions are encountered, stone bedding shall be used as directed by the Engineer in order to provide a stable foundation for pipe and manholes.
  - All pipes entering or leaving a manhole shall be adequately supported by pouring 250 psi concrete fill from undisturbed earth to springline or with approved crushed aggregate.
- HDPE pipe requirements:
  - Large diameter HDPE storm sewer may be used for underground storm water detention systems if approved by the City, depending on site conditions.
  - All HDPE storm sewer pipe that is used for underground storm water detention shall have a smooth interior.
  - HDPE pipe shall meet the requirements of ASTM M294 and D3350 with push-on type joints meeting the requirements of ASTM D3212 and F477.
- Pipe bedding and backfilling:
  - Bedding shall extend a minimum of 4" below pipe, unless otherwise noted on construction plans. Bedding shall be uniform in gradation. However, if the existing native soils meet the requirements for MDT granular material Class II (minimum 4" thick), then the storm sewer may be laid directly on the compacted native subgrade soils.
  - Backfill shall be compacted above pipe or as indicated on construction drawings. Trench backfill shall be of a suitable material and shall be free of any organic materials and rocks larger than 3" in size. Backfill shall be ramped into trench and compacted with a small dozer or other approved methods. Where trench is within a 1:1 influence of streets, alleys, sidewalks, driveways and parking areas, sand backfill shall be used which shall consist of MDT granular material Class II or III compacted in layers not to exceed 12" in thickness to a density of 95% as determined by AASHTO T99. All backfill placed within a 1:1 influence of structures shall be approved sand, placed in 1' layers and compacted. No frozen material shall be buried more than 4' below the final elevation of the ground.
  - Trenches which are to be left open overnight shall be enclosed with suitable fencing and lighted barricades, unless otherwise approved by the City.
- Sump pump lead requirements:
  - Sump pump leads shall be SDR 35, non-perforated, solid wall, PVC, ARMC0 Truss Pipe, or approved equal, with premium joints.
  - Sump collection system pipes shall be connected at drainage structures. However, if approved by the engineer, taps to 12" storm sewer may be made with a Fernco EZ Tap or approved equal. Taps to other size storm sewer may be made with a Romac saddle, KOR-N-TEE lateral connector for concrete pipe, or approved equal.
  - All sump pump leads shall be taken to the property line, easement line or as indicated on the plan.
  - Sump pump cleanouts shall be a minimum inside diameter of 24" and be constructed at changes of alignment, ends of sump pump mains or as indicated on the plan.

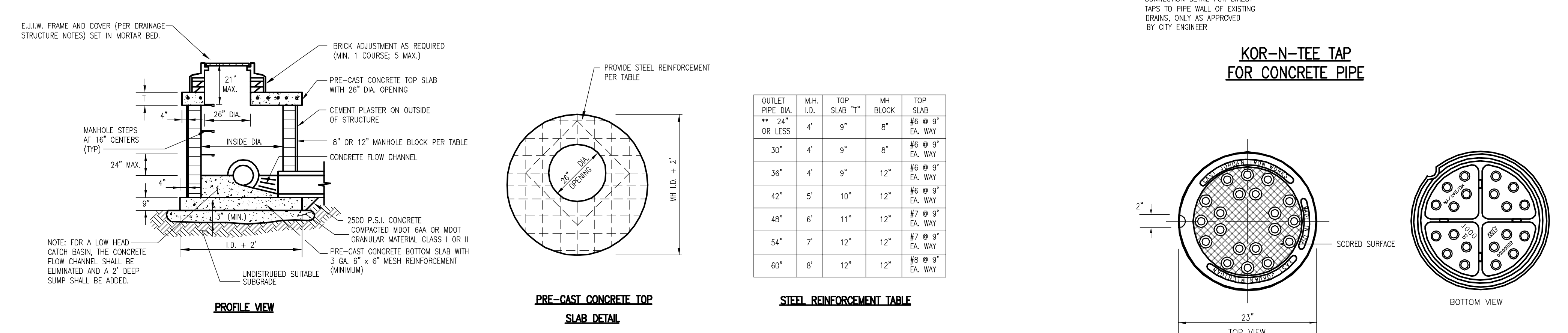


**STANDARD MANHOLE DETAILS**

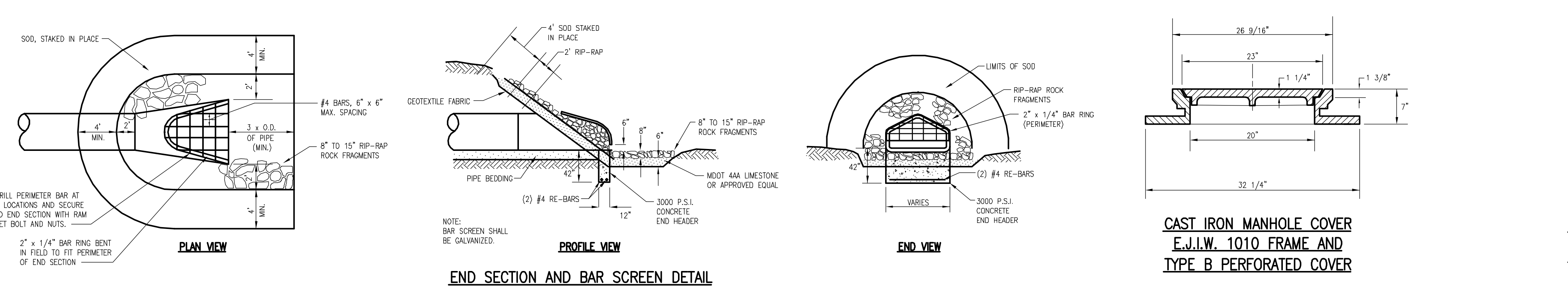


**CATCH BASIN DETAIL**

**2' DIA. INLET DETAIL**



**LOW HEAD MANHOLE AND CATCH BASIN DETAIL**

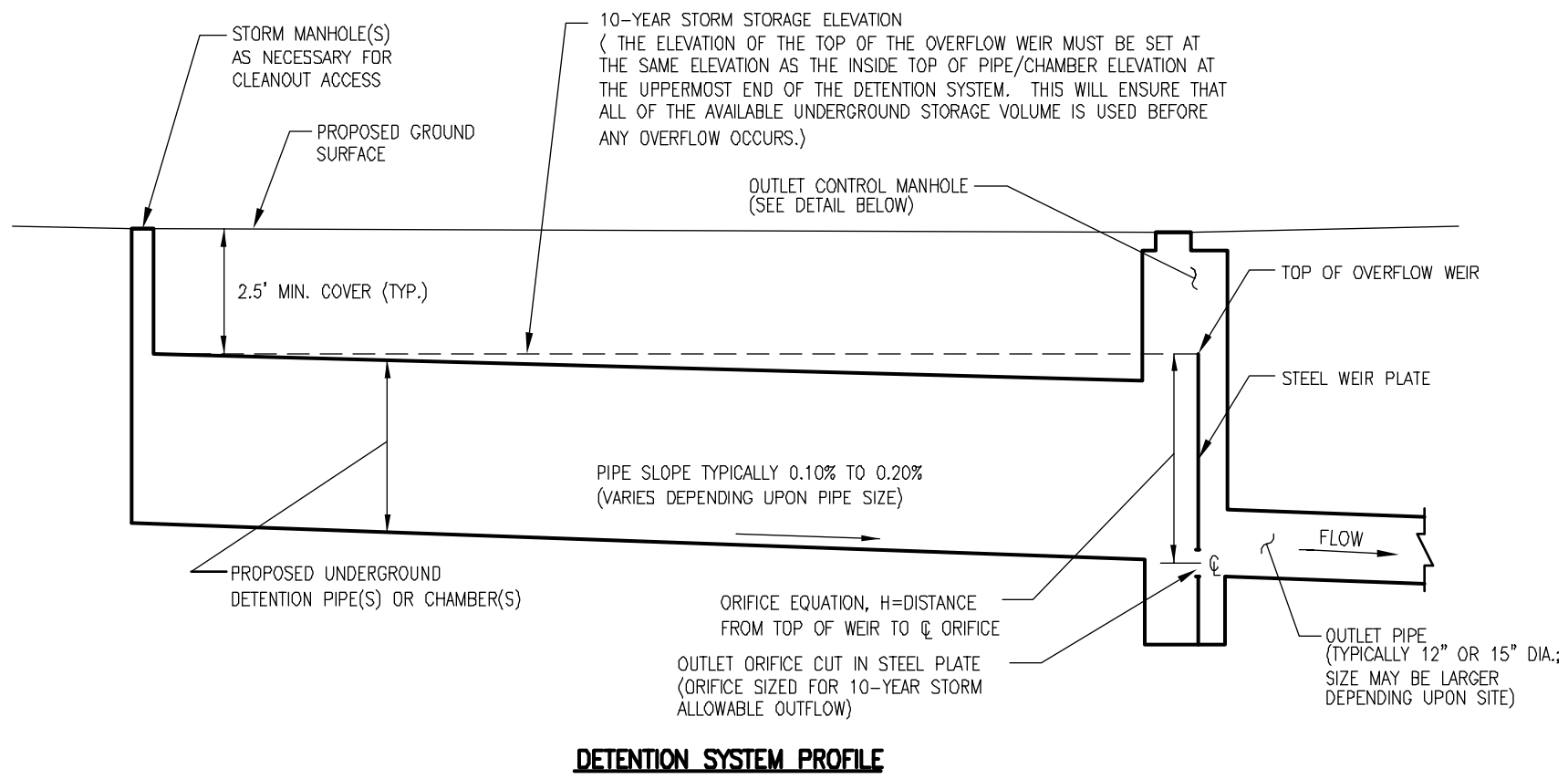


**END SECTION AND BAR SCREEN DETAIL**

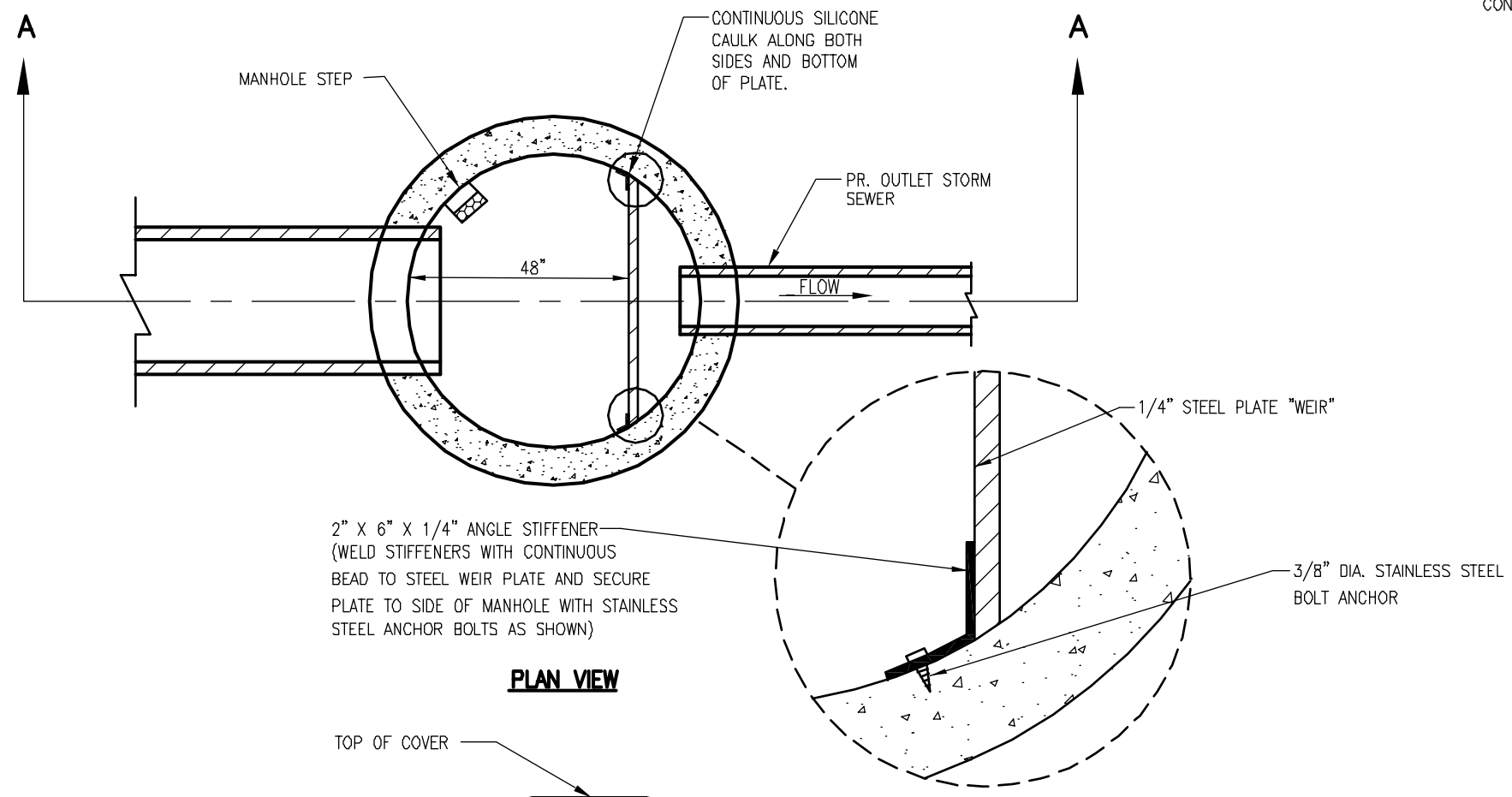
**CAST IRON MANHOLE COVER E.J.L.W. 1010 FRAME AND TYPE B PERFORATED COVER**

**DRAINAGE STRUCTURE REQUIREMENTS:**

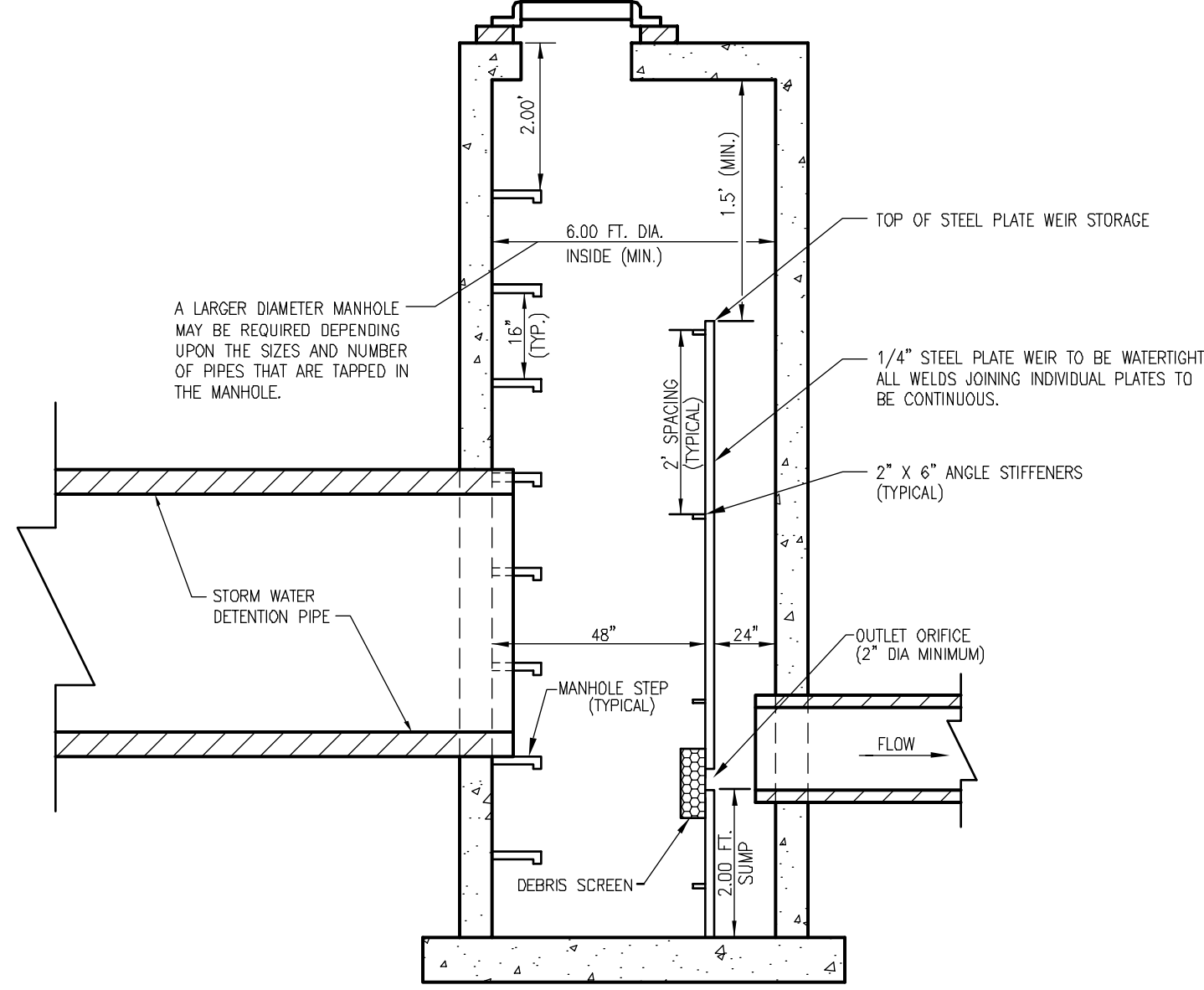
- All manholes and catch basins shall be 4' or 5' in diameter unless otherwise indicated on construction drawings. Larger diameter drainage structures (6', 7', 8', 10', 12" diameter) may be needed for large storm sewer pipe or for situations where the angles between entering pipes require a larger diameter structure in order to maintain at least 1' of structure wall between the pipes. 2' diameter inlets may be used where approved by the City Engineer.
- Manhole and catch basin steps shall be steel, encased with polypropylene plastic or approved equivalent. Acceptable steps include M.A. Industries, Inc., PSI-375 or East Jordan Iron Works 8502. Manhole steps shall be set at 16" centers.
- Manhole frame and cover shall be East Jordan Iron Works 1010, type "B" perforated cover or as per construction drawings.
- Catch Basin and inlet frame and cover shall be:
  - East Jordan Iron Works 5080, type "M2" sinusoidal cover for areas with straight face or integral curb and gutter where areas of curb inlets are needed.
  - East Jordan Iron Works 7045, type "M2" sinusoidal cover for areas with straight face or integral curb and gutter where areas of curb inlets are needed.
  - East Jordan Iron Works 1010, type "M" cover for low points in paved parking areas.
  - East Jordan Iron Works 1010, type "O1" cover (beehive) to be used in open ditches and swales.
  - East Jordan Iron Works 1010, type "N" cover (low beehive) to be used for low points in lawn areas or rear yard.
- Manhole and Catch Basin Frames shall be set in full bed of mortar and the side shall be overlapped to prevent leakage.
- A proper channel shall be constructed within the existing manhole or other structure at which the connection is to be made in order to direct the flow to the existing outlet in a manner which will tend to create the least amount of turbulence. The channel shall be constructed to the same size as the inside diameter of the existing pipes, and shall be built to height of 1/3 the existing pipe diameter with a minimum of 2% slope on the benches.
- Standard Brick Adjustment: minimum of one course and a maximum of 5 courses of brick.
  - All bricks and blocks used for adjustment shall be concrete.
  - Block used for standard catch basins and manholes shall be 8" (for 0'-15' deep) and 12" (for 15'-25' deep). Block used for 2' diameter inlets and catch basins shall be 6".
  - Precast reinforced concrete section as minimum shall conform to ASTM C-478.
  - Concrete base for manhole, catch basin, and inlet shall be MDT grade 30P (Min.), 8" thick, 3000 psi.
- Plaster all outside masonry surfaces with 1:2 1/2 masonry cement (type II) 1/2" thick.
- When tapping into an existing structure, a brick collar shall be placed 12" thick around the pipe and extended 12" beyond the opening. If pre-cast section is tapped, bend mesh and use as reinforcement with brick collar.
- All precast riser(s) shall be placed in a full bed of mortar. All joints & liftholes shall be pointed up with mortar on the outside and inside.
- Hinged bar grates will be required for headwalls per MDT standards.
  - All vertical and horizontal bars shall be tack-welded to the angle frame.
  - The bar grate screen shall be hot-dipped galvanized after fabrication is complete.



**DETENTION SYSTEM PROFILE**

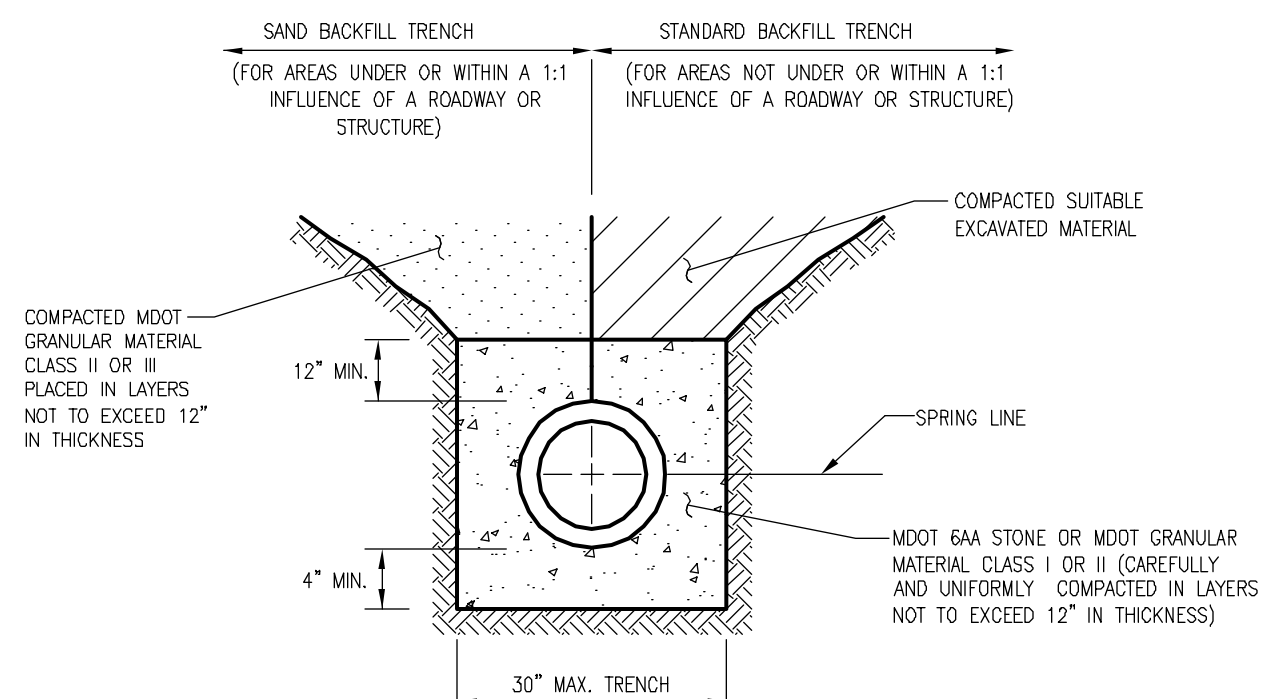


**PLAN VIEW**

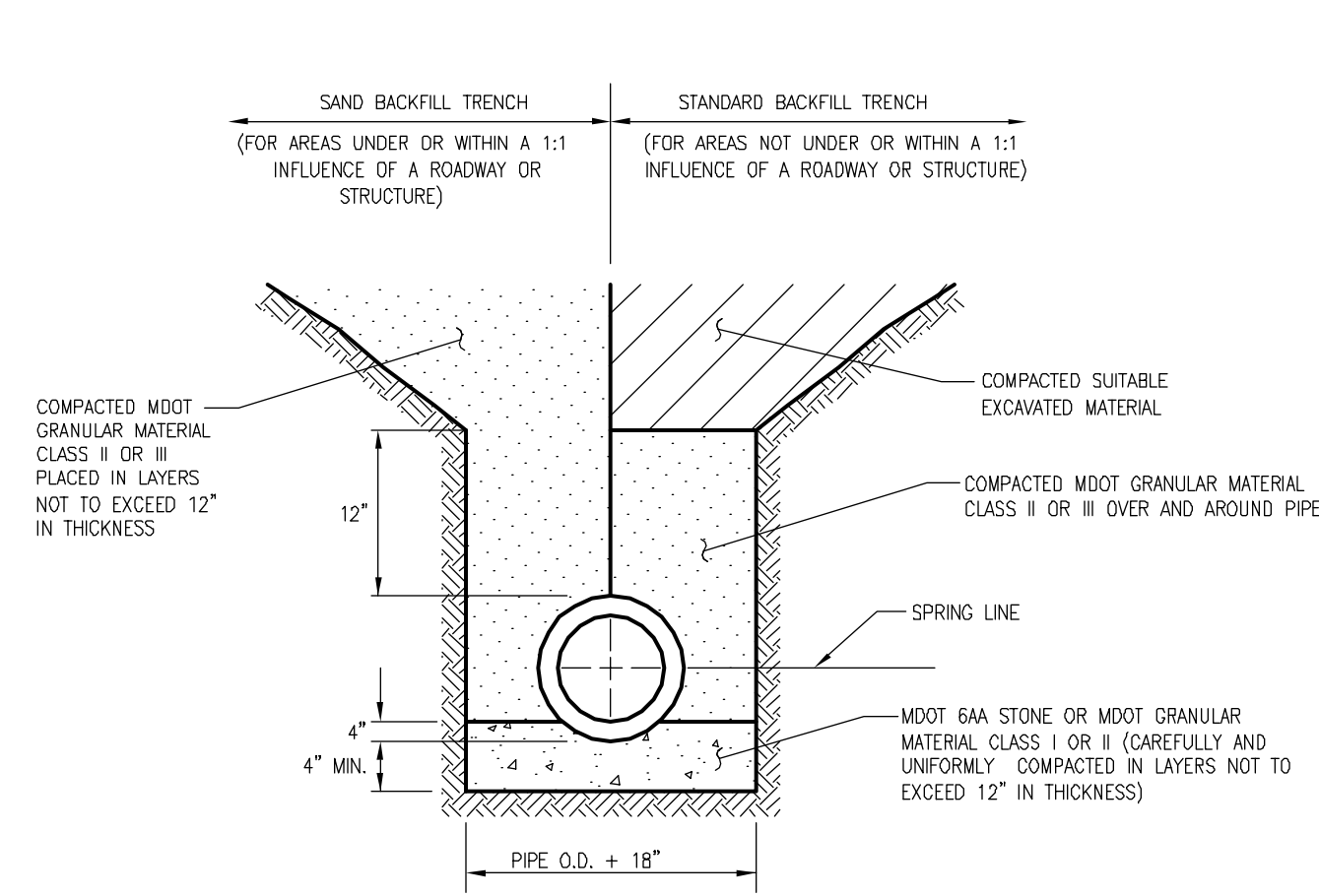


**6 FT. DIA. OUTLET MANHOLE SECTION A-A**

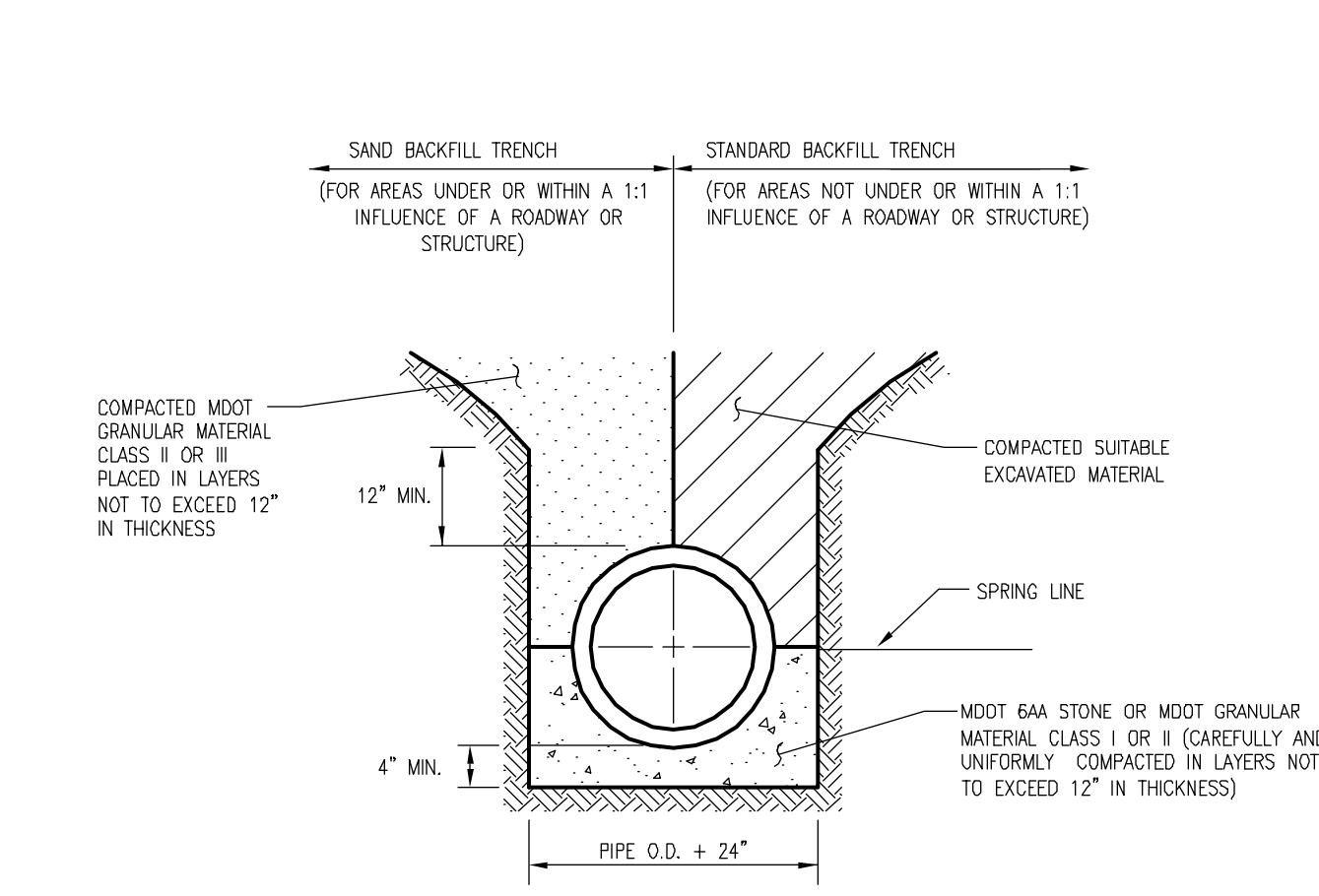
**TYPICAL UNDERGROUND DETENTION AND OUTLET MANHOLE DETAILS**



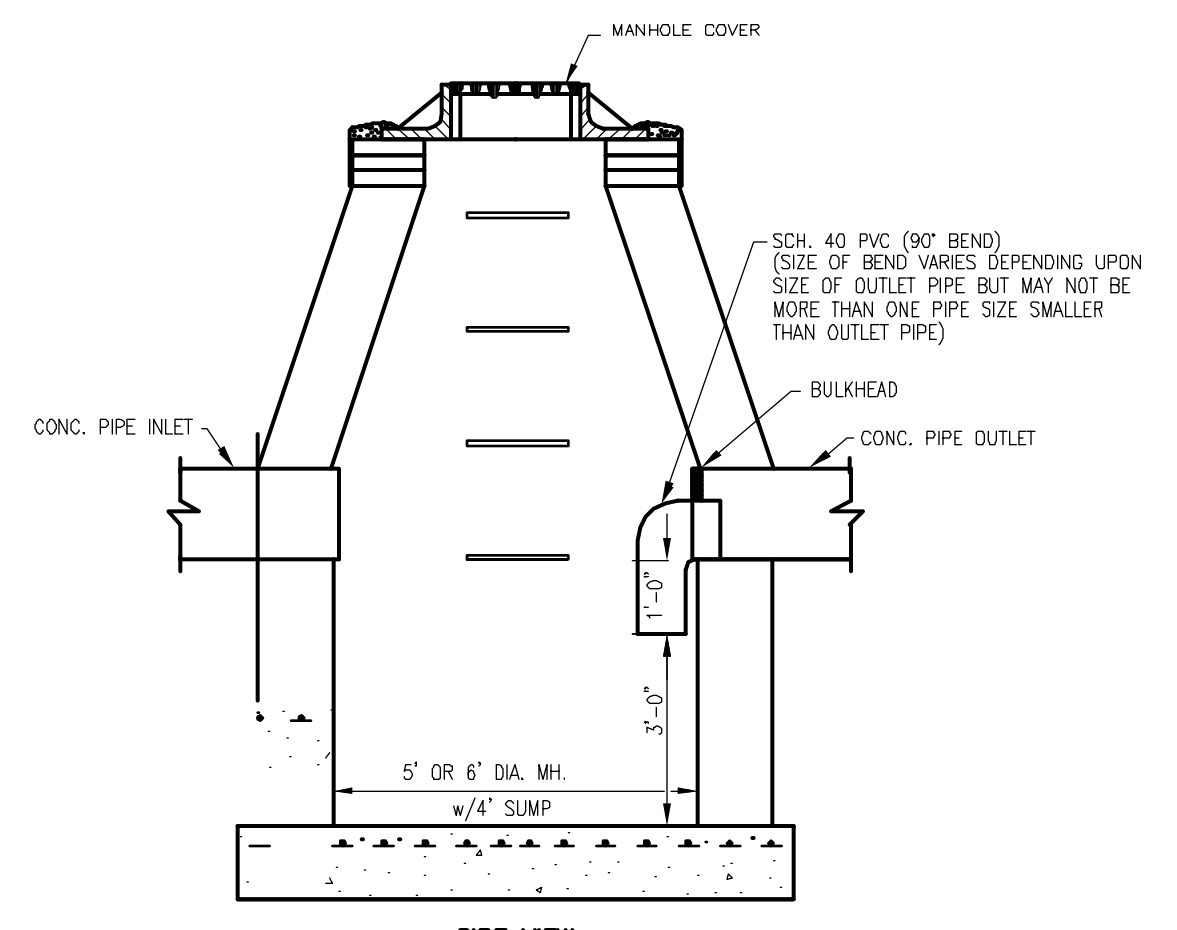
**BEDDING AND TRENCH BACKFILL DETAIL FOR 18" DIAMETER AND SMALLER PIPE (PVC AND HDPE PIPE)**



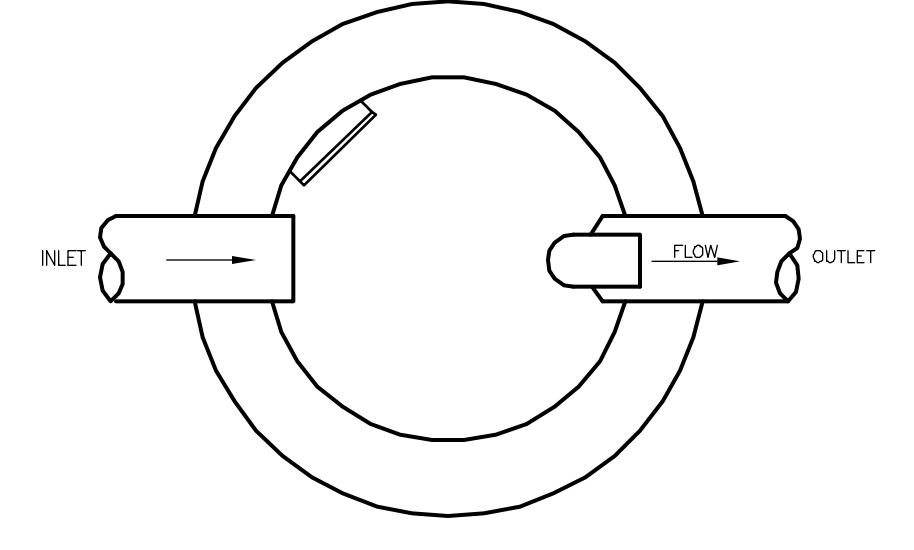
**BEDDING AND TRENCH BACKFILL DETAIL FOR 24" DIAMETER AND SMALLER PIPE (CONCRETE AND METAL PIPE)**



**BEDDING AND TRENCH BACKFILL DETAIL FOR 27" DIAMETER AND LARGER PIPE (CONCRETE AND METAL PIPE)**



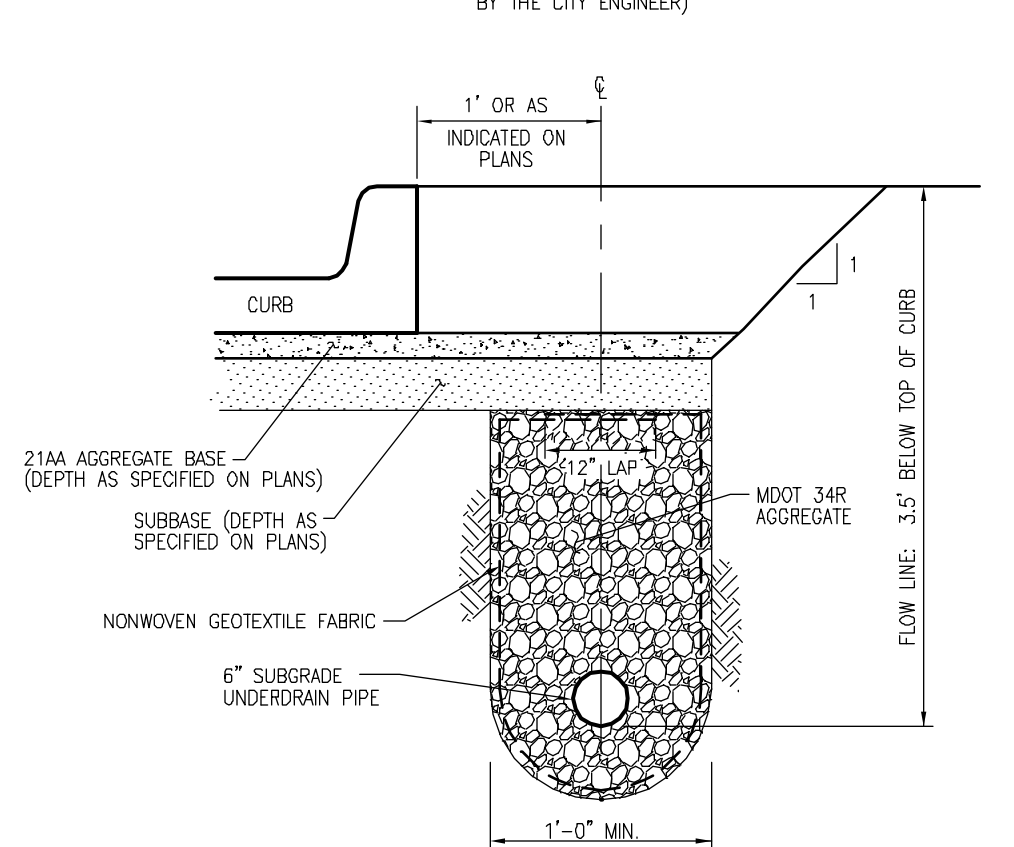
**SIDE VIEW**



**PLAN VIEW**

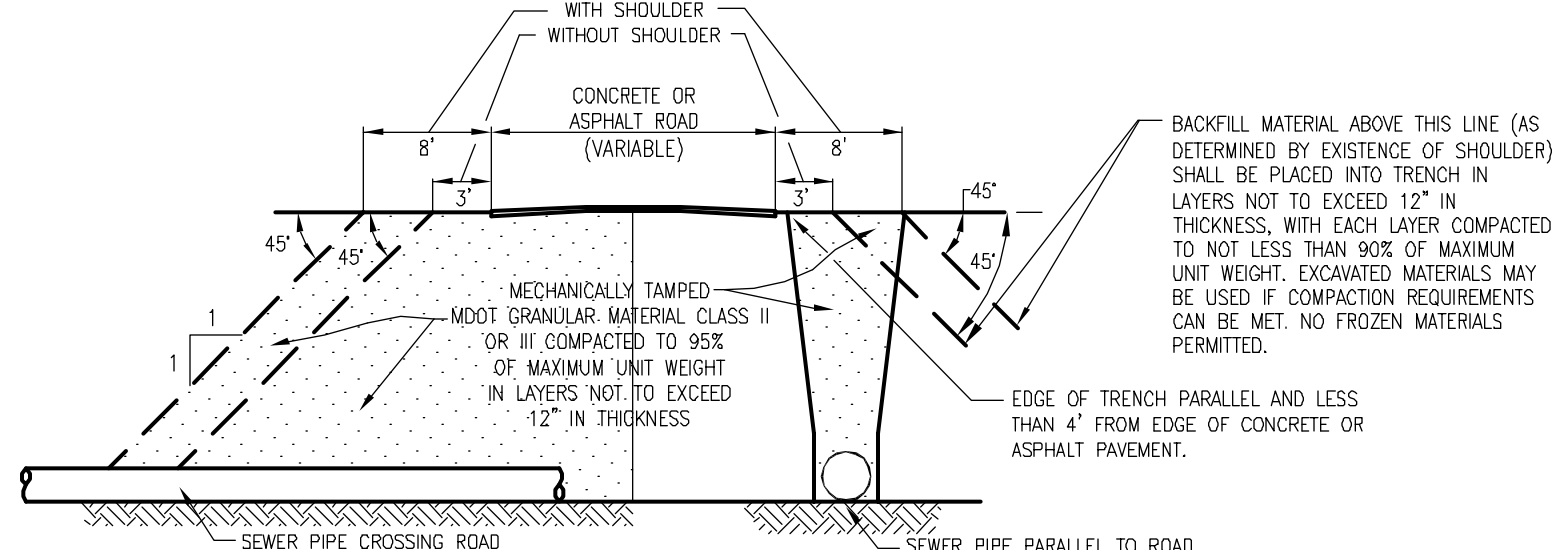
**OIL/GAS SEPARATOR PLACEMENT DETAIL FOR 18" DIAMETER AND SMALLER OUTLET PIPE**

(FOR OUTLET PIPES LARGER THAN 18" IN DIAMETER AN ALTERNATE DESIGN MUST BE APPROVED BY THE CITY ENGINEER)

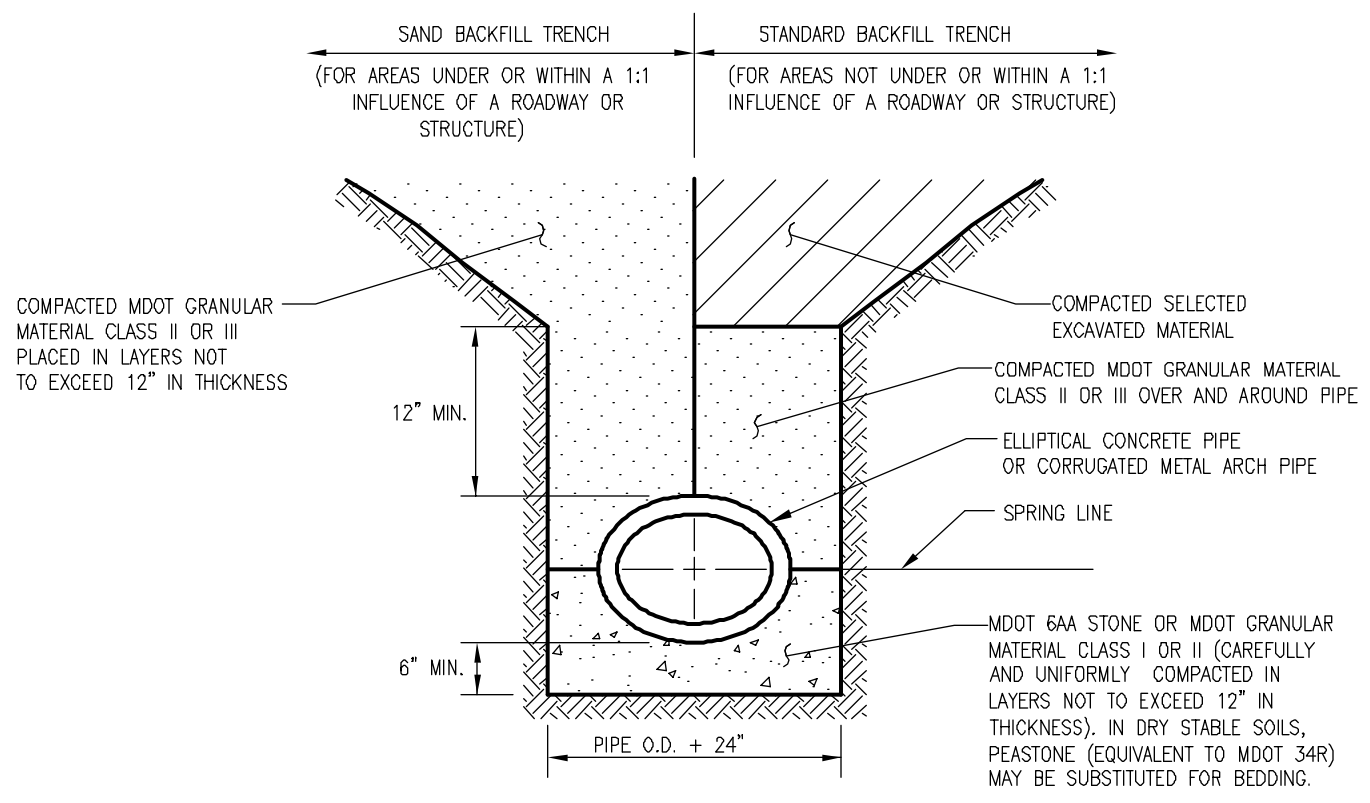


**SUBGRADE UNDERDRAIN, 6"**

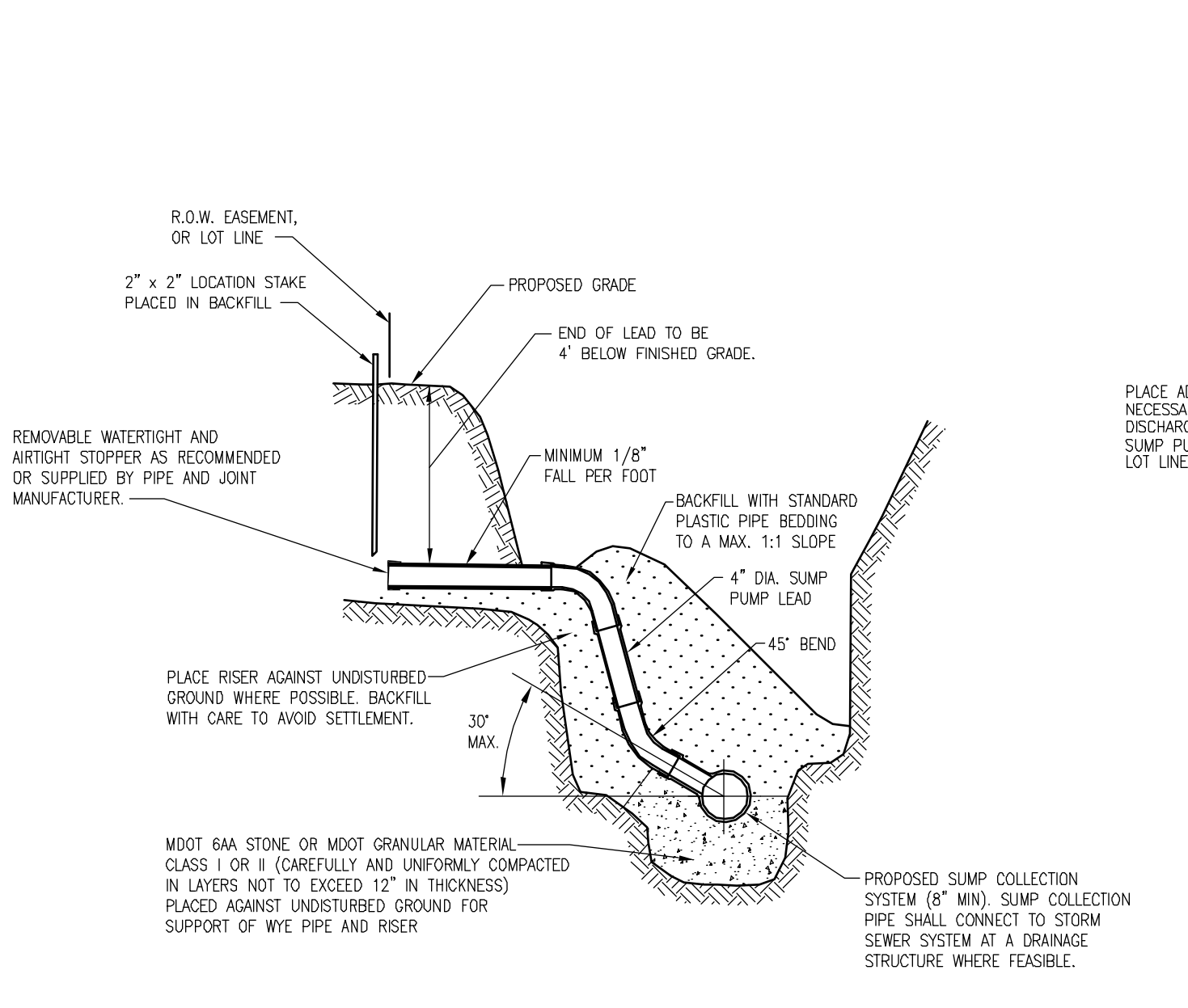
- NOTES:
1. LOCATION MAY BE ADJUSTED IN THE FIELD BY THE ENGINEER.
  2. ALL UNDERDRAIN SHALL BE APPROVED PLASTIC PIPE. METAL PIPE SHALL NOT BE USED.
  3. ALL UNDERDRAIN SHALL OUTLET TO DRAINAGE STRUCTURE.
  4. UNDERDRAIN CONNECTIONS (AT LOW POINTS) SHALL BE MADE AS CLOSE TO THE STRUCTURE INVERT AS PRACTICAL, WITH A SPIRAL WRAP OF THE STRUCTURE USED TO MAKE THE TRANSITION FROM THE REQUIRED FLOW LINE DEPTH TO STRUCTURE INVERT.



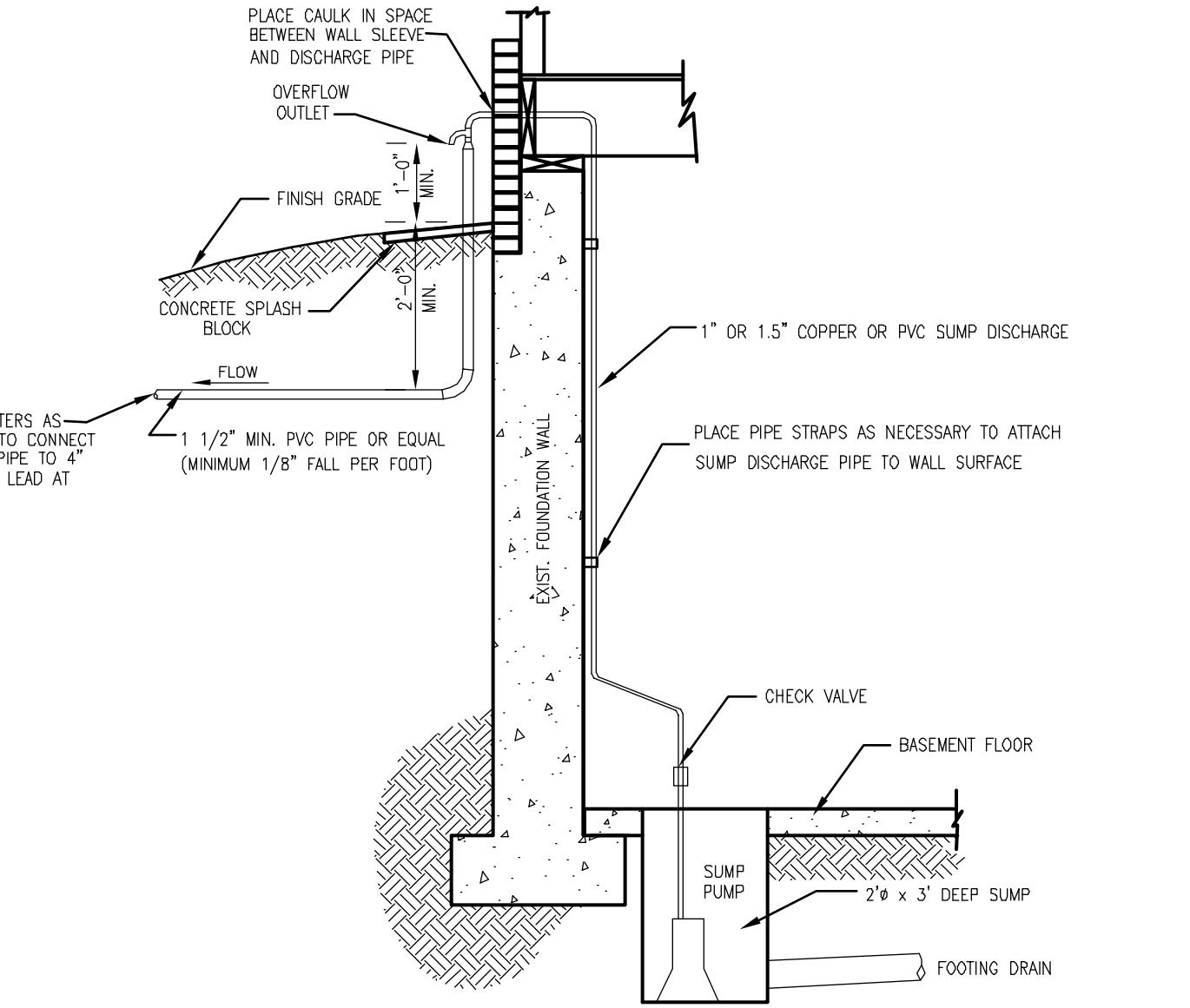
**SAND OR GRAVEL BACKFILL DETAILS FOR SEWERS UNDER CONCRETE OR ASPHALT PAVEMENTS, SIDEWALKS, DRIVEWAYS AND PARKING AREAS**



**BEDDING AND TRENCH BACKFILL DETAIL FOR ELLIPTICAL CONCRETE PIPE OR CORRUGATED METAL ARCH PIPE**

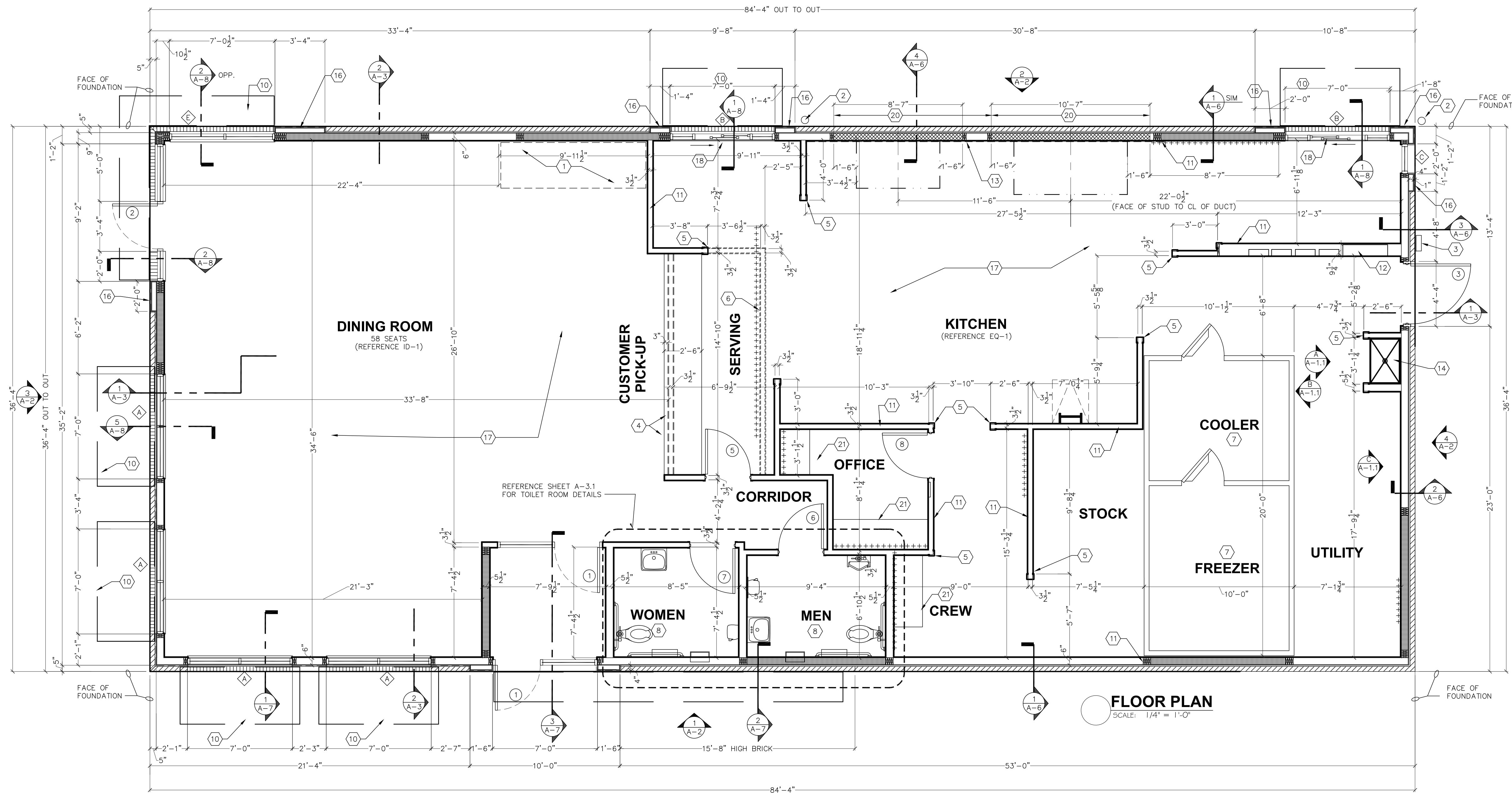


**HOUSE LEAD DETAIL FOR 4" DIA. PLASTIC SUMP PUMP LEADS**

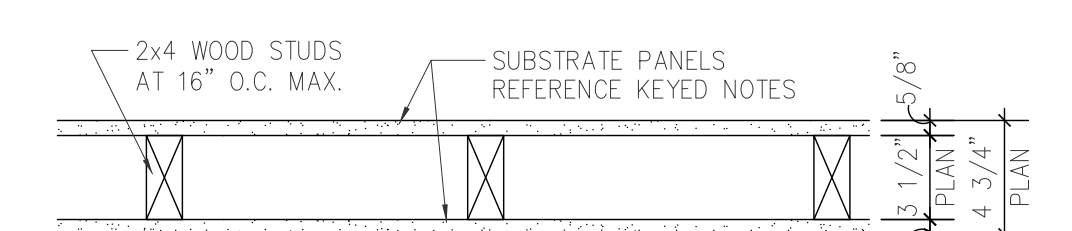


**SUMP PUMP DETAIL AT HOUSE**

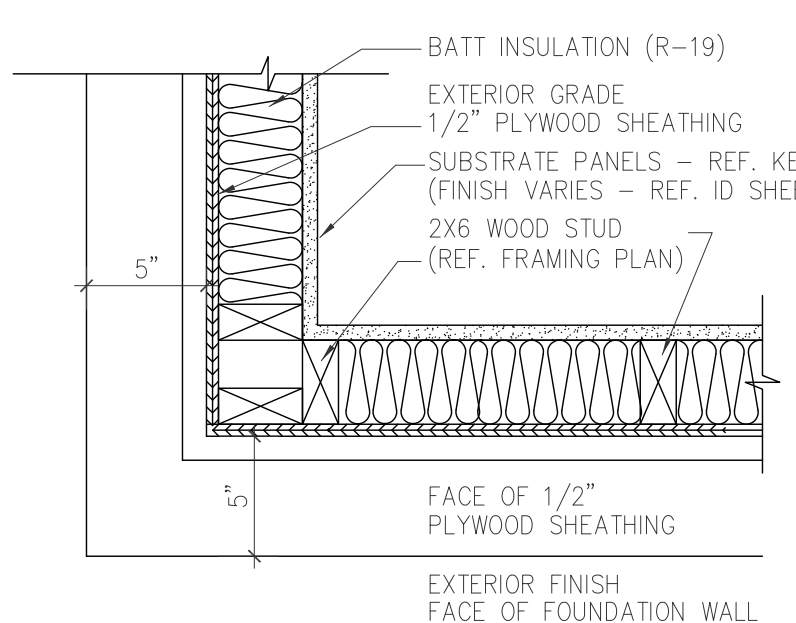
- 1) ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF FARMINGTON.
- 2) UNDERDRAIN AND/OR DRAIN TILE SHALL BE INSTALLED AT THE LOCATIONS SHOWN ON THE PLANS AND AS REQUIRED BY THE CITY ENGINEER.
- 3) FIELD INSPECTION FOR SUMP PUMPS AND UNDERDRAINS SHALL BE PERFORMED BY THE ENGINEERING DIVISION.



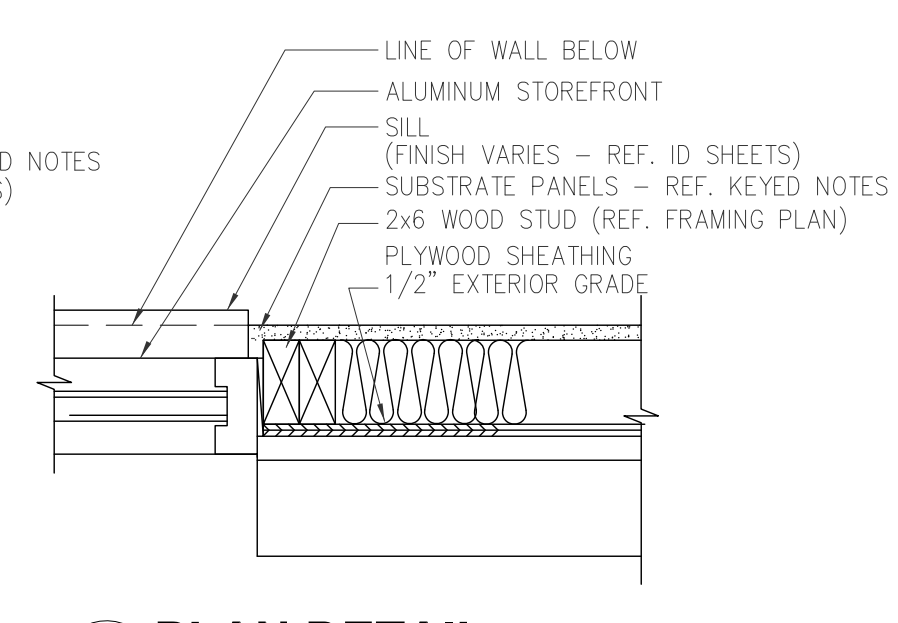
**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**3 TYPICAL INTERIOR PARTITION**  
SCALE: NOT TO SCALE



**1 PLAN DETAIL**  
SCALE: 1 1/2" = 1'-0"



**2 PLAN DETAIL**  
SCALE: 1 1/2" = 1'-0"

**GENERAL NOTES:**

- A. EXTERIOR DIMENSIONS ARE TO FACE OF MASONRY. INTERIOR DIMENSIONS ARE TO STUD.
- B. OVERALL DIMENSIONS TO EXTERIOR WALLS ARE THE SAME AS TO THE OUTSIDE FACE OF FOUNDATION WALL BELOW.
- C. ALL ANGLED WALLS ARE AT 90° UNLESS NOTED OTHERWISE.
- D. FIRE EXTINGUISHER, SHALL COMPLY WITH APPLICABLE BUILDING CODES AND LOCAL RESTRICTIONS.
- E. ELEVATION OF DRIVE-THROUGH LANE 2" (MAXIMUM) BELOW FINISH FLOOR ELEVATION. DRIVE-THROUGH LANE AT SAME ELEVATION AS FINISH FLOOR IS PREFERRED. REFERENCE DETAIL #8, SHEET A-1.1

**KEYED NOTES:**

- 1. SELF-SERVE DRINKS AND CONDIMENT STAND. REFER TO SHEET EQ-1.
- 2. STEEL BOLLARD - REFER TO SHEET S-1.
- 3. ELECTRIC SERVICE - REFER TO ELECTRICAL DRAWINGS.
- 4. SERVICE COUNTER PARTITION BY G.C. REFER TO DETAILS ON SHEET E-4 FOR ADDITIONAL INFORMATION. COORDINATE COUNTER TOP/FINISHES INSTALLATION RESPONSIBILITIES WITH THE DECOR SUPPLIER. MAXIMUM COUNTER HEIGHT = 32" A.F.F.
- 5. CORNER GUARDS - REFER TO DETAIL #4, SHEET A-1.1.
- 6. MENU BOARD BULKHEAD ABOVE. REFER TO DETAIL 1, SHEET A-4.
- 7. INTERIOR WALK-IN BOX WITH FLOOR ON CONCRETE SLAB. VERIFY SIZE WITH MANUFACTURER. INSTALL ALTRO STRONGHOLD 30 SAFETY FLOORING.
- 8. PROVIDE ADDITIONAL BLOCKING IN WALLS BEHIND URINAL SCREEN AND BEHIND PLUMBING FIXTURES FOR SUPPORT OF WATER LINES (TYPICAL).
- 9. ALL WALLS AT EXPOSED TRUSSES TO BE FRAMED AND FINISHED TO THE ROOF DECK.
- 10. LINE OF AWNING/CANOPY ABOVE.
- 11. SUBSTRATE PANELS:  
KITCHEN - CREW - RESTROOMS  
5/8" USG "DUROCK" PANELS AT FINISH FLOOR TO 24" A.F.F.  
5/8" WATER RESISTANT GYPSUM BOARD FROM 24" A.F.F. TO 6" ABOVE FINISHED CEILING.  
PROVIDE ALTERNATE BID OF 5/8" USG "FIBEROCK" PANELS IN LIEU OF DUROCK.  
DINING ROOM AND CORRIDOR:  
5/8" PLYWOOD FROM FINISH FLOOR TO 36" A.F.F.  
5/8" TYPE USG "SHEETROCK" GYPSUM WALL BOARD FROM 36" TO 6" ABOVE CEILING.  
FINISH: FRP TO 36" A.F.F. AND PAINT ON GYPSUM WALL BOARD.
- 12. ELECTRICAL PANELS:  
RECESS ELECTRICAL CONTACTOR PANEL AND PANELS "A", "B" AND "M" IN FURRED OUT WALL ADJACENT TO EXTERIOR FRAMING. G.C. TO VERIFY PANEL SIZES PRIOR TO FURR-OUT TO INSURE ADEQUATE SPACE.
- 13. STAINLESS STEEL PANEL BEHIND FRY DUMP, HOODS, CONTINUOUS BETWEEN HOODS AND SUPPLIED BY G.C. AND INSTALL BE G.C. +/- 24'-0"
- 14. CAN WASH - DUROCK SUBSTRATE ON ALL THREE SIDES, FLOOR TO CEILING.
- 15. OFFICE WINDOW - REFERENCE SHEET A-10.
- 16. EXTERIOR FEATURE ELEMENTS - OMIT MASONRY.
- 17. TILE FLOOR (REFERENCE SPECIFICATIONS ON ID SHEETS).
- 18. DRIVE-THROUGH WINDOW.
- 19. ++++++ INDICATES 5/8" PLYWOOD BACKING ON WALLS FOR EQUIPMENT AS INDICATED ON PLAN OR SHELF SUPPORT FROM 48" A.F.F. TO 96" A.F.F., BEHIND 3-COMPARTMENT SINK AND PREP SINK AND ON BULKHEAD AT MENU BOARD WALL FROM 7'-0" A.F.F. TO BOTTOM OF ROOF TRUSSES.
- 20. USG 5/8" DUROCK (BOTH SIDES) ON 5 1/2", 18 GAUGE CEE STUD FRAMING AT 16" O.C. BEHIND HOOD. WALL TO EXTEND AS SHOWN (18" BEYOND EACH END OF HOOD).
- 21. COUNTER TOP - REFERENCE DETAIL #6, A-1.1

PROJECT #	1900XXX
DATE	XX-XX-2019
DRAWN BY	DHW
CHECKED BY	SAC
NO.	
DATE	
REVISION	

FRANCHISEE

988 INHLS STREET  
SYRACUSE, NY 13203  
O : 315 . 474 . 0613  
F : 770 . 656 . 5338

**CURRAN ARCHITECTURE**  
5719 LAWTON LOOP E. DR. #212  
INDIANAPOLIS, IN 46216  
O :: 317 . 288 . 0681  
F :: 317 . 288 . 0753



NOVEMBER 2018 DESIGN RELEASE

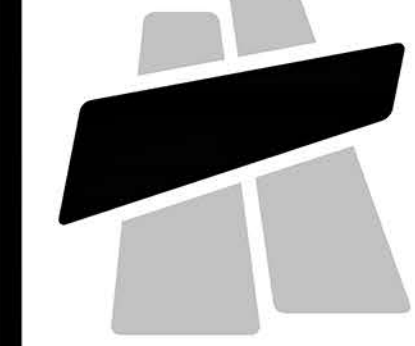
**BURGER KING # TBD**  
ADDRESS TBD  
FARMINGTON, MICHIGAN



PROJECT #: 1900XXX  
 ROC-60 TALL 20/20 IMAGE: NOVEMBER 2018 DESIGN RELEASE  
**BURGER KING # TBD**  
 ADDRESS TBD  
 FARMINGTON, MICHIGAN

EXTERIOR ELEVATIONS

A-2.1



**CURRAN**  
 ARCHITECTURE  
 5719 LAWTON LOOP E. DR. #212  
 INDIANAPOLIS, IN 46216  
 O :: 317 . 288 . 0681  
 F :: 317 . 288 . 0753



948 INNES STREET  
 STRASBURG, NY 13283  
 O : 315 . 424 . 0313  
 F : 710 . 456 . 5338



NO.	DATE	DRAWN BY: DWK	CHECKED BY: SMC	REVISION

DATE: XX-XX-2019



PROJECT # 1900XXX

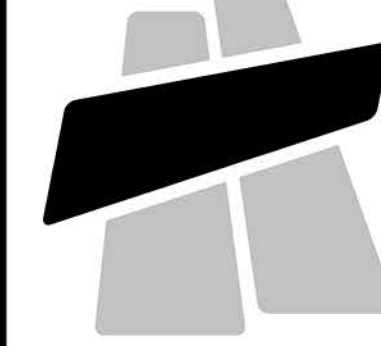
ROC-60 TALL 20/20 IMAGE: NOVEMBER 2018 DESIGN RELEASE

**BURGER KING # TBD**

ADDRESS TBD  
FARMINGTON, MICHIGAN

FRANCHISEE

**CURRAN**  
ARCHITECTURE  
5719 LAWTON LOOP E. DR. #212  
INDIANAPOLIS, IN 46216  
O :: 317. 288. 0681  
F :: 317. 288. 0753



968 JAMES STREET  
SYRACUSE, NY 13203  
O : 315 . 424 . 0513  
F : 709 . 456 . 5238



DRAWN BY: DWV  
NO. DATE  
CHECKED BY: SMC  
REVISION

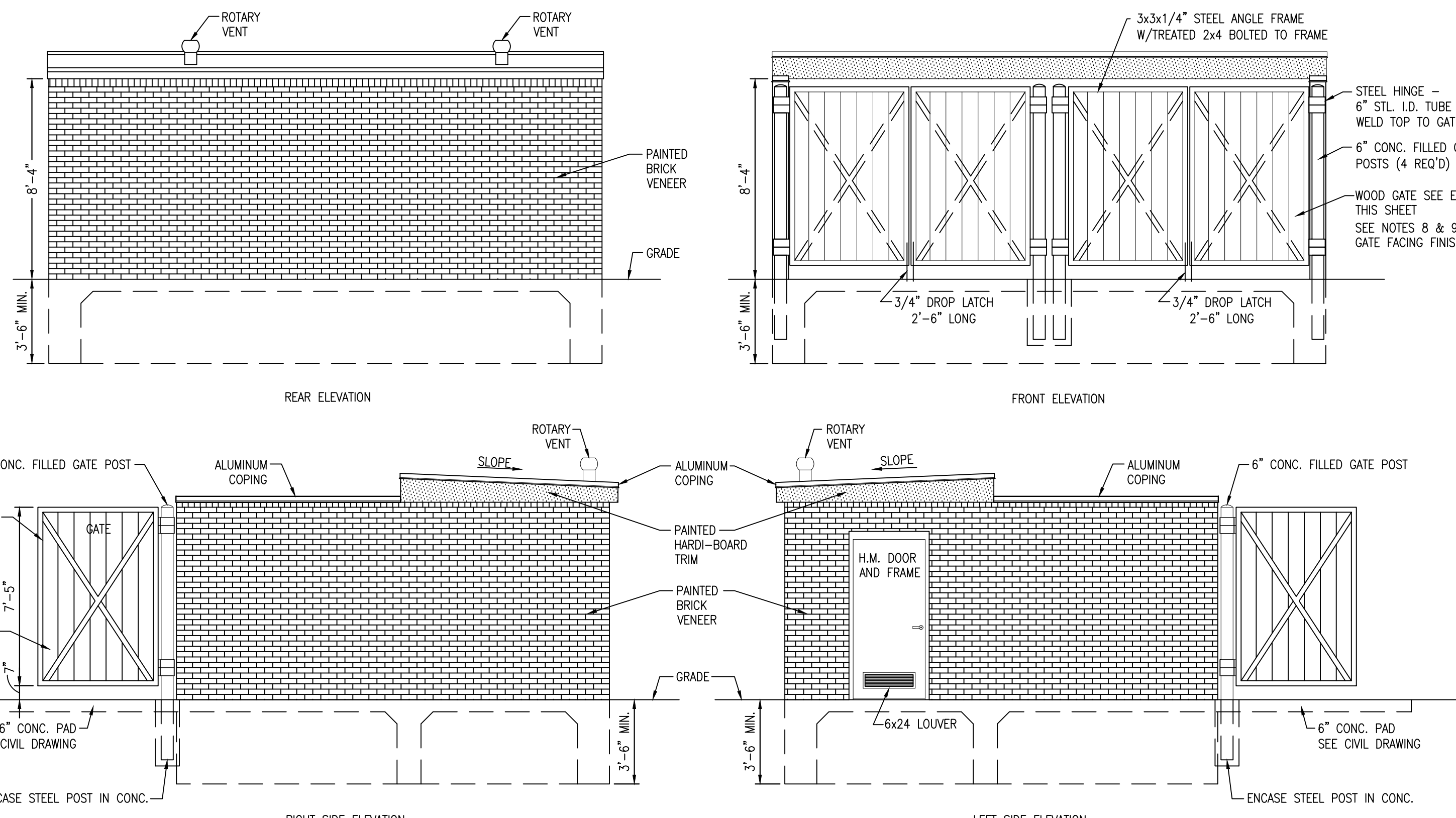
DATE: XX-XX-2019

A-2.2

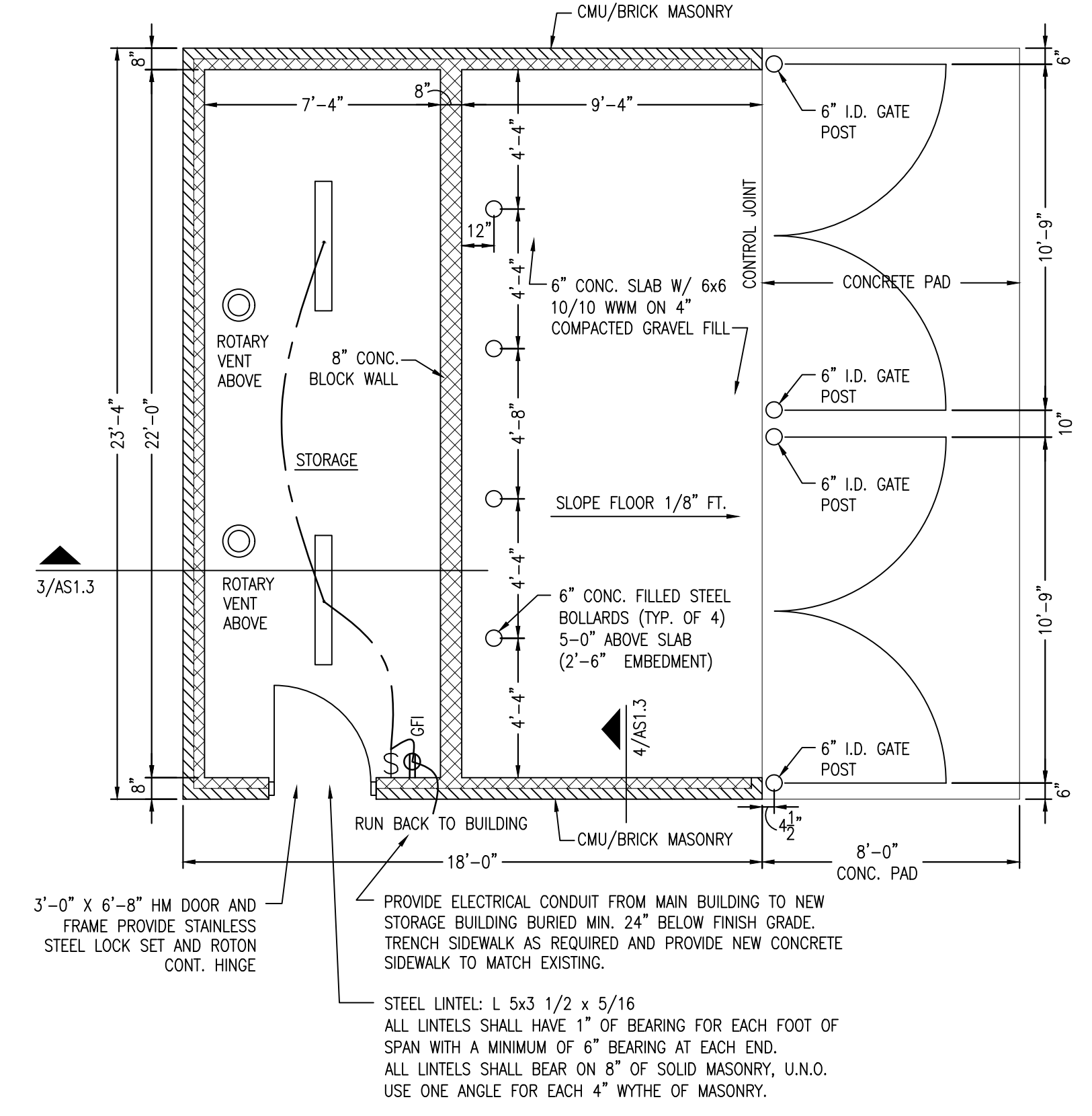
EXTERIOR ELEVATIONS

# NOTES

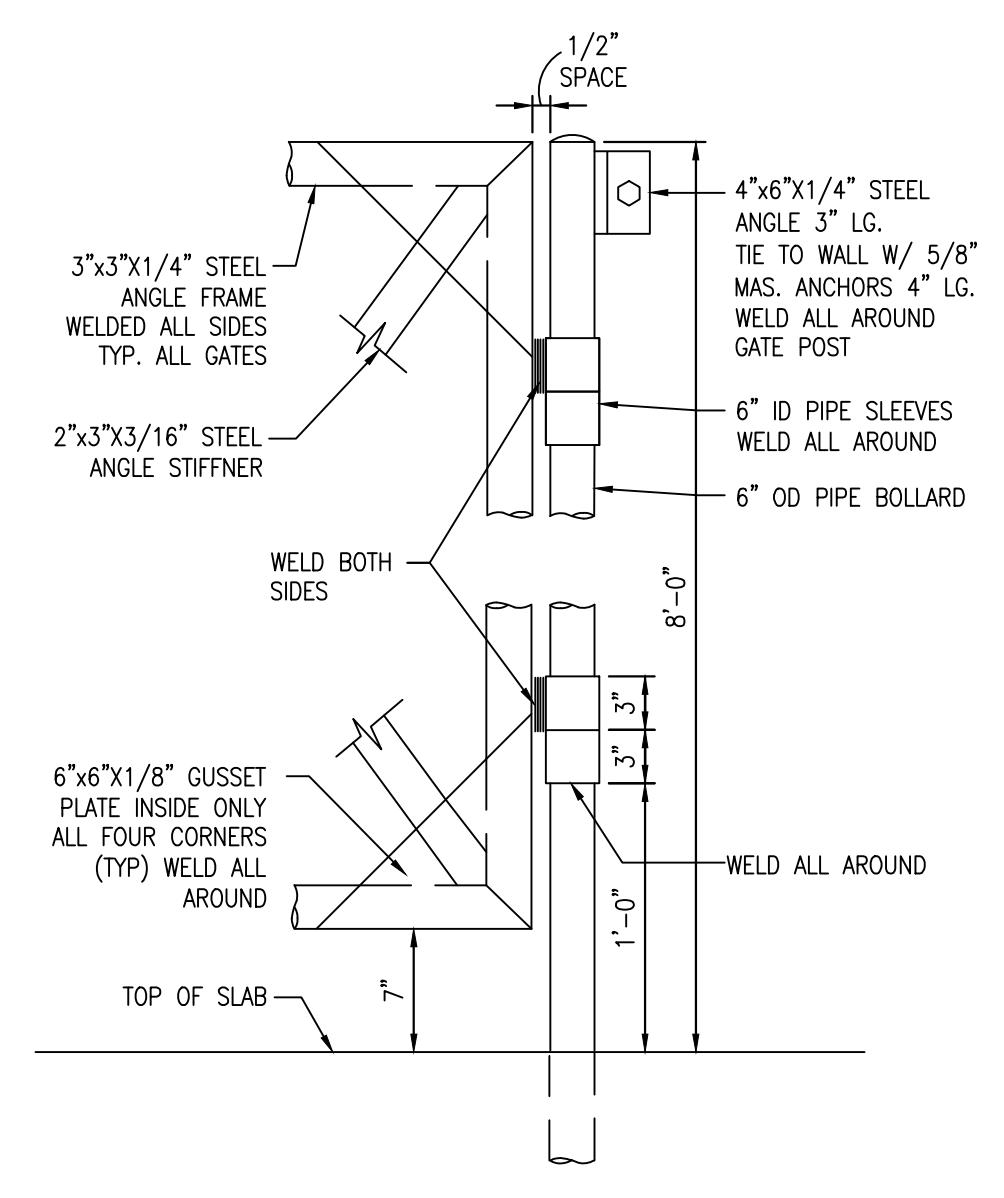
1. SEE SITE PLAN FOR LOCATION AND PROPOSED GRADES
2. TRASH ENCLOSURE MUST CONFORM TO ALL BUILDING SETBACKS (CHECK WITH LOCAL CODE)
3. FLOOR DRAIN MAY BE REQUIRED (CHECK WITH LOCAL CODE)
4. SLAB TO SLOPE 0.1" FROM BACK TO FRONT FOR DRAINAGE. IF FLOOR DRAIN IS REQUIRED, SLOPE TO GRATE MIN. 0.1" BELOW PERIMETER OF SLAB.
5. LOCATE PERSONNEL ACCESS SO THAT IT IS MOST ACCESSIBLE FROM REAR DOOR OF BUILDING.
6. REVERSES OF THE ABOVE CONFIGURATIONS ARE ACCEPTABLE.
7. ALL STEEL FINISHES TO BE PAINTED TO MATCH METAL ON BUILDING. SEE FINISH SCHEDULE.
8. ALL GATES TO BE 3/4" TREX COMPOSITE BOARDS. COLOR TO BE SELECTED BY OWNER.
9. ALL GATES TO BE THRU-BOLTED TO STEEL FRAME WITH 3/8" GALV. BOLTS AND HARDWARE.
10. THIS DETAIL SHEET TO BE USED ALONG WITH DETAIL SHEETS FROM CIVIL ENGINEER. ANY CONFLICTS TO BE CALLED TO THE ATTENTION OF THE CARROLLS CONSTRUCTION ENGINEER PRIOR TO ANY WORK BEING STARTED.



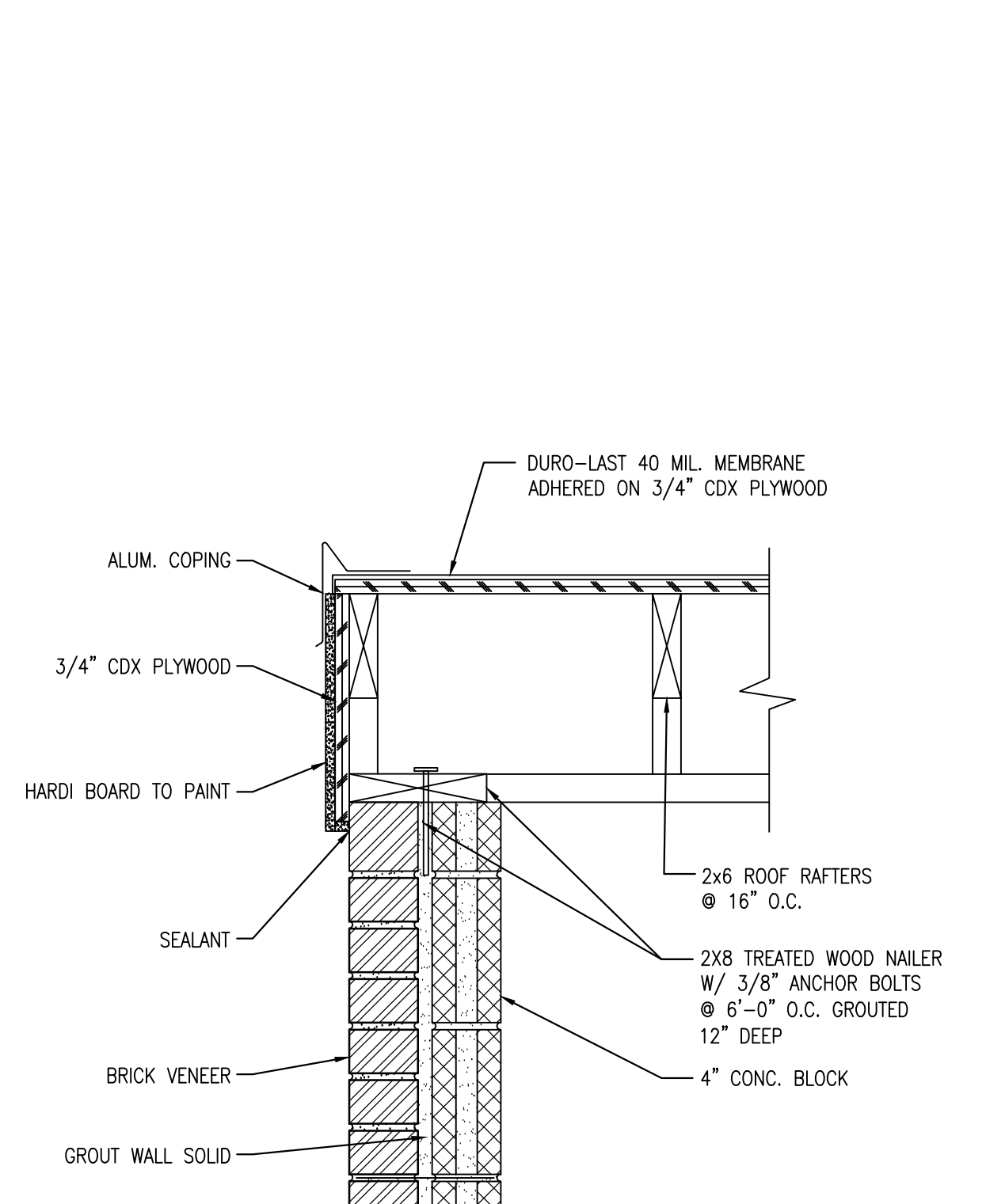
**ELEVATIONS** 2  
1/4"=1'-0"



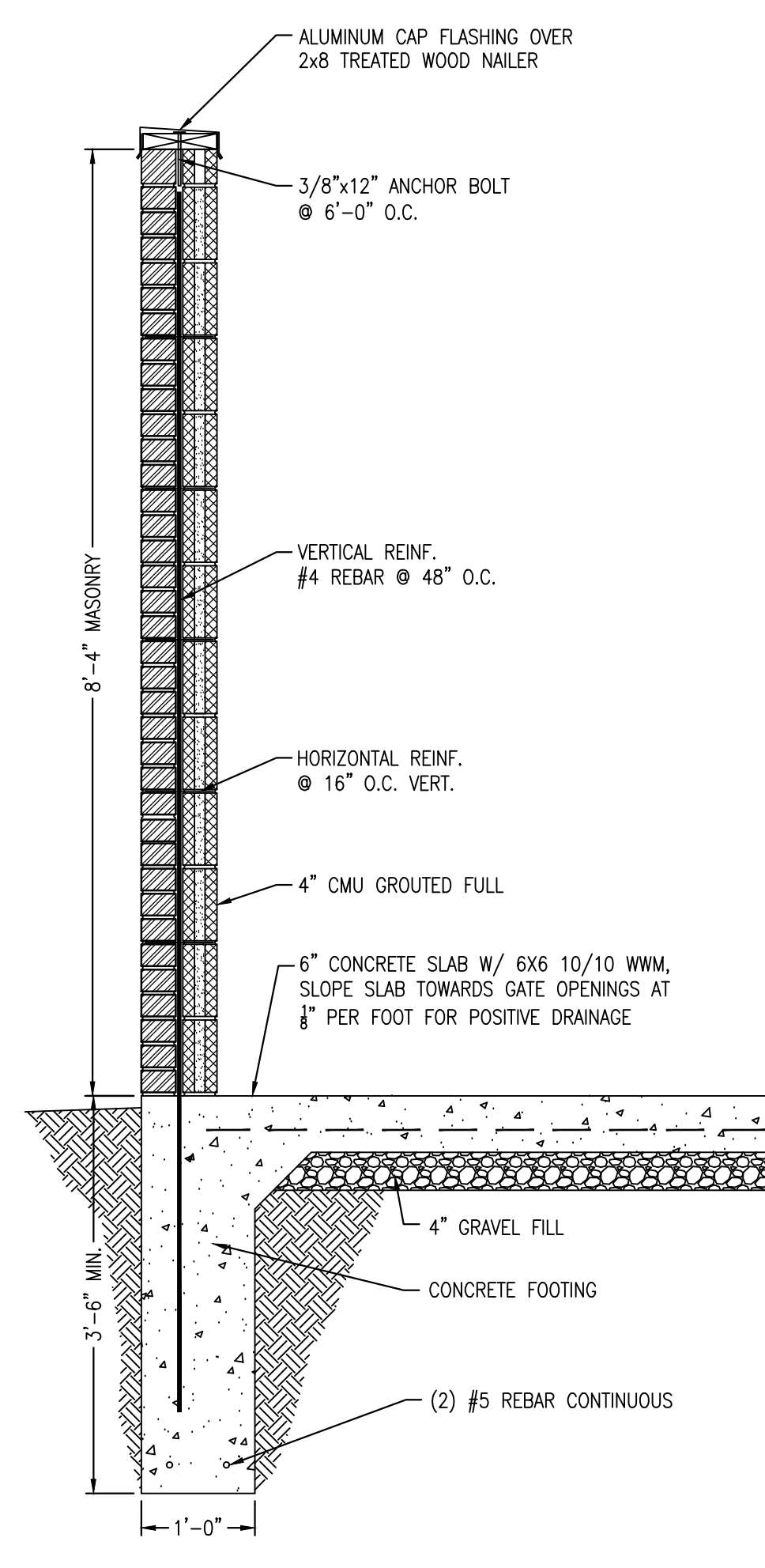
**DUMPSTER ENCLOSURE PLAN** 1  
1/4"=1'-0"



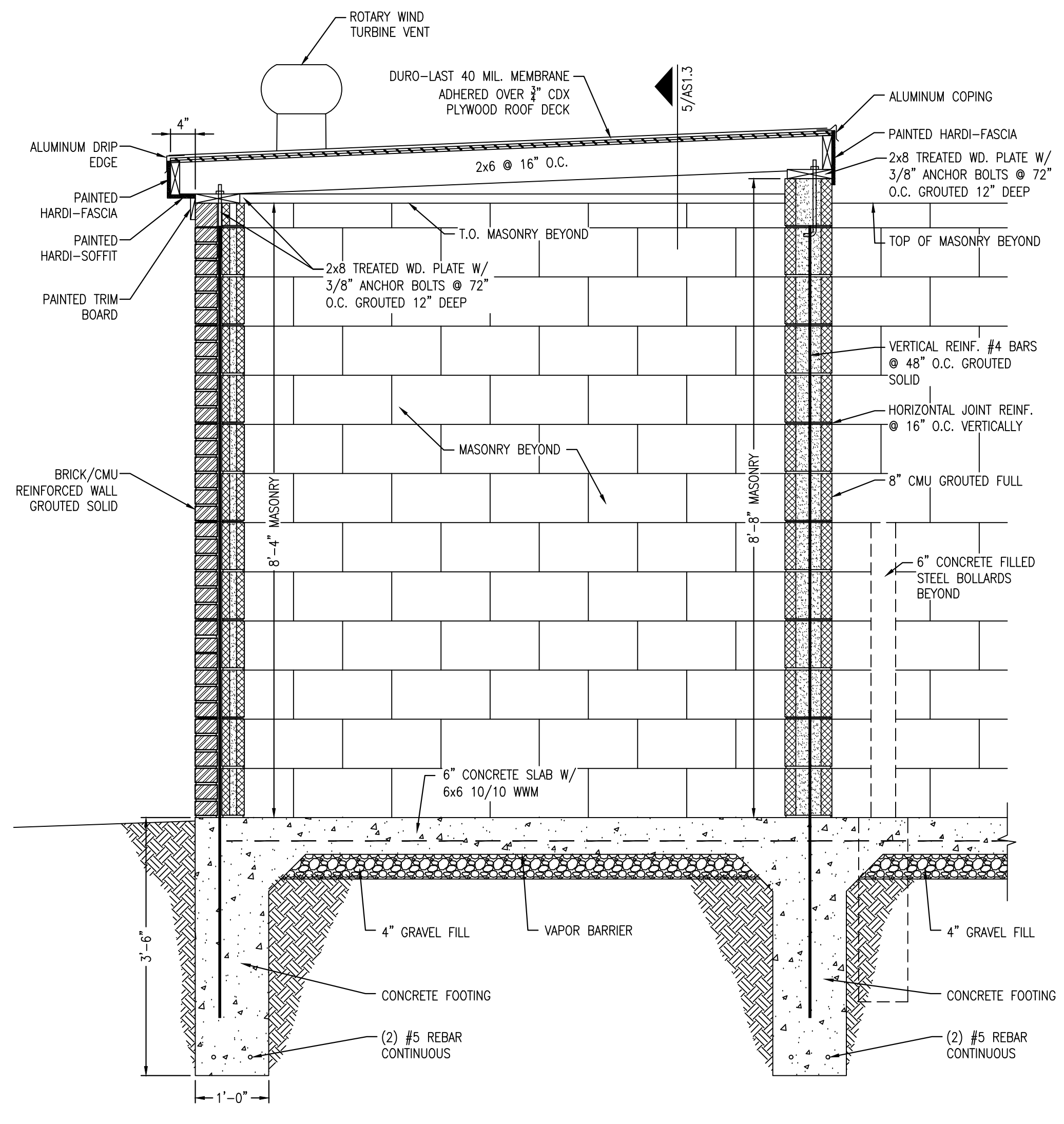
**GATE ELEVATION** 6  
NTS



**DETAIL** 5  
1-1/2"=1'-0"

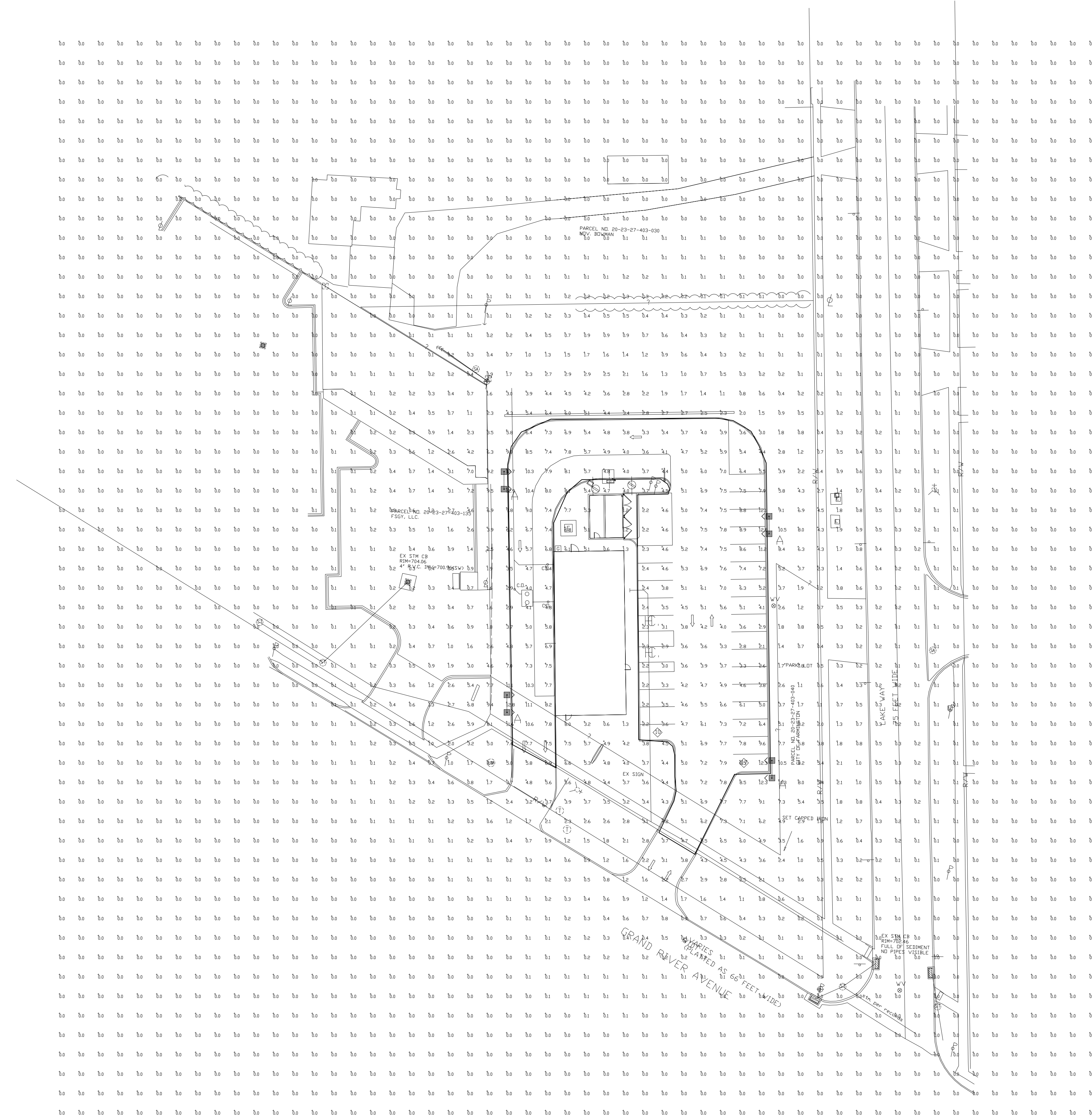


**TYPICAL SECTION** 4  
3/4"=1'-0"



**SECTION** 3  
3/4"=1'-0"





Click image to open Product Page

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS AT GRADE	Illuminance	Fc	0.75	12.9	0.0	N.A.	N.A.
PARKING AND DRIVE SUMMARY	Illuminance	Fc	5.70	12.8	2.1	2.71	6.10

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Description	LLD	UDF	LLF	Arr. Lum. Lumens	Arr. Watts
	4	A	D180° 2RTD	SLM-LED-30L-SIL-(1)-FT-L,(1)-FT-R-50-70CRI-D180 ON 24' POLE + 2' BASE	1.000	1.000	1.000	63478	497.2

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature notes does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Total Project Watts  
Total Watts = 1988.8



LIGHTING PROPOSAL LO-147452

BURGER KING  
31806 GRAND RIVER AVE  
FARMINGTON, MI

BY:ANK DATE:4/29/19 REV: SHEET 1 OF 1

SCALE: 1"=30'



June 24, 2019

Mr. Kevin Christiansen, AICP, PCP  
Economic and Community Development Director  
**City of Farmington, Michigan**  
23600 Liberty Street  
Farmington, Michigan 48335

**Re: Burger King – 31806 Grand River Avenue  
Supplemental Submittal  
Response Letter to OHM Advisors' Comment Letter**

Dear Mr. Christiansen:

We are in receipt of the review letter from OHM Advisors dated May 3, 2019 regarding the special land use and preliminary site plan submittal for the proposed Burger King restaurant at 31806 Grand River Avenue. We have prepared this response letter to assist OHM in their review of our revised documents and to clarify our responses.

OHM Advisors identified twelve (12) engineering site plan review comments in their letter, as well as a number of required permits or approvals to be obtained from outside jurisdictional agencies. Below are the comments provided by OHM, as well as our responses.

1. The existing sidewalk and sidewalk ramps stretching along the Grand River Avenue frontage shall be reviewed for ADA compliance. If the sidewalk and/or sidewalk ramps are not in compliance, they shall be reconstructed.
  - a. *We have added existing spot elevations for the adjacent sidewalks to the plans and reviewed the cross slopes to determine if any areas of the sidewalk exceed 2%. Based on the survey, there are two pairs of spot elevations where the existing cross slope may exceed 2%. A note has been added to Sheet C300 specifying that sidewalk panels shall be inspected during construction and shall be replaced if they are found to exceed 2%.*
2. A representation of how a garbage truck will access the proposed dumpster location shall be provided. It is recommended an AutoTurn turning template be added to the plans.
  - a. *AutoTurn templates have been added to Sheet C201 to demonstrate that both delivery trucks (WB-50) and garbage trucks (SU) can provide services to the subject parcel.*
3. It appears that the trash corral details are not shown on the architectural sheets. The applicant shall provide a detail of the proposed dumpster enclosure.
  - a. *A detail of the proposed trash corral has been added to the plans on Sheet A-3.*
4. The applicant shall provide a detail for the proposed masonry wall to be constructed on the north end of the site.
  - a. *The proposed masonry wall will be constructed using similar materials as the proposed building. This will be depicted in a rendering to be provided at a later date, and complete construction details will be provided at the time of construction plan development.*
5. It appears the storm sewer material type is not shown on the plans. All proposed storm sewer shall be a

minimum 12-inch RCP.

- a. *Pipe materials have been specified on Sheet C400 and all pipes (with the exception of the detention basin metering line) will be reinforced concrete pipe with a minimum size of 12 inches.*
6. City of Farmington storm sewer standard details shall be provided. OHM can provide these at the applicant's request.
  - a. *The City of Farmington storm sewer standard plans have now been included with this submittal package.*
7. The applicant shall show on the plans the locations of the proposed traffic signage to help depict the drive thru/exit lane versus the entrance drive and help to avoid "wrong-way" traffic off Grand River Avenue.
  - a. *An "Exit Only" sign has been added on Sheet C200 at the entrance point of the one-way drive-through and bypass lane, and "Do Not Enter" signage and pavement markings have been proposed at the westerly Grand River Avenue approach.*
8. It appears the area totals on sheet C200 were left blank. The total site area along with the areas of impervious and pervious surfaces shall be provided.
  - a. *Area totals have been moved to Sheet C401 and updated to reflect the current proposed layout.*
9. Spot elevations shall be provided for the proposed sidewalk and handicap parking spaces at the proposed building to ensure ADA compliance.
  - a. *Detailed grading information has been added to Sheet C300, depicting ADA-compliant parking spaces, access aisles, and an accessible route to the building entrance.*
10. Storm sewer conveyance and detention basin calculations shall be provided.
  - a. *Storm sewer conveyance and detention basin sizing calculations have been added to Sheet C401.*
11. The existing sanitary sewer shall be shown on the utility plan.
  - a. *The existing sanitary sewer which follows the diagonal property line has been added to Sheet C400.*
12. The applicant shall provide a detail of the proposed mechanical treatment structure.
  - a. *The mechanical treatment structure has been detailed on Sheet C401 (Barracuda S4).*

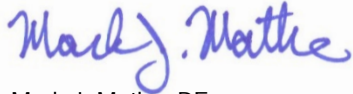
In addition, there were requirements highlighted in the OHM letter which must be addressed prior to construction. These are as follows:

- This plan will need to be reviewed by the Farmington Grand River Corridor Improvement Authority (CIA).
  - *The plan was reviewed by the Grand River Corridor Improvement Authority at their meeting held on May 9, 2019.*
- A building permit will be required by the City Building Department.
  - *Acknowledged, and complete building architectural plans will be submitted for a building permit at the appropriate point in the review process.*
- Any proposed work within the Grand River Avenue right-of-way will require a MDOT permit as Grand River is under MDOT jurisdiction.
  - *Acknowledged, and we will submit the plans to MDOT as required for any improvements within the right-of-way at the appropriate time during the development process.*
- An OCWRC soil erosion and sedimentation control permit will be required if the total site disturbance is greater than 1 acre.
  - *Acknowledged. At this time, the anticipated disturbed area of 0.98 acres does not require a soil erosion and sedimentation control permit. However, we will review the disturbed area at the time of construction plan development and submit to the OCWRC if required.*
- A preconstruction meeting shall be held prior to the start of construction. A preconstruction requirements letter will be sent under separate cover and will outline provisions for insurance, bonds and inspection deposits necessary prior to scheduling the preconstruction meeting.
  - *Acknowledged, and we take no objection to meeting the requirements outlined by OHM.*
- Any other permits necessary (through the City or other agency) shall be obtained prior to starting construction.

- *Acknowledged. We will review all outside jurisdictional review agencies and satisfy all requirements prior to construction.*

These responses should be provided to OHM Advisors at the time of their next review. Please do not hesitate to contact me should you have any questions or require additional information.

Sincerely,



Mark J. Mathe, PE  
Project Engineer



May 3, 2019

Kevin Christiansen  
Economic & Community Development Director  
City of Farmington  
23600 Liberty Street  
Farmington, MI 48335

RE: Burger King – Site Plan Review #1  
31806 Grand River Avenue

Dear Mr. Christiansen:

Our office has completed the first preliminary site plan review of the plans, dated April 25, 2019, for the proposed Burger King restaurant. The plans were prepared by the Mannik Smith Group, were received by OHM Advisors on April 26, 2019, and reviewed with respect to the Master Plan and other planning documents as well as the City of Farmington Engineering Standards and Design Specifications.

A brief description of the project has been provided below, followed by our comments and a list of required permits/approvals.

### **PROJECT AND SITE DESCRIPTION**

The applicant is proposing to demo the existing building, drive-thru, and pavement onsite to construct a 3,065 square-foot building with associated parking and a single lane drive-thru. Site construction will include new storm sewer and an associated detention basin, as well as sanitary and water main leads to the proposed building. The existing Grand River curb cuts are to remain while the existing curb cut off Lakeway Street is to be abandoned. The development is being proposed on five (5) lots which include; 118 and 82 through 85 as shown on the plans.

### **PLANNING REVIEW COMMENTS**

The applicant shall reference and consider Section 35-152 - Special Land Use Application procedure while reviewing this letter:

Prior to approving a special land use application the planning commission shall require that the following general standards, in addition to the specific standards noted for individual uses in [section 35-158](#), special land use specific requirements, be satisfied. The proposed use or activity shall:

1. Be compatible and in accordance with the goals, objectives and policies of the City of Farmington Master Plan.
2. Promote the intent of the zoning district in which the use is proposed.
3. Be constructed, operated and maintained so as to be compatible with the existing or intended character of the general vicinity and so as not to change the essential character of the area in which it is proposed.



4. Be served adequately by public facilities and services, such as traffic operations along streets, police and fire protection, drainage structures, water and sewage facilities and primary and secondary schools.
5. Not involve uses, activities, processes, materials and equipment or conditions of operation that, in comparison to permitted uses in the district, will be detrimental to the natural environment, public health, safety or welfare by reason of excessive production of traffic, noise, smoke, odors or other such nuisance.

Properties for which application for special land use approval is made shall also be subject to site plan review in accordance with the requirements of [Article 13](#), Site Plan Review. Failure to obtain site plan approval will constitute denial of the approved special land use.

Land Use Compliance Comments:

- Lot 118 is currently zoned as Single-Family Parking (R1P) and Lots 82 through 85 are currently zoned as Community Commercial (C2). The concept proposes a use that requires a Special Land Use permit for both districts. The following bullets outline further requirements of Special Land Uses for each zoning district.
  - R1P Special Land Use requirements for expansion of an existing commercial building onto adjacent lot under the same ownership must meet specific criteria, in addition to general Special Land Use Requirements (as outlined in section 12 of the Zoning Ordinance). Prior to approval, the Planning Commission shall require that the following requirements be met:
    1. An existing commercial building on an adjacent commercially zoned lot may be expanded into a lot that is zoned R1P single-family parking provided the expansion occupies no more than twenty-five (25) percent of total lot area zoned R1P single-family parking.
    2. The expansion must be compatible in design with the existing building.
    3. The design and construction of the expanded building, including the existing building, shall be reviewed by the planning commission for consistency with the area.
    4. Adequate buffering, as determined by planning commission, must be provided and may consist of walls, fencing, landscaping or a combination of these that will adequately protect adjacent residential districts and uses.
  - C2 requirements for a drive-through must meet the following items:
    1. Drive-through uses shall be designed to minimize conflicts with pedestrian or vehicular circulation and shall meet the following standards:
    2. The number of drive-through lanes shall be limited to the following:
      - a. Drive-through banks and car washes shall have a maximum of three (3) drive-through lanes, including any that are devoted to ATM(s).
      - b. All other drive-through uses shall have a maximum of one (1) drive-through lane.
    3. Stacking Spaces shall be provided as required in Article 14, Off-Street Parking and Loading Standards and Access Design.
    4. Communication and speaker boxes shall meet the following requirements:
      - a. Speakers shall be placed as close as safely possible from the edge of the drive-through lane; in no case may speakers be more than three (3) feet from the drive-through lane.
      - b. Where feasible, speakers shall face away from residential neighborhoods.
      - c. Noise from communication speakers shall not exceed fifty (50) decibels at a nonresidential property line and thirty (30) decibels at any residential property line. Where a screening wall is provided, the noise level shall be measured on the residential side of the screening wall.
    5. Site design for drive-through uses shall use the minimum number of driveways possible. Use of two (2) directional driveways may only be allowed if there are no other reasonable alternatives, such as access to a side street, rear alley, cross-access easement or shared driveway.



6. Circulation patterns shall separate pedestrian and vehicular traffic where possible. Clear delineation of pedestrian crossings shall be provided in the form of textured concrete or asphalt, striping or other method that clearly draws attention.

#### Plan Compliance

- The CIA Vision Plan included the proposed site in the study area but did not identify the site as a focus area. The Plan called for this site to contain a mix of uses, including small to medium sized retail, office, and residential.
- The Master Plan's Future Land Use Map identifies lot 118 as Residential, while the concept proposes commercial and parking. Lots 82 through 85 are identified in the Future Land Use Map as Neighborhood Centers, which complies with the proposed use of C2.
- Future submittals will need to consider all site design elements such as lightning, landscaping, building design, etc. These items were not reviewed in detail with this submittal considering the other items outlined above.

#### **ENGINEERING SITE PLAN REVIEW COMMENTS**

The following comments shall be addressed by the applicant:

1. The existing sidewalk and sidewalk ramps stretching along the Grand River Avenue frontage shall be reviewed for ADA compliance. If the sidewalk and/or sidewalk ramps are not in compliance, they shall be reconstructed.
2. A representation of how a garbage truck will access the proposed dumpster location shall be provided. It is recommended an AutoTurn turning template be added to the plans.
3. It appears that the trash corral details are not shown on the architectural sheets. The applicant shall provide a detail of the proposed dumpster enclosure.
4. The applicant shall provide a detail for the proposed masonry wall to be constructed on the north end of the site.
5. It appears the storm sewer material type is not shown on the plans. All proposed storm sewer shall be a minimum 12-inch RCP.
6. City of Farmington storm sewer standard details shall be provided. OHM can provide these at the applicant's request.
7. The applicant shall show on the plans the locations of the proposed traffic signage to help depict the drive thru/exit lane versus the entrance drive and help to avoid "wrong-way" traffic off Grand River Avenue.
8. It appears the area totals on sheet C200 were left blank. The total site area along with the areas of impervious and pervious surfaces shall be provided.
9. Spot elevations shall be provided for the proposed sidewalk and handicap parking spaces at the proposed building to ensure ADA compliance.
10. Storm sewer conveyance and detention basin calculations shall be provided.
11. The existing sanitary sewer shall be shown on the utility plan.
12. The applicant shall provide a detail of the proposed mechanical treatment structure.

#### **PERMITS/APPROVALS**

The following outside agency reviews and permits may be required for the project. Copies of any correspondence between the applicant and the review agencies, as well as the permit or waiver, shall be sent to both the City and this office.

- This plan will need to be reviewed by the Farmington Grand River Corridor Improvement Authority (CIA).
- A building permit will be required by the City Building Department.
- Any proposed work within the Grand River Avenue right-of-way will require a MDOT permit as Grand River is under MDOT jurisdiction.
- An OCWRC soil erosion and sedimentation control permit will be required if the total site disturbance is greater than 1 acre.



- ▶ A preconstruction meeting shall be held prior to the start of construction. A preconstruction requirements letter will be sent under separate cover and will outline provisions for insurance, bonds and inspection deposits necessary prior to scheduling the preconstruction meeting.
- ▶ Any other permits necessary (through the City or other agency) shall be obtained prior to starting construction.

It shall be noted that additional comments may be generated from information presented in future submittals. If you have any questions, please feel free to contact us by phone at (734) 522-6711 or by email at [matt.parks@ohm-advisors.com](mailto:matt.parks@ohm-advisors.com).

Sincerely,

Matthew D. Parks, P.E.

Austin Downie

MDP/abd

cc: Jeff Bowdell, City of Farmington  
Chuck Eudy, City of Farmington  
Kate Knight, City of Farmington  
Mark Mathe, P.E., Mannik Smith Group, 1160 Dublin Road, Suite 100, Cincinnati, OH, 45242  
File

P:\0101\_0125\SITE\_FarmingtonCity\2019\0111191010\_Burger\_King\SP\BK\_SP1\_2019-5-03.docx



## **NOTICE OF PUBLIC HEARING**

NOTICE IS HEREBY GIVEN THAT THE FARMINGTON PLANNING COMMISSION WILL HOLD A PUBLIC HEARING AT THE FARMINGTON CITY HALL, 23600 LIBERTY STREET, FARMINGTON, MICHIGAN 48335 ON MONDAY, JULY 8, 2019 AT 7:00 P.M; ALL PROPERTY OWNERS WITHIN 300 FEET OF THE SITE IN QUESTION ARE NOTIFIED.

LOCATION: 31806 Grand River Avenue

PARCEL NO.: 20-23-27-403-136

REVIEW: Consideration of a special land use for the demolition of an existing vacant commercial building and construction of a new 3,065 sq. ft. 1-story restaurant building with a drive-through located in the C-2, Community Commercial District and R-1P, Single-Family Parking District (Zoning Ordinance Section 35-102(c) and Article 12-Special Land Uses)

APPLICANT: Carrols, LLC

Kevin P. Christiansen, AICP, PCP, Economic and Community Development Director

Publish: June 19, 2019, Farmington Press

Mail: June 17, 2019

PROPERTY OWNER  
22815 LAKEWAY  
FARMINGTON, MI 48336

PROPERTY OWNER  
22809 LAKEWAY  
FARMINGTON, MI 48336

PROPERTY OWNER  
22805 LAKEWAY  
FARMINGTON, MI 48336

PROPERTY OWNER  
22801 LAKEWAY  
FARMINGTON, MI 48336

PROPERTY OWNER  
32000 GRAND RIVER, APT 1  
FARMINGTON, MI 48336

PROPERTY OWNER  
32000 GRAND RIVER, APT 2  
FARMINGTON, MI 48336

PROPERTY OWNER  
32000 GRAND RIVER, APT 3  
FARMINGTON, MI 48336

BHUPENDRA KAPOOR  
341 S. SURFSIDE DRIVE  
GILBERT AZ 85233

PROPERTY OWNER  
32000 GRAND RIVER, APT 5  
FARMINGTON, MI 48336

PROPERTY OWNER  
32000 GRAND RIVER, APT 6  
FARMINGTON, MI 48336

KENNETH WELSH  
31033 SCENIC VIEW CIRCLE  
FARMINGTON HILLS, MI 48334

PROPERTY OWNER  
32000 GRAND RIVER, APT 8  
FARMINGTON, MI 48336

PROPERTY OWNER  
32020 GRAND RIVER, APT 21  
FARMINGTON, MI 48336

PROPERTY OWNER  
32020 GRAND RIVER, APT 22  
FARMINGTON, MI 48336

PROPERTY OWNER  
32010 GRAND RIVER, APT 11  
FARMINGTON, MI 48336

32010 GRAND RIVER AVENUE, LLC  
P.O. BOX 725281  
BERKLEY, MI 48072

PROPERTY OWNER  
32020 GRAND RIVER, APT 23  
FARMINGTON, MI 48336

PROPERTY OWNER  
32020 GRAND RIVER, APT 24  
FARMINGTON, MI 48336

PROPERTY OWNER  
32010 GRAND RIVER, APT 14  
FARMINGTON, MI 48336

KATHERINE DZIECIOLOWSKI  
JOHN DZIECIOLOWSKI  
5795 BENT TREE DRIVE  
EAST LANSING, MI 48823

PROPERTY OWNER  
32020 GRAND RIVER, APT 26  
FARMINGTON, MI 48336

PROPERTY OWNER  
32010 GRAND RIVER, APT 15  
FARMINGTON, MI 48336

PROPERTY OWNER  
32010 GRAND RIVER, APT 16  
FARMINGTON, MI 48336

PROPERTY OWNER  
32020 GRAND RIVER, APT 27  
FARMINGTON, MI 48336

PROPERTY OWNER  
32020 GRAND RIVER, APT 28  
FARMINGTON, MI 48336

PROPERTY OWNER  
32010 GRAND RIVER, APT 17  
FARMINGTON, MI 48336

PROPERTY OWNER  
32010 GRAND RIVER, APT 18  
FARMINGTON, MI 48336

PROPERTY OWNER  
32060 GRAND RIVER, APT 61  
FARMINGTON, MI 48336

MARY BERBEROGLU  
16201 MEADOWS COURT  
MACOMB, MI 48044

SHAKHNOZA ABDUKHAMITOVA  
32050 GRAND RIVER, APT 52  
FARMINGTON, MI 48336

PROPERTY OWNER  
32060 GRAND RIVER, APT 64  
FARMINGTON, MI 48336

MICHAEL MONTI  
CAROLYN MONTI  
44846 WHITMAN AVENUE  
CANTON, MI 48187

PROPERTY OWNER  
32050 GRAND RIVER, APT 54  
FARMINGTON, MI 48336

MATTHEW REIBERT  
14150 TERRACE COURT  
PLYMOUTH, MI 48170

PROPERTY OWNER  
32060 GRAND RIVER, APT 66  
FARMINGTON, MI 48336

JAMES STEPHENS  
ROSE STEPHENS  
9903 N. TOWNSEND DRIVE  
PEORIA, IL 61615

PROPERTY OWNER  
32050 GRAND RIVER, APT 56  
FARMINGTON, MI 48336

FELINO PASCUAL  
AMELIA PASCUAL  
29800 BELFAST STREET  
FARMINGTON HILLS, MI 48336

PROPERTY OWNER  
32060 GRAND RIVER, APT 68  
FARMINGTON, MI 48336

PROPERTY OWNER  
32050 GRAND RIVER, APT 57  
FARMINGTON, MI

PROPERTY OWNER  
32050 GRAND RIVER, APT 58  
FARMINGTON, MI 48336

CHAD SCHMIDT  
10611 WHITEFORD ROAD  
OTTAWA LAKE, MI 49267

PROPERTY OWNER  
32030 GRAND RIVER, APT 32  
FARMINGTON, MI 48336

FARIS SOLOMON  
GERTRUDE SOLOMON  
34287 GLOUSTER CIRCLE  
FARMINGTON HILLS, MI 48331

RUSSELL FREDERICK, JR  
1425 HURON AVENUE  
ROYAL OAK, MI 48073

PROPERTY OWNER  
32030 GRAND RIVER, APT 33  
FARMINGTON, MI 48336

PROPERTY OWNER  
32030 GRAND RIVER, APT 34  
FARMINGTON, MI 48336

PROPERTY OWNER  
32040 GRAND RIVER, APT 44  
FARMINGTON, MI 48336

KATHLEEN HICKS  
29767 SIERRA POINTE CIRCLE  
FARMINGTON HILLS, MI 48331

PROPERTY OWNER  
32030 GRAND RIVER, APT 36  
FARMINGTON, MI 48336

PROPERTY OWNER  
32040 GRAND RIVER, APT 45  
FARMINGTON, MI 48336

BEATRICE HILL-PACK  
19706 CORAL GABLES  
SOUTHFIELD, MI 48076

PROPERTY OWNER  
32030 GRAND RIVER, APT 37  
FARMINGTON, MI 48336

HERBERT WILLIAMS  
CHANDRA WILLIAMS  
6090 STRAWBERRY CIRCLE  
COMMERCE TOWNSHIP, MI 48382

GREGORY COPPOLA  
JANET COPPOLA  
17268 MCNAMARA DRIVE  
LIVONIA, MI 48152

PROPERTY OWNER  
32040 GRAND RIVER, APT 48  
FARMINGTON, MI 48336

PROPERTY OWNER  
32080 GRAND RIVER, APT 84  
FARMINGTON, MI 48336

PROPERTY OWNER  
32080 GRAND RIVER, APT 83  
FARMINGTON, MI 48336

JAMES STEPHENS  
ROSE STEPHENS  
490 W. DOERR PATH  
HERNANDO, FL 34442

LAKSHMINARAYANAN VAIDYANATHAN  
SRIPRIYA SAIRAM  
158 BRADFIELD ROAD  
MADISON, MS 39110

PROPERTY OWNER  
32080 GRAND RIVER, APT 81  
FARMINGTON, MI 48336

JAMES KELLY  
SUSANNE KELLY  
32383 MARBLEHEAD  
FARMINGTON, MI 48336

PROPERTY OWNER  
32070 GRAND RIVER, APT 77  
FARMINGTON, MI 48336

PROPERTY OWNER  
32080 GRAND RIVER, APT 86  
FARMINGTON, MI 48336

MARJORIE JACKSON  
5165 INKSTER ROAD  
BLOOMFIELD HILLS, MI 48302

PROPERTY OWNER  
32090 GRAND RIVER, APT 91  
FARMINGTON, MI 48336

PROPERTY OWNER  
32090 GRAND RIVER, APT 93  
FARMINGTON, MI 48336

PROPERTY OWNER  
32100 GRAND RIVER, APT 106  
FARMINGTON, MI 48336

PROPERTY OWNER  
32100 GRAND RIVER, APT 108  
FARMINGTON, MI 48336

PROPERTY OWNER  
32090 GRAND RIVER, APT 98  
FARMINGTON, MI 48336

PROPERTY OWNER  
32080 GRAND RIVER, APT 82  
FARMINGTON, MI 48336

PROPERTY OWNER  
32080 GRAND RIVER, APT 88  
FARMINGTON, MI 48336

PROPERTY OWNER  
32070 GRAND RIVER, APT 78  
FARMINGTON, MI 48336

PROPERTY OWNER  
32070 GRAND RIVER, APT 76  
FARMINGTON, MI 48336

PROPERTY OWNER  
32100 GRAND RIVER, APT 102  
FARMINGTON, MI 48336

PROPERTY OWNER  
32100 GRAND RIVER, APT 104  
FARMINGTON, MI 48336

JOSEPH BROWN  
CHRISTINA BROWN  
1948 EVONA  
WIXOM, MI 48393

SIMRON ASSET MANAGEMENT, LLC  
6795 OAKHURST RIDGE  
CLARKSTON, MI 48348

PROPERTY OWNER  
32100 GRAND RIVER, APT 107  
FARMINGTON, MI 48336

FSGY, LLC  
32922 BENNETT COURT  
LIVONIA, MI 48152

PROPERTY OWNER  
32070 GRAND RIVER, APT 72  
FARMINGTON, MI 48336

PROPERTY OWNER  
32080 GRAND RIVER, APT 87  
FARMINGTON, MI 48336

PRISTINE ONE MICHIGAN, LLC  
30078 SCHOENHERR ROAD  
WARREN, MI 48088

PROPERTY OWNER  
32070 GRAND RIVER, APT 75  
FARMINGTON, MI 48336

PROPERTY OWNER  
32090 GRAND RIVER, APT 92  
FARMINGTON, MI 48336

PROPERTY OWNER  
32100 GRAND RIVER, APT 103  
FARMINGTON, MI 48336

NANCY WYANT  
585 TEGGERDINE ROAD  
WHITE LAKE, MI 48386

PROPERTY OWNER  
32090 GRAND RIVER, APT 95  
FARMINGTON, MI 48336

PROPERTY OWNER  
32090 GRAND RIVER, APT 97  
FARMINGTON, MI 48336

PROPERTY OWNER  
31806 GRAND RIVER  
FARMINGTON, MI 48336

PROPERTY OWNER  
31930 GRAND RIVER  
FARMINGTON, MI 48336

JEFFREY ZANETTI  
LESLIE ZANETTI  
40301 FAIRWAY III ROAD  
NORTHVILLE, MI 48167

PROPERTY OWNER  
22814 LAKEWAY  
FARMINGTON, MI 48336

PROPERTY OWNER  
22810 LAKEWAY  
FARMINGTON, MI 48336

PROPERTY OWNER  
22800 LAKEWAY  
FARMINGTON, MI 48336

PROPERTY OWNER  
22738 LAKEWAY  
FARMINGTON, MI 48336

AHMED NASEEM  
6895 BROOK HOLLOW COURT  
WEST BLOOMFIELD, MI 48322

PROPERTY OWNER  
22712 LAKEWAY  
FARMINGTON, MI 48336

PROPERTY OWNER  
31690 GRAND RIVER  
FARMINGTON, MI 48336

CREDIT UNION ONE  
400 E. 9 MILE ROAD  
FERNDALE, MI 48220

PROPERTY OWNER  
31831 GRAND RIVER, #1  
FARMINGTON, MI 48336

VICKI KILDAL  
DEANNA KELLEY  
750 QUATRO LANE  
LEONARD, MI 48367

AURFAN YOUSAF  
22641 ALBION AVENUE  
FARMINGTON HILLS, MI 48336

REAL ESTATE INVESTMENT GROUP, LLC  
ATTN: MICHELLE WALDER  
P.O. BOX 784  
WALLED LAKE, MI 48390

WALTER GAJEWSKI  
34002 SHIAWASSEE  
FARMINGTON, MI 48335

PROPERTY OWNER  
31831 GRAND RIVER, #6  
FARMINGTON, MI 48336

PROPERTY OWNER  
31831 GRAND RIVER, #7  
FARMINGTON, MI 48336

PROPERTY OWNER  
31831 GRAND RIVER, #8  
FARMINGTON, MI 48336

NATALIYA DYATLOV  
RUSLAN DYATLOV  
2950 BOLINGBROKE DRIVE  
TROY, MI 48084

JOANNA RANDOLPH  
8750 CLUB HOUSE DRIVE  
BRIGHTON, MI 48116

PROPERTY OWNER  
31831 GRAND RIVER, #11  
FARMINGTON, MI 48336

DANIELL MCNAMARA  
21380 INDIAN CREEK DRIVE  
FARMINGTON HILLS, MI 48335

RACHAEL NICHOLS  
24725 IVYWOOD DRIVE  
FARMINGTON HILLS, MI 48336

PROPERTY OWNER  
31831 GRAND RIVER, #14  
FARMINGTON, MI 48336

PROPERTY OWNER  
31831 GRAND RIVER, #15  
FARMINGTON, MI 48336

GARY GETZ  
C/O ERIC TINNELLY  
10924 ARBOUR DRIVE  
BRIGHTON, MI 48114

PROPERTY OWNER  
31831 GRAND RIVER, #17  
FARMINGTON, MI 48336

DENNISBL, LLC  
6960 ORCHARD LAKE  
WEST BLOOMFIELD, MI 48322

PROPERTY OWNER  
31831 GRAND RIVER, #19  
FARMINGTON, MI 48336

PROPERTY OWNER  
31831 GRAND RIVER, #20  
FARMINGTON, MI 48336

BROOKDALE INVESTMENT, LLC  
32225 W. 9 MILE ROAD  
FARMINGTON HILLS, MI 48336

ROBERT BRADLEY  
CYNTHIA BRADLEY  
34042 LYNCROFT STREET  
FARMINGTON HILLS, MI 48336

PROPERTY OWNER  
31831 GRAND RIVER, #23  
FARMINGTON, MI 48336

LEV LILOV  
OLGA MAKAR LIMANOV  
4870 ARROWHEAD  
WEST BLOOMFIELD, MI 48323

MICHAEL MCLAIN  
1279 CARLSON ROAD  
FRANKFORT, MI 49635

PROPERTY OWNER  
31831 GRAND RIVER, #27  
FARMINGTON, MI 48336

DAWN BUDA GALLAS  
2150 AIRWAY DRIVE  
BRIGHTON, MI 48114

MAUREEN MORRIS  
4460 GREEN LAKE ROAD  
WEST BLOOMFIELD, MI 48323

PROPERTY OWNER  
31831 GRAND RIVER, #30  
FARMINGTON, MI 48336

PROPERTY OWNER  
31831 GRAND RIVER, #31  
FARMINGTON, MI 48336

PROPERTY OWNER  
31831 GRAND RIVER, #32  
FARMINGTON, MI 48336

ZAHRAA AMHAZ  
30210 HIGH VALLEY ROAD  
FARMINGTON HILLS, MI 48331

PROPERTY OWNER  
31831 GRAND RIVER, #34  
FARMINGTON, MI 48336

CHARLES FOSS  
37637 5 MILE ROAD  
LIVONIA, MI 48154

MICHAEL DECENSO  
EMANUELA DECENSO  
24180 ST. MARY COURT  
FARMINGTON, MI 48336

NANCY J. GRANZIN REVOCABLE LIVING TRUST  
C/O TAMARA FORMAN  
6795 OAKHURST RIDGE ROAD  
CLARKSTON, MI 48348

THOR BOYER  
22001 TREDWELL AVENUE  
FARMINGTON HILLS, MI 48336

EUGENE VAN ZANDT  
SUSAN VAN ZANDT  
10456 SKEMAN ROAD  
BRIGHTON, MI 48114

ALBERT DILORETO  
743 N. RIVERSIDE DRIVE  
POMPANA BEACH, FL 33062

PROPERTY OWNER  
31831 GRAND RIVER, #41  
FARMINGTON, MI 48336

31831 GRAND RIVER UNIT 42, LLC  
20881 VERANDA DRIVE  
NOVI, MI 48375

PROPERTY OWNER  
31831 GRAND RIVER, #43  
FARMINGTON, MI 48336

PROPERTY OWNER  
31831 GRAND RIVER, #44  
FARMINGTON, MI 48336

MARK LONG  
1340 EASTWOOD DRIVE  
CIRCLEVILLE, OH 43113

TAMARA FORMAN  
6795 OAKHURST RIDGE ROAD  
CLARKSTON, MI 48348

BRETT DAVIS  
MARIE DAVIS  
20920 ROBINSON  
FARMINGTON HILLS, MI 48336

DANIEL COMBONI  
5827 BEAUCHAMP  
WEST BLOOMFIELD, MI 48322

THOMAS SUTTER  
MARK SUTTER  
22427 HAWTHORNE  
FARMINGTON, MI 48336

MICHAEL KORVUN  
4826 MYRTLE OAK DRIVE  
NEW PORT RICHEY, FL 34653

ASOK ROY  
MANJULA ROY  
1093 A1A BEACH BOULEVARD  
SAINT AUGUSTINE, FL 32080

TERRY BABICS  
ROBERTA BABICS  
27890 PEPPERMILL  
FARMINGTON HILLS, MI 48331

PROPERTY OWNER  
31831 GRAND RIVER, #54  
FARMINGTON, MI 48336

PROPERTY OWNER  
31831 GRAND RIVER, #55  
FARMINGTON, MI 48336

PROPERTY OWNER  
31831 GRAND RIVER, #56  
FARMINGTON, MI 48336

CYNTHIA WARREN  
7228 AUTUMN HILL DRIVE  
WEST BLOOMFIELD, MI 48323

PROPERTY OWNER  
31831 GRAND RIVER, #59  
FARMINGTON, MI 48336

ERIC LUCAS  
SHERYL LUCAS  
3301 BENNINGTON DRIVE  
WIXOM, MI 48393

POINT WEST DEVELOPMENT, LLC  
44425 CHEDWORTH DRIVE  
NORTHVILLE, MI 48167

LAURIE KELLER  
34102 ALTA LOMA  
FARMINGTON, MI 48335

PROPERTY OWNER  
31831 GRAND RIVER, #63  
FARMINGTON, MI 48336

PROPERTY OWNER  
31831 GRAND RIVER, #64  
FARMINGTON, MI 48336

PROPERTY OWNER  
31831 GRAND RIVER, #65  
FARMINGTON, MI 48336

PROPERTY OWNER  
31831 GRAND RIVER, #66  
FARMINGTON, MI 48336

JILL FOX  
431 LIDDY DRIVE  
BRIGHTON, MI 48114

OLIVE LUSH  
22977 FREDERICK  
FARMINGTON, MI 48336

ROBERT BECK  
822 N. 124<sup>TH</sup> COURT  
OMAHA, NE 68154

ANN BARKER  
3947 RESEDA ROAD  
WATERFORD, MI 48329

KIM JARVIS  
P.O. BOX 892  
FARMINGTON, MI 48332

PROPERTY OWNER  
31831 GRAND RIVER, #75  
FARMINGTON, MI 48336

DEREK KELLY  
KERRIE KELLY  
34117 SCHULTE  
FARMINGTON, MI 48335

KURT GAISER  
27599 W. ECHO VALLEY  
FARMINGTON HILLS, MI 48334

SHARON JORDAN-CROWLEY  
770 DEER STREET  
PLYMOUTH, MI 48170

PROPERTY OWNER  
31831 GRAND RIVER, #80  
FARMINGTON, MI 48336

JEFFERY ESPER  
17853 MIDDLEBELT ROAD  
LIVONIA, MI 48152

LAURIE GALVIN  
6705 HERON POINTE  
WEST BLOOMFIELD, MI 48323

PROPERTY OWNER  
31831 GRAND RIVER, #84  
FARMINGTON, MI 48336

PROPERTY OWNER  
31831 GRAND RIVER, #86  
FARMINGTON, MI 48336

31831 GRAND RIVER UNIT 87, LLC  
20881 VERANDA DRIVE  
NOVI, MI 48375

JOSEPH GIULIANI  
3515 ENGLEWOOD STREET  
PHILADELPHIA, PA 19149

CHRISTINE DEBANO  
2255 PONTIAC DRIVE  
SYLVAN LAKE, MI 48320

AMIR HOSSEIN MEHRABI  
10381 RIDGELINE DRIVE  
MILAN, MI 48160

PROPERTY OWNER  
31831 GRAND RIVER, #93  
FARMINGTON, MI 48336

KEN PRIDMORE  
DEBORAH PRIDMORE  
27967 GALIEN DRIVE  
SOUTH LYON, MI 48178

PROPERTY OWNER  
31831 GRAND RIVER, #95  
FARMINGTON, MI 48336

ZHUQING LIANG  
888 PALLISTER STREET  
DETROIT, MI 48202

KENNETH SCHOETTLE  
LAWRENCE SCHOETTLE  
29869 MASON STREET  
LIVONIA, MI 48154

PROPERTY OWNER  
31831 GRAND RIVER, #98  
FARMINGTON, MI 48336

PROPERTY OWNER  
31831 GRAND RIVER, #99  
FARMINGTON, MI 48336

PROPERTY OWNER  
31831 GRAND RIVER, #100  
FARMINGTON, MI 48336

PROPERTY OWNER  
31831 GRAND RIVER, #101  
FARMINGTON, MI 48336

GROVES-WALKER POST 346  
31775 GRAND RIVER  
FARMINGTON, MI 48336

DOLPHIN PLAZA, LLC  
32406 FRANKLIN ROAD, UNIT 250264  
FRANKLIN, MI 48025



**CITY OF FARMINGTON  
GRAND RIVER CORRIDOR IMPROVEMENT AUTHORITY  
MINUTES  
May 9, 2019**

**CALL TO ORDER**

The Farmington Grand River Corridor Improvement Authority meeting was called to order at 8:05 a.m. by Economic and Community Development Director Christiansen.

Members Present: Bowman, Carron, Graham, Thomas  
Members Absent: Accettura, King, O'Dell  
Staff: Christiansen, Murphy, Bowdell

**APPROVAL OF AGENDA**

Motion by Graham, supported by Bowman to approve the agenda. Motion approved unanimously.

**APPROVAL OF MINUTES**

A. Motion by Thomas, supported by Graham to approve the April 11, 2019 minutes. Motion approved unanimously.

**DISCUSSION AND REVIEW OF SPECIAL LAND USE – BURGER KING (FORMERLY PARAMOUNT HOME CARE), 31806 GRAND RIVER AVENUE**

Christiansen introduced this item and provided a review of the proposed Special Land Use and Site Plan to the Board. Representatives of the petitioner/applicant presented the Special Land Use and Site Plan to the Board, Amanda of Burger King and Mark Mathe of Mannik Smith Group. The Board discussed the proposed Burger King, the Special Land Use and the Site Plan-including project details-as proposed. Motion by Bowman, supported by Graham to forward to the Planning Commission with materials submitted by the petitioner/applicant and included in the CIA meeting packet. Motion approved unanimously.

**PUBLIC COMMENT**

John Bowman – concerned about objections to operation and impacts of the proposed Burger King, which is directly adjacent to his house.

David Gaspard – against Burger King in Farmington.

Mike Smith – concerned about impact of proposed Burger King on Lakeway Street and the adjacent residential area/neighborhood; would like petitioner/applicant to consider an alternative location.

Hallie Bard – appreciates Burger King and their interest in Farmington, but is concerned and is against them at this location.

Mark Baltrasz – thinks Burger King does a great job, but does not want Burger King at this location; believes there would be negative impact, detrimental to the neighborhood, and would negatively impact property value.

Don Kenely – concerned about trash and potential impact that could come from Burger King at this location and in the neighborhood.

**BOARD COMMENT**

Bowman – appreciates Burger King and their interest in Farmington, but this is not the right location.

Thomas – also appreciates Burger King and their proposal.

Graham – concerned about potential impact.

Carron – understands concerns.

**ADJOURNED AT 9:20 a.m.**

# Response to the notice regarding Carrols LLC SLU request

For the property currently owned by:

Paramount Home Care, Inc.

31806 Grand River Ave

Farmington, MI 48336

The following pages include feedback from local residents of the surrounding area about the 31806 Grand River Ave property with regards to the Special Land Use request and proposed fast food venue to be built on the site.

**Carrol's responses to the SLU Points of compliance:**

- a. The proposed special land use shall be compatible with and in accordance with the general goals, objectives and policies of the City of Farmington Master Plan.

The proposed special land use maintains the existing commercial frontage, while buffering and green space in the R1P area of the site will protect the adjacent neighborhood from adverse effects to its quality, character, and privacy. The parcel's future land use is listed as a Neighborhood Center in the Farmington Master Plan, which as a restaurant with a drive-through, will complement the uses provided throughout the neighborhood and serve the daily needs of the residents in the community.

**Key Carrol's points:**

- 1. "... while buffering green space in the R1P area of the site will protect the adjacent neighborhood from adverse effects to its quality, character, and privacy."
- 2. "The parcel's future land use is listed as a Neighborhood Center in the Farmington Master Plan, which as a restaurant with a drive-through, will complement the uses provided throughout the neighborhood..."

**Response:**

- 1. Current "natural buffer" between the 1<sup>st</sup> residential and the R1P properties is composed of established hawthorn trees. These trees have not been maintained by the last few previous 31806 Grand River Ave owners; only lawn service has been performed for grass cutting. Any dead trees, broken branches from storm damage or age collection, which has included pickup, cutting, and disposal has been performed by the neighboring residents. As such, these trees are ungroomed with insufficient density to block any incident lighting from the proposed fast food venue's building and drive through. No walled buffer exists between the 1<sup>st</sup> residential and the R1P properties.

BUFFER ZONES (ART. 15 SEC. 35-184.C)

A BUFFER SHALL BE PROVIDED BETWEEN THE SUBJECT SITE AND ALL ADJACENT PROPERTIES AS FOLLOWS:

- 1. MULTIPLE-FAMILY DISTRICT OR USE ADJACENT TO SINGLE-FAMILY RESIDENTIAL DISTRICT OR USE
- 2. INSTITUTIONAL USES ADJACENT TO ANY RESIDENTIAL DISTRICT OR USE
- 3. COMMERCIAL AND OFFICE DISTRICT OR USE ADJACENT TO ANY RESIDENTIAL DISTRICT OR USE.

REQUIRED: 4' WALL AND LANDSCAPING ALONG NORTH PROPERTY LINE. PROVIDED: 4' WALL AND LANDSCAPING ALONG NORTH CURB LINE AS SHOWN.

Below are illustrations of the inadequacy of coverage that provides an insufficient buffer between the C2-to-R1P-to-R1 properties:

Illustration 1:



Illustration 2:



2. The inclusion of a fast food drive-thru venue, with its associated building and drive through lighting, offensive noises, excessive production of traffic, late hours of operations, and offensive odors would not be complimentary to the long-established Single-Family Residential Neighborhood. The atmosphere would change with the templated corporate lighting associated with a typical mega-chain fast food venue. This is due to the absence of excessive external lighting at the existing buildings near the proposed site. The excessive lighting of the buildings would be a nuisance around the clock as the lighting fixtures would remain on into off business hours. Currently the well-established, single family residential street is lit by porch lights and sporadic street lamps. In order to accommodate the hours of a fast food venue, the spill of lights from the drive through menus, parking lot lights, and vehicles from drive through customers during evening and weekend hours would significantly and negatively alter the character of the current neighborhood. Illustration 3 below shows, although photo is grainy, the absence of external lighting in the C2 location as seen from the R1P-to-Residential boundary. The 3 lights that you do see are from across Grand River Avenue; otherwise the lot is unlit and does not intrude into the residential space.



Illustration 3:

Per the Burger King Preliminary Site Plan Drawings, the site plan includes development on Lot Numbers 82, 83, 84, 85, and 118 (see Illustration 4). The Existing Land Use Map printed within the Farmington Master Plan shows Lots 82, 83, 84, 85, and 118 as Commercial/Office Use (see Illustration 5). The Future Use Land Map printed within the Farmington Master Plan shows Lots 82, 83, 84, and 85 as Neighborhood Centers and Lot 118 as Single-Family Residential (see Illustration 6). Therefore, the statement made above about the future land use in the Farmington Master Plan is inaccurate and unfounded. This was also identified on Page 3 of 4 as the second bullet point under Plan Compliance in the Site Plan Review #1, which was conducted by OHM Advisors.

Illustration 4 – BK Site Plan Drawing:

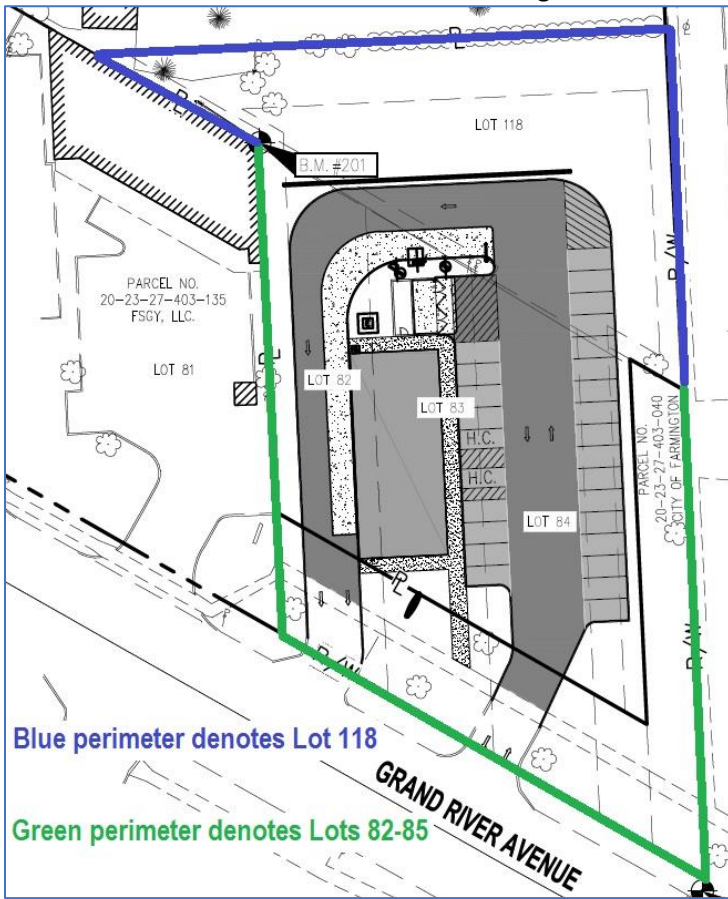


Illustration 5 – Existing Land Use Map:

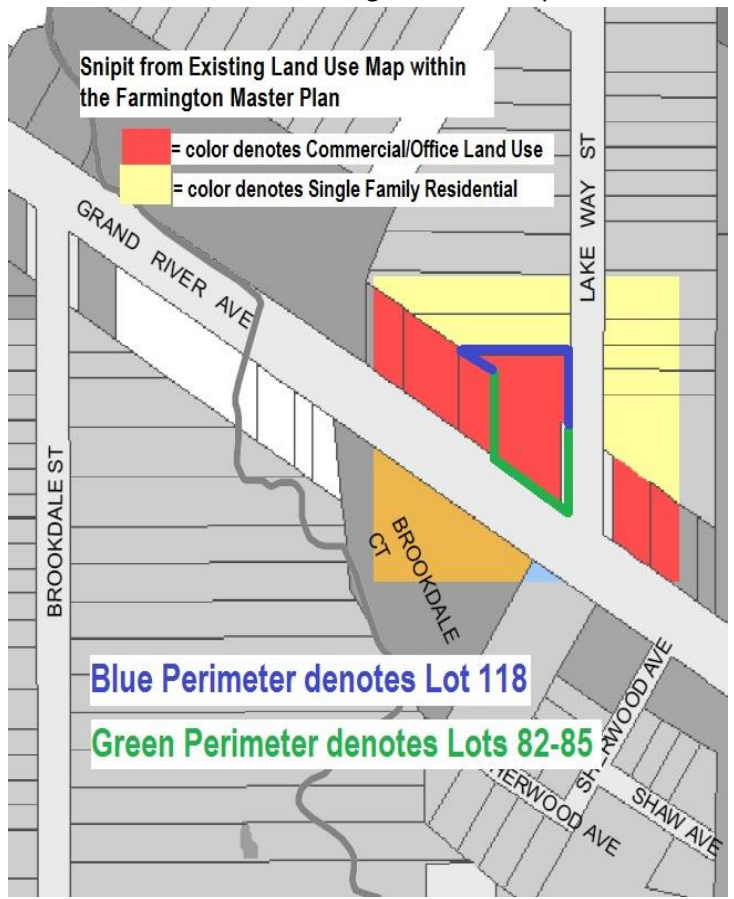
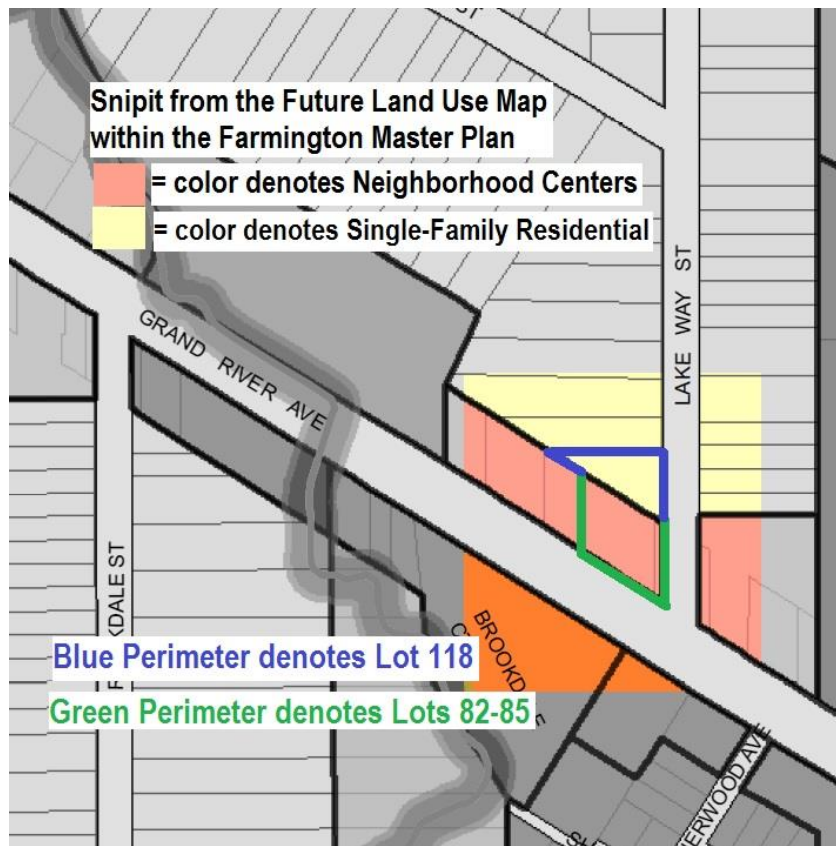


Illustration 6 – Future Land Use Map:



- b. The special land use shall promote the intent of the zoning district in which the use is proposed.

The parcel is zoned C2, Community Commercial, which would be served by the proposed restaurant and drive-through. The intent of the C2 District is to provide convenient services to nearby residents and to harmonize with the character of surrounding uses. The design of the building and layout of the site will coordinate with other businesses in the corridor and positively contribute to the value of the community.

**Key Carrol's points:**

1. "Parcel is zoned C2"
2. "The intent of the C2 District is to provide convenient services to nearby residents and to harmonize with the character of surrounding uses."
3. "...coordinate with other businesses in the corridor and positively contribute to the value of the community."

**Response:**

1. The front portion of the parcel is zoned C2 (Lots 82-85) while the rear portion of the parcel is zoned R1P (Lot 118) Illustration 6 above shows that the future land use for lot 118 is desired to be single-family residential.
2. While part of the Intent of the C2 Community Commercial District is included in the response above, the remainder of the Intent was left out, which states "...and to prohibit uses that might create traffic hazards, offensive noises and late hours of operations." A fast food drive-thru venue will certainly create traffic hazards, offensive noises, and late hours of operations, amongst other unwelcomed nuisances.
3. As shown below in Table 3 and 4 of Appendix B, the hours of operation that have been stated from the Carrol's representative between 6am-11pm, do not coordinate with other businesses within the area surrounding 31805 Grand River Ave. Table 3 shows that the existing businesses have hours of operation less than the 6Am to 11PM range of the proposed fast food venue. The averages were calculated with a zero for any business that is closed. When compared to the average hours of operation for the 13 local businesses the proposed fast food venue will be open 1 ½ hours earlier and 3 ½ later during weekdays. This makes the weekend numbers skewed because only 46% of the businesses are open on Saturday, and 15% on Sunday. Weekend hours for the fast food venue are way outside the established norm.

In addition to their late hours of operation, one of the main purposes of the Farmington Code of Ordinances, Chapter 35 – Zoning is to conserve the property values and long-term stability of residential neighborhoods. Property value statistics show that the addition of a fast food drive-thru will lower residential property values. Therefore, Burger King will not be a positive contribution to the value of the community in this location as it will negatively affect the property values, among other things, of the surrounding residential neighborhood.

- c. The special land use shall be compatible with the existing or intended character of the general vicinity and shall not change the essential character of the area in which it is proposed.

Development on the subject parcel is limited to the C2 zoning portion of the site, which preserves the R1P portion of the parcel to act as buffering and green space to the residential district, located north of the site. The development will retain the existing character of the corridor, and provide a new restaurant and business to the community.

**Key Carrol’s points:**

- 1. “Development on the subject parcel is limited to the C2 zoning portion of the site, which preserves the R1P portion of the parcel...”
- 2. “The development will retain the existing character of the corridor, ...”

**Response:**

- 1. The word development is not synonymous with the word building. Therefore, based on the site plans that have been provided, the R1P, which is Lot 118, portion of the parcel is also being developed on (refer to Illustrations 7, 8, and 9). This will include the removal of some trees that currently exist as well as a parking lot and part of the drive-thru lane itself.

Illustration 7, below, shows a Current State and Future State of the long-established Single-Family Residential Neighborhood corner. The Current State shows the current building, which has been there since 1975. The Future State shows Carrol’s proposed site plan overlaid on top of the Google Map. The colored perimeters are identified below Illustration 7.

Illustration 7 – Current and Future Proposed State:

Current State



Future Proposed State



**Blue Perimeter = R1P Area (Lot 118) Green Perimeter = C2 Area (Lots 82-85) Red Perimeters = Residential Area**

Illustration 8 shows the existing site plan and Illustration 9 shows Carrol's proposed site plan. The red triangle in the Illustrations show the amount of greenspace that will be lost for the addition of the drive through and parking area. We believe it would be in the best interest of the planning commission to have Carrols provide what percentage of the R1P area will be consumed by the parking space and drive through pavement. Visually, it appears to be 1/2 of R1P. The distance from the pavement to the residential boundary along the sidewalk from tree 1 in Illustration 10 to the hawthorns will be reduced from approximately 127ft to 50ft. There is little preservation of the R1P given the substantial amount of lost greenspace to the point that there is marginal buffering now provided; grass does not block headlights.

Illustration 8 – Existing Site Plan:

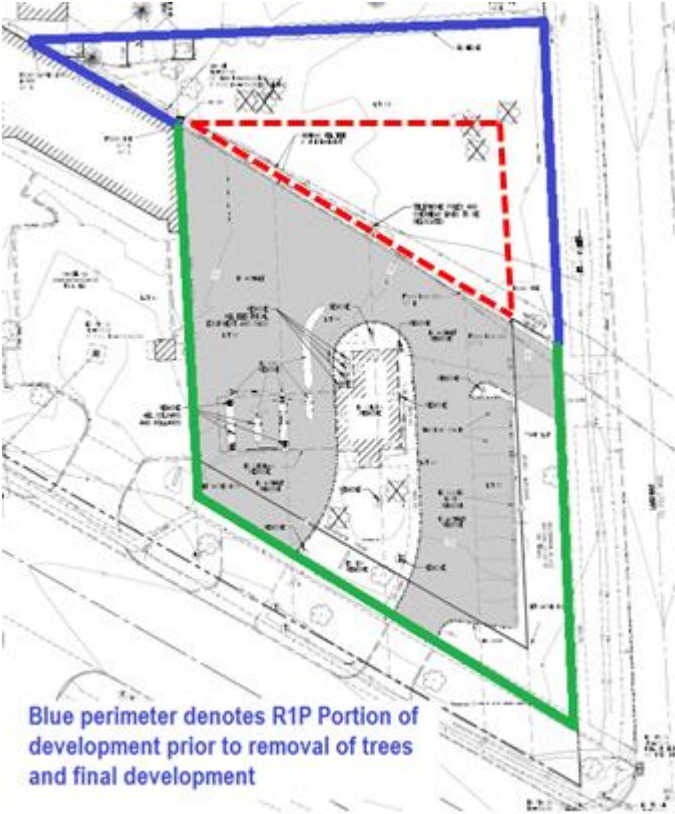


Illustration 9 – Carrol's Proposed Site Plan:





2. The corridor contains more than just the immediate road front boundary locations along Grand River Ave. As Illustrations 8 and 9 show, the loss of significant mature trees that aid in creating the existing buffer between Grand River and the Lakeway residences. Illustration 10 below shows the 4 existing mature trees that would be sacrificed to the parking lot and drive through. The red triangle identifies the space lost in Illustrations 8 and 9. Carrol's proposal is far more substantial than the current building in the C2 space in Illustration 10. It will consume the C2 and the core of the R1P properties. It is essential that planning commission members stand on the sidewalk at the juncture of the two red lines in Illustration 10 that runs parallel to the sidewalk and parallel to the line of Hawthorn trees facing the North corner of the plaza that borders the R1P property to fully comprehend the amount of greenspace loss and the encroachment the Carrol's proposal has upon the residential properties. It destroys the key aspect of having R1P properties as buffers to residential areas. These illustrations counter Carrol's assertion of "which preserves the R1P portion of the parcel..." in #1 above as well. Illustration 11 shows the full effect of providing a buffer between the business and residences provided by the 3 maple trees that will be cut down. The C2 and R1P lots will be flat pavement and grass with some shrubbery added.

Illustration 10:



Illustration 11:

- d. The special land use shall be served adequately by public facilities and services such as traffic operations, police and fire protection, drainage structures, water and sewer facilities and schools.

The proposed special land use is served by public water and sanitary sewer, and will result in a reduced storm water runoff rate by detaining water on-site and discharging through a metered outlet. The storm water discharge will also be treated to address water quality, in accordance with Federal requirements. The special use proposed will not cause an undue burden on local police or fire protection services, and will result in an attractive redevelopment of an existing building.

**Key Carrol's points:**

1. "... will result in a reduced storm water runoff rate by detaining water on-site ..."

**Response:**

1. The ½ of the R1P lot being paved, there is reduced capacity to detain runoff. There will now be the potential for additional water to infiltrate the residential property and could lead to potential water intrusion into the homeowner's basement.

- e. The proposed special land use shall not involve uses, activities, processes, materials, equipment or conditions of operation that in comparison to the uses permitted in the district, will be detrimental to the natural environment, public health, safety or welfare.

The special land use proposed for this site (drive-through incidental to a restaurant) will complement the proposed development of the site and surrounding areas. The special land use will not be detrimental to the natural environment or the health, safety, or welfare of the public. The site is not located within a floodplain area, and the proposed use will redevelop an existing parcel within the urban area of the corridor.

**Key Carrol's points:**

1. "...compliment the proposed development of the site and surrounding areas."
2. "...will not be detrimental to the natural environment or the health, safety, or welfare of the public."

**Response:**

1. During the CIA meeting, the Carrols representative stated that the expected hours of operation would be 6AM to 11PM, and that peak lunch service would be approximately 50 customers an hour.

The surrounding businesses maintain business hours do not comprehend such a broad range of business hours. Clearly weekday evenings from 6PM and beyond, which is a reasonable timeframe to consider "family hours" in which families would be together following parents return from their primary employment locations, would be encroached upon. A family's ability to either relax in "peace and quiet" or play outdoors would be interrupted by the lights, sounds, and smells of a fast food venue near their residences. Often the R1P is used by neighbors to play catch. The overall decrease in appeal to play in the R1P location due to the presence of the associated smell, traffic flow, and noise would be greatly reduced, or made no longer appealing to use at all. Families would be forced to retreat indoors or drive to another location to play. This renders the immediate residential areas unappealing to live or own property.

Engineer Gary Rouse, of GBC Design Inc., who represented Carrol's on a Recent Construction project stated "Burger King's business is 70 percent drive-through, so it's very important to them,"

<https://www.cleveland.com/community/2019/04/burger-king-returns-with-drive-thru-plans-for-mayfield-road-in-south-euclid.html>

If one were to categorize service times and vehicle flow relative to the Carrol's stated peak flow value for their fast food venue into 4 categories:

- Breakfast – 0.6 6-9AM
- Lunch – 1.0 11AM-1PM
- Dinner – 0.8 4-6PM
- Other – 0.4

Table 1: 50 Customers@peak, 70% Vehicle, 1 Customer per Vehicle

	AM							PM											Total
	6	7	8	9	10	11	12	1	2	3	4	5	6	7	8	9	10	11	
Business flow	0.6	0.6	0.6	0.4	0.4	1	1	1	0.4	0.4	0.8	0.8	0.8	0.4	0.4	0.4	0.4	0.4	
Customers	30	30	30	20	20	50	50	50	20	20	40	40	40	20	20	20	20	20	
Vehicles (70% of customers; 1 per veh)	21	21	21	14	14	35	35	35	14	14	28	28	28	14	14	14	14	14	
GR Transitions	42	42	42	28	28	70	70	70	28	28	56	56	56	28	28	28	28	28	

Table 2: 50 Customers@peak, 70% Vehicle, 2 Customer per Vehicle

	AM							PM											Total
	6	7	8	9	10	11	12	1	2	3	4	5	6	7	8	9	10	11	
Business flow	0.6	0.6	0.6	0.4	0.4	1	1	1	0.4	0.4	0.8	0.8	0.8	0.4	0.4	0.4	0.4	0.4	
Customers	30	30	30	20	20	50	50	50	20	20	40	40	40	20	20	20	20	20	
Vehicles (70% of customers; 2 per veh)	11	11	11	7	7	18	18	18	7	7	14	14	14	7	7	7	7	7	
GR Transitions	21	21	21	14	14	35	35	35	14	14	28	28	28	14	14	14	14	14	

The tables above illustrate estimated vehicle and Grand River transitions count per day. Using the estimate of 50 customers per hour at peak hours, the two tables provide a range of Grand River transitions when the estimated number of vehicles is 1 and 2 customers per vehicle. There would be approximately 540 customers daily and with 70% of customers being vehicular, between 189-378 vehicles perform between 378-756 Grand River transitions per day. An actual study would have to be commissioned to evaluate the vehicle flow of the neighboring businesses between the Rouge Bridge and Mooney St. It would be a reasonable estimate to say that the fast food venue’s daily vehicle flow would be greater than the total flow of all the combined businesses that are currently in the vicinity of 31806 Grand River Ave. This influx of vehicle traffic would significantly alter the character of the neighborhood.

Given the estimated 540 vehicles per day, that results in 1080 transitions into and out of the location’s parking lot/drive thru to Grand River Ave. The traffic appendix below includes illustrations 16-19 and show the increased complexity of traffic flow into and out of the location relative to the center turn lane. Traffic already conflicts within the center turn lane as East bound Grand River to Lakeway and West bound Grand River to Brookdale traffic are often at a stale mate. With the huge influx of vehicle transitions associated with the proposed fast food venue added, the space just West of the Lakeway-to-Grand River intersection will become the busiest and highest risk junction in Farmington. The probability of accidents and traffic log jams greatly increases during peak morning and afternoon school vehicle flow. Beyond the vehicle congestion, the fact that many residents of Lakeway and Brookdale condominiums will now have extended wait and risk when entering and exiting their residences. Illustration 18 demonstrated the increased complexity of the intersection. Although the existing drive through presents the same traffic complexity, it is the dramatic increase in traffic volume that DOES NOT COMPLIMENT the current location. This degrades the existing quality of life and ownership appeal to current and any potential residences. This situation clearly illustrates why a Special Land Use should not be granted for any fast food venue proposed for the 31806 Grand River Ave location.

- To quote the Farmington Code of Ordinances, Chapter 35 – Zoning, Article 12 – Special Land Uses, Section 35-152.A.5 – Standards for Approval, “The proposed use or activity shall not involve uses, activities, processes, materials and equipment or conditions of operation that, in comparison to permitted uses in the district, will be detrimental to the natural environment, public health, safety or welfare by reason of excessive production of traffic, noise, smoke, odors or other such nuisance.” This Special Land Use will be detrimental by reason of excessive production of traffic, noise, odors, and other such nuisances.

During the Site Plan Review at the Planning Committee Meeting, held June 10<sup>th</sup>, an inquiry was made regarding the Ordering Speaker and how it might affect the surrounding residential neighborhood. It was explained that the speaker system is built to adapt to the ambient noise, which entails the speaker getting louder as the ambient noise gets louder so the person in the drive-thru can hear their order. When asked where the speaker system points, various answers were provided, including first, pointing directly towards the residential neighborhood and changing that direction to be towards the back-right corner of the property. The representatives of Carol's were also asked about the height of the ordering signs compared to the height of the wall at the back of the property. They stated that they had never been asked that question before but that the buffer wall at the back of the property would protect the neighboring residents. Illustrations 12 and 13 below show the ordering boards and order confirmation units as they are drawn within the site plan. The speaker points directly towards the neighboring property line. Also, Illustration 14 shows a full-size truck, standing at 78" tall, or 6'5", stopped next to 1 of 2 ordering boards at a local BK in Westland, MI. The ordering board stands taller than the full-size truck. This means the ordering board is at least ~6'5" tall in comparison to the 4' high buffer wall to the North of the property.

Illustration 12:



Illustration 13:

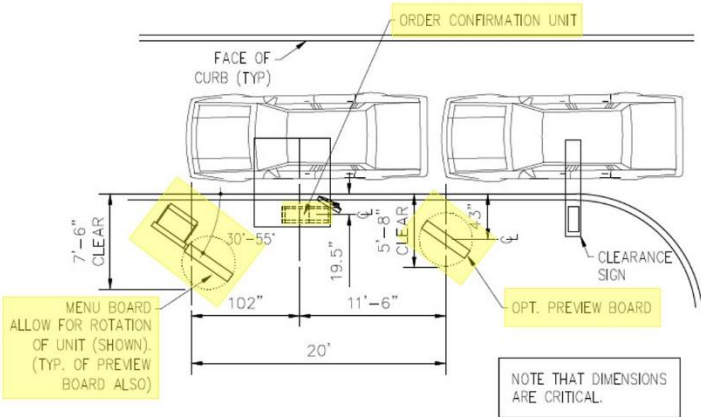
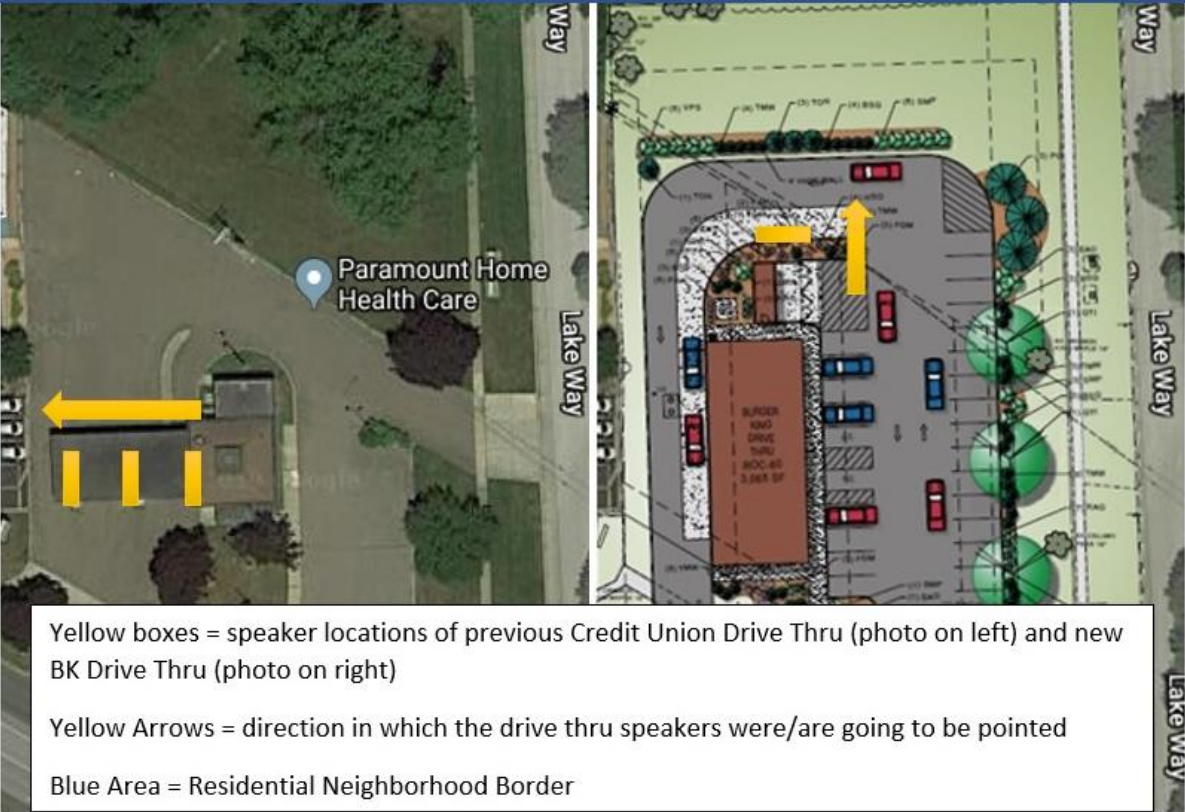


Illustration 14:



While the current building on the property was previously a Credit Union with speaker systems, there are many differences between these properties and their effects on the bordering neighborhood. In Illustration 15 below, the speaker units are highlighted in yellow, including a directional arrow of where the speaker systems point. These are also shown in relation to the residential area to the North of the property, which is overlaid in blue.

Illustration 15:



## Appendix A: SLU requirements

### Sec. 35-152. - Standards for Approval.

- A. Prior to approving a special land use application the planning commission shall require that the following general standards, in addition to the specific standards noted for individual uses in section 35-158, special land use specific requirements, be satisfied. The proposed use or activity shall:
1. Be compatible and in accordance with the goals, objectives and policies of the City of Farmington Master Plan.
  3. Be constructed, operated and maintained so as to be compatible with the existing or intended character of the general vicinity and so as not to change the essential character of the area in which it is proposed.
  5. Not involve uses, activities, processes, materials and equipment or conditions of operation that, in comparison to permitted uses in the district, will be detrimental to the natural environment, public health, safety or welfare by reason of excessive production of traffic, noise, smoke, odors or other such nuisance.

(Ord. No. C-746-2010, § 1, 4-19-10)

### Sec. 35-158. - Special Land Use Specific Requirements.

The general standards and requirements of section 35-152, standards for approval, are basic to all uses authorized by a special land use approval. However, certain special land uses, because of their unique character and potential impacts on the welfare of adjacent properties and the city, require additional specific requirements. Such uses are listed below with specific standards and regulations that must be met in addition to the general standards of section 35-152, standards for approval, and other sections of this chapter. Any deviation or waiver from these specific standards must be reviewed and approved by the city council.

#### H. Commercial Buildings—Expansions into R1P District.

4. Adequate buffering, as determined by planning commission, must be provided and may consist of walls, fencing, landscaping or a combination of these that will adequately protect adjacent residential districts and uses.
  - Current site plan does not provide adequate buffering to protect residential districts. Current plan does not include wall at the back and sides of RP1 to deter foot traffic and parking on Lakeway Street.

#### I. Reserved for Future Use.

#### J. Drive-Through Window Facilities for Banks, Restaurants, Pharmacies or Other Permitted Uses.

6. Outdoor speakers for the drive-through facility shall be located in a way that minimizes sound transmission toward neighboring properties and uses.
  - Proposed site plan does not minimize sound transmission towards neighboring properties.
    - Speakers facing homes
    - Radio and car noises not protected to homes

#### Q. Off-Street Parking in R1P Districts.

4. The parking area must be screened with walls, fencing, landscaping or a combination of these which will adequately screen vehicles and headlights from adjacent residential districts and uses, as determined by planning commission.
  - The proposed plan does not provide a wall to screen vehicles and headlights from residential down Lakeway Street.

# Appendix B: City of Farmington Zoning and Master Plan

## Pertinent References from the Code of Ordinances of the City of Farmington:

(Symbol ≡ identifies sections that were intentionally left out as they did not pertain to response)

**Code of Ordinances of the City of Farmington, Michigan, Part II, Chapter 35 – Zoning, Article 1 – Title and Purpose, Section 35-2 – Purpose:** This chapter is based on the adopted City of Farmington Master Plan and any similar plans addressing development patterns and goals. It is intended to regulate the use of land, buildings and structures to promote the public health, safety and general welfare by accomplishing the following:

≡

B. Accommodating and promoting land uses which are compatible with the city's character

C. Conserving the property values and long-term stability of residential neighborhoods, commercial districts, and industrial areas

≡

E. Limiting or prohibiting improper use of land

F. Reducing hazards to life and property

G. Promoting safe conditions for motorists, pedestrians and bicyclists by maintaining an acceptable level of service along streets and at driveways within the city

≡

I. Establishing controls over incompatible land uses and uses which may need particular regulations as special land uses to be compatible with surrounding development patterns and zoning

≡

L. Balancing the city's right to require compatible and quality development with the property owners' right to a reasonable rate of return on investment

**Code of Ordinances of the City of Farmington, Michigan, Part II, Chapter 35 – Zoning, Article 4 – Single Family Residential Districts, Section 35-71 – Intent:** The regulations of these districts are intended to encourage a suitable environment for low to moderate density residential development and compatible, supportive recreational, religious and educational uses. The R1, R1A, R1B and R1C districts are intended to preserve existing residential neighborhoods and provide for those uses that add to the residents' quality of life. The R1D district is a Planned Unit Development (PUD), intended to provide large lots and open space, created through the preservation of natural features.



**Code of Ordinances of the City of Farmington, Michigan, Part II, Chapter 35 – Zoning, Article 7 – Business and Commercial Districts, Section 35-101 – Intent:** The C2 Community Commercial District is intended to create mixed-use neighborhood centers with retail services that provide convenience shopping of persons residing in nearby residential areas. The intent of this district is to concentrate businesses that harmonize with the character of the surrounding uses, and to prohibit uses that might create traffic hazards, offensive noises, and late hours of operation. As a mixed use neighborhood center, this district may also include multiple-family residential, such as apartments above retail uses.

**Code of Ordinances of the City of Farmington, Michigan, Part II, Chapter 35 – Zoning, Article 12 – Special Land Uses, Section 35-151 – Intent:** The intent of this article is to provide standards for special land uses, which are uses which under usual circumstances, could be detrimental to other land uses permitted within the same zoning district, but may be permitted because of circumstances unique to the location of the particular use. This article will provide standards for the planning commission to determine the appropriateness of a given special land use. Accordingly, special land uses should not be permitted without consideration of relevant restrictions or conditions being imposed which address their unique characteristics.

**Code of Ordinances of the City of Farmington, Michigan, Part II, Chapter 35 – Zoning, Article 12 – Special Land Uses, Section 35-152 – Standards for Approval:**

- A. Prior to approving a special land use application the planning commission shall require that the following general standards, in addition to the specific standards noted for individual uses in [section 35-158](#), special land use specific requirements, be satisfied. The proposed use or activity shall:
1. Be compatible and in accordance with the goals, objectives and policies of the City of Farmington Master Plan
  2. Promote the intent of the zoning district in which the use is proposed
  3. Be constructed, operated and maintained so as to be compatible with the existing or intended character of the general vicinity and so as not to change the essential character of the area in which it is proposed
  4. Be served adequately by public facilities and services, such as traffic operations along streets, police and fire protection, drainage structures, water and sewage facilities and primary and secondary schools
  5. Not involve uses, activities, processes, materials and equipment or conditions of operation that, in comparison to permitted uses in the district, will be detrimental to the natural environment, public health, safety or welfare by reason of excessive production of traffic, noise, smoke, odors or other such nuisance

**Code of Ordinances of the City of Farmington, Michigan, Part II, Chapter 35 – Zoning, Article 12 – Special Land Uses, Section 35-158 – Special Land Use Specific Requirements:** The general standards and requirements of section 35-152, standards for approval, are basic to all uses authorized by a special land use approval. However, certain special land uses, because of their unique character and potential impacts on the welfare of adjacent properties and the city, require additional specific requirements. Such uses are listed below with specific standards and regulations that must be met in addition to the general standards of section 35-152, standards for approval, and other sections of this chapter. Any deviation or waiver from these specific standards must be reviewed and approved by the city council.

≡

J. *Drive-Through Window Facilities for Banks, Restaurants, Pharmacies or Other Permitted Uses*

1. Sufficient stacking capacity in accordance with [Article 14](#), Parking and Loading Standards, for the drive-through portion of the operation shall be provided to ensure that traffic does not extend into the public right-of-way
2. A bypass lane shall be provided around the drive-through window
3. In addition to parking space requirements for restaurants and pharmacies, at least three (3) parking spaces shall be provided, in close proximity to the exit of the drive-through portion of the operation, to allow for customers waiting for delivery of orders
4. Direct vehicular access connections with adjacent commercial developments shall be provided where feasible as determined by the planning commission
5. The proposed clearance of any canopy shall be noted on the site plan. The canopy shall be no higher than the principal building
6. Outdoor speakers for the drive-through facility shall be located in a way that minimizes sound transmission toward neighboring properties and uses

≡

Q. *Off-Street Parking in R1P Districts*

1. Off-street parking in the R1P single-family parking district may be permitted as an expansion of an existing parking lot or new construction in conjunction with an approved commercial use
2. A parking study must be provided demonstrating that parking on a nonresidentially zoned lot is not adequate
3. All access to the off-street parking area shall be provided from the commercial property and/or the street on which the commercial property fronts. Access from a residential or local street is prohibited
4. The parking area must be screened with walls, fencing, landscaping or a combination of these which will adequately screen vehicles and headlights from adjacent residential districts and uses, as determined by planning commission

≡

**Code of Ordinances of the City of Farmington, Michigan, Part II, Chapter 35 – Zoning, Article 13 – Site Plan Review, Section 35-161 – Intent:**

It is the intent of this article to require site plan review and approval prior to issuance of a zoning compliance permit for certain buildings, structures and uses to ensure that the arrangement, location, design and materials within a site are consistent with the character of the city and the goals and design guidelines in the City of Farmington Master Plan. In particular, the standards herein are intended to minimize negative impacts on natural resources, utility systems, public service delivery, traffic operations, adjacent neighborhood or district character and the character of future development.

≡

D. Standards for Approval: Based upon the following standards, the planning commission may deny, approve, or approve with conditions the plan:

1. *Site Design Characteristics.* All elements of the plan shall be designed to take into account the site's topography; the size and type of lot; the character of adjoining property; the type and size of buildings; pedestrian circulation and the traffic operations of adjacent streets. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter. The site shall be designed to conform to all provisions of this chapter.

≡

6. *Access, Driveways and Circulation.* Safe, convenient, uncongested and well-defined vehicular circulation within and to the site shall be provided and shall meet the following criteria:

a. Drives, streets, parking and other elements shall be designed to discourage through traffic, while promoting safe and efficient traffic operations within the site and at its access points.

≡

c. Access to the site shall be designed to minimize conflicts with traffic on adjacent streets, particularly left turns into and from the site.

d. For uses having frontage and/or access on a major street, the number, design, and location of access driveways and other provisions for vehicular circulation shall comply with the provisions of [Article 14](#), Off-Street Parking and Loading Standards and Access Design.

≡

9. *Parking.* The number and dimensions of off-street parking spaces shall be sufficient to meet the minimum required by [Article 14](#), Off-Street Parking and Loading Standards and Access Design. Parking lots shall be designed to minimize the amount of impermeable surface.

10. *Loading.* All loading and unloading areas and outside storage areas, including waste receptacles, shall be accessed and screened in accordance with [section 35-174](#), off-street loading and unloading.

11. *Waste Receptacles.* Waste receptacles shall be provided as required in [section 35-51](#), waste receptacles and enclosures.

12. *Lighting.* Exterior lighting shall be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets in accordance with [section 35-48](#), exterior lighting.

≡

16. *Noise.* The site has been designed, buildings so arranged, and activities/equipment programmed to minimize the emission of noise, particularly for sites adjacent to residential districts and to comply with the city's noise ordinance

## **Pertinent References from the City of Farmington Master Plan**

**Chapter One: Introduction:** Master plans are guides for the future that recommend how communities should be developed, maintained and redeveloped in order to meet their future goals. A sound master plan helps maintain a logical land use pattern and community character that will produce a highly desirable community. A plan also allows residents, business owners and developers to make property investments with a reasonable expectation of what will happen to their surroundings in the future.

The master plan goals and future land use plan will assist City leaders in substantive, thoughtful decisions that consider the long-term implications for the community. These community-wide implications may not be immediately apparent to the individual property owner or citizen, but the impacts of each decision are linked and become visible over time. Poor planning decisions are difficult to eliminate; most linger forever. The master plan can be viewed as a community blueprint for the future, a mechanism to help ensure each decision fits as part of the whole.

Among the many reasons for the master plan are the following:

- Present a future land use map that illustrates how land use patterns will be maintained.
- Provide a legal basis for zoning and other regulations for the type, intensity and character of development.
- Outline specific strategies to address situations where one land use is not compatible with an adjacent land use.
- Desire to provide a sustainable community, a land use pattern which translates into a diversified tax base to support the desired facilities and services with reasonable tax rates.
- Provide specific recommendations for redevelopment along main thoroughfares.
- Provide a basis and framework for more detailed planning of specific public improvements and facilities.
- Coordinate land use recommendations with infrastructure improvements.

**Chapter Four: Future Land Use:** The future land use plan establishes land use categories, illustrates the location of planned land uses and provides strategies for implementation. This section also provides a rationale for the placement of preferred land uses and the intensity of those uses. The plan serves as the primary policy guide for future land use decisions, investment in public improvements and coordination of public improvements and private development. The plan presents an idealized future indicated by the growth patterns in the City. The plan, however, also provides the practical guidance local decisionmakers need regarding today's issues. It is the intent of the plan to assist in the orderly development and redevelopment of the City and to assist the community in enhancing its vision for the future.

#### **Chapter Four: Future Land use Recommendations:**

- *Single Family Residential:* Single family residential areas are almost exclusively subdivided and developed with detached single family dwellings. The plan recommends maintaining the current well-balanced mixture of single family residential neighborhoods. As pointed out in the Community Profile section of this Master Plan, Farmington has a relatively small percentage of single family residential dwellings and land use area when compared to similar cities in southeast Michigan. Because of this, the plan recommends maintaining much of the existing single family residential and seeking opportunities to create additional single family residential through infill development. Other opportunities to strengthen the existing housing stock should also be pursued.
- *Neighborhood Centers:* This land use category refers to commercial uses of a smaller scale and lower intensity land uses on small lots with limited parking and low traffic volumes. The types of uses in the neighborhood commercial areas should be limited to retail, restaurants and personal service establishments necessary to meet the daily needs of City residents. This area can also include banks and small-scale office service uses such as offices for insurance agents or real estate brokers, large scale commercial uses or uses that are heavily auto-oriented should not be encouraged in these areas. These neighborhood centers are located in close proximity to the residential neighborhoods they serve and should include design elements that are compatible with surrounding residential uses. While most buildings in this category will be single story, second floor offices or apartments should be allowed
- *General Commercial:* This commercial designation refers to larger scale and more intense commercial uses including larger multi-tenant strip shopping centers. Types of commercial uses include retail, restaurants, personal service and office. These uses will tend to be located on large sites, have larger buildings, provide more expansive off-street parking and include truck-unloading areas. These uses should be further separated from surrounding residential areas through the use of larger setbacks, physical barriers and transitional land uses. General Commercial areas typically do not include residential uses; however, future redevelopment of some of the outdated shopping centers could look at creating a new mixed use environment. This would need to be done through a complete redevelopment of the area to transform from an auto-oriented center to a mixed use neighborhood and would best be handled under a Planned Unit Development.

## Appendix B: Current Business Hours of Neighboring Businesses:

Any references to core “business hours” will generally be applied to the following time slots in which the businesses are expected to be open. Durations are based upon the current business hours of operation for businesses along Grand River Ave within ~ ¼ mile in each direction from the 31806 Grand River Ave location. This is comprised of businesses from the Rough River Bridge west of the location to Mooney St east of the location. See below for the average opening and closing times for the included businesses.

Table 3: Daily Business Hours

	Monday		Tuesday		Wednesday		Thursday		Friday		Saturday		Sunday	
	AM	PM	AM	PM	AM	PM	AM	PM	AM	PM	AM	PM	AM	PM
<b>Metro PCS</b>	9:00	8:00	9:00	8:00	9:00	8:00	9:00	8:00	9:00	8:00	9:00	7:00	11:00	5:00
<b>Liberty Tax Service</b>	Closed	Closed	3:00 PM	7:00	Closed	Closed	Closed	Closed	Closed	Closed	9:00	1:00	Closed	Closed
<b>Alterations % Repairs</b>	9:30	6:00	9:30	6:00	9:30	6:00	9:30	6:00	9:30	6:00	9:30	4:00	Closed	Closed
<b>AJ Danboise</b>	7:00	7:00	7:00	7:00	7:00	7:00	7:00	7:00	7:00	7:00	Closed	Closed	Closed	Closed
<b>Johnny Weekend</b>	8:00	9:00	8:00	9:00	8:00	9:00	8:00	9:00	8:00	9:00	11:00	9:00	11:00	9:00
<b>Meshach</b>	Closed	Closed	Closed	Closed	9:00	6:00	9:00	6:00	9:00	6:00	9:00	6:00	Closed	Closed
<b>DMX</b>	5:30 PM	8:30	5:30 PM	8:30	5:30 PM	8:30	5:30 PM	8:30	5:30 PM	8:30	Closed	Closed	Closed	Closed
<b>Kings Garage</b>	7:30	6:00	7:30	6:00	7:30	6:00	7:30	6:00	7:30	6:00	Closed	Closed	Closed	Closed
<b>Credit Union</b>	10:00	8:00	10:00	8:00	10:00	8:00	10:00	8:00	9:00	6:00	Closed	Closed	Closed	Closed
<b>Grand Tuxedo</b>	11:00	6:00	11:00	6:00	11:00	6:00	11:00	6:00	11:00	6:00	10:00	4:00	Closed	Closed
<b>Top Driver</b>	9:00	5:00	9:00	5:00	9:00	5:00	9:00	5:00	9:00	1:00	Closed	Closed	Closed	Closed
<b>Zanetti Dentistry</b>	10:00	7:00	8:00	5:00	8:00	1:00	7:00	5:00	Closed	Closed	Closed	Closed	Closed	Closed
<b>Shlafer Dentistry</b>	10:00	7:00	8:00	5:00	8:00	5:00	8:00	5:00	Closed	Closed	Closed	Closed	Closed	Closed
<b>Ratio of Stores Open</b>	0.85		0.92		0.92		0.92		0.92		0.46		0.15	
<b>Average</b>	8:30	7:00	9:00	7:00	9:00	6:30	8:30	7:00	7:30	6:00	4:30	2:30	1:30	1:00

Average rounded to the nearest ½ hour

Table 4: Overall Average Business hours

	Opening	Closing
<i>Weekdays (Mon-Fri)</i>	8:30AM	6:30PM
<i>Weekends (Sat-Sun)</i>	3:00AM	2:00PM

Average rounded to the nearest ½ hour

# Appendix C: 31806 Juncture Traffic Flow

Illustration 16: Proposed site layout superimposed on intersection graphic

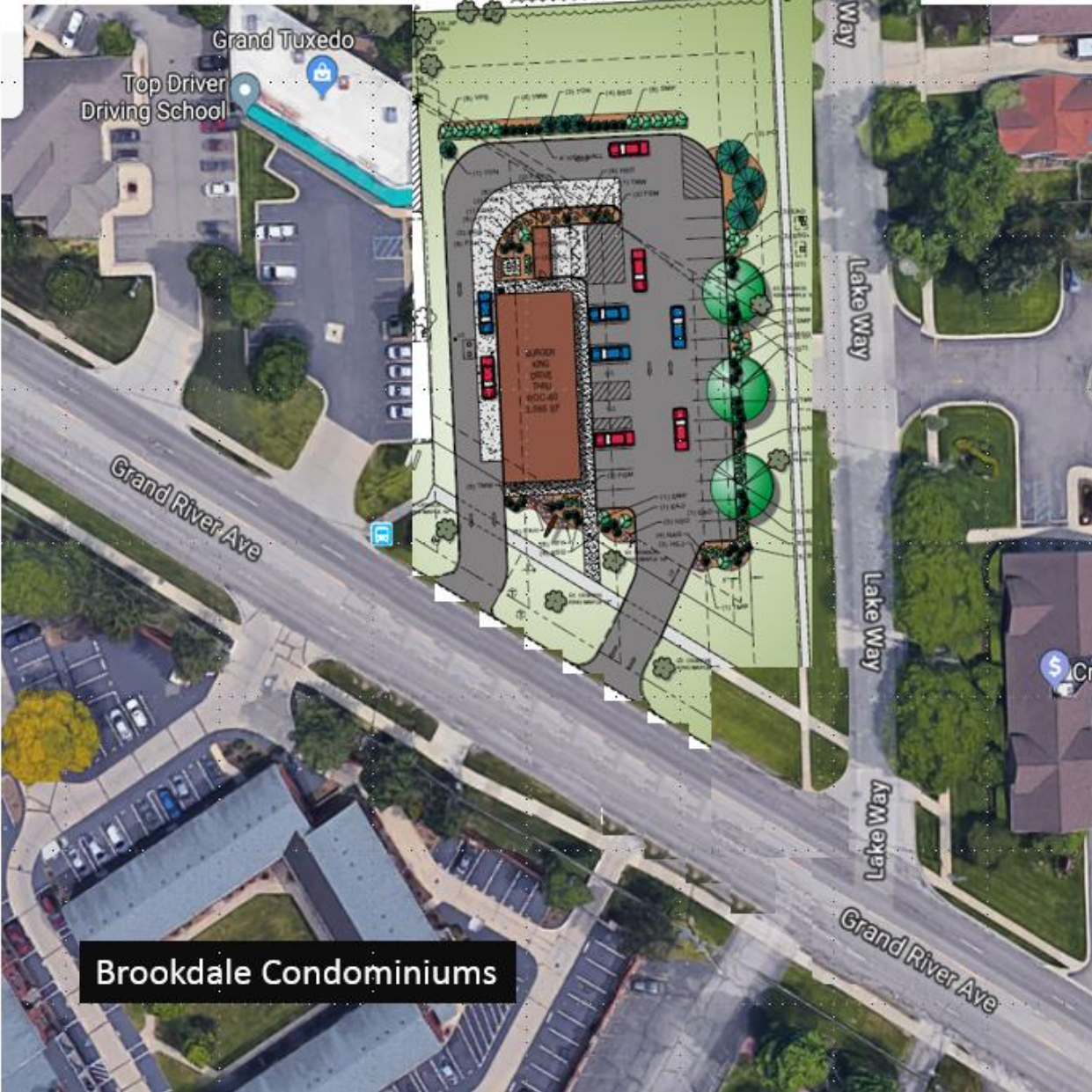


Illustration 17: Intersection depicting:

Yellow: Center turn lane between the two yellow lines

Red: Flow for turning options onto and off Grand River

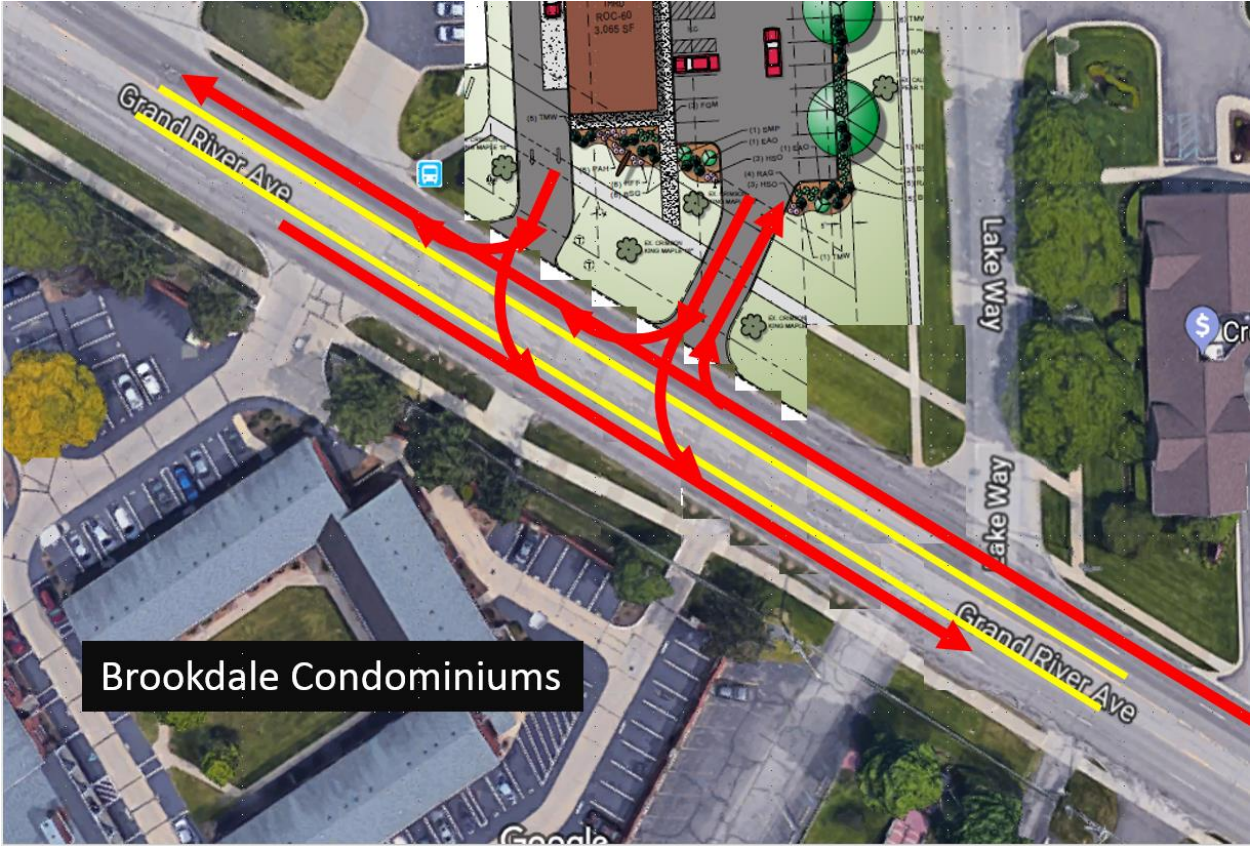




Illustration 18: Intersection depicting:

Yellow: Center turn lane between the two yellow lines

Red: Flow for turning options onto and off Grand River

Blue: Flow for turning into and out Lakeway

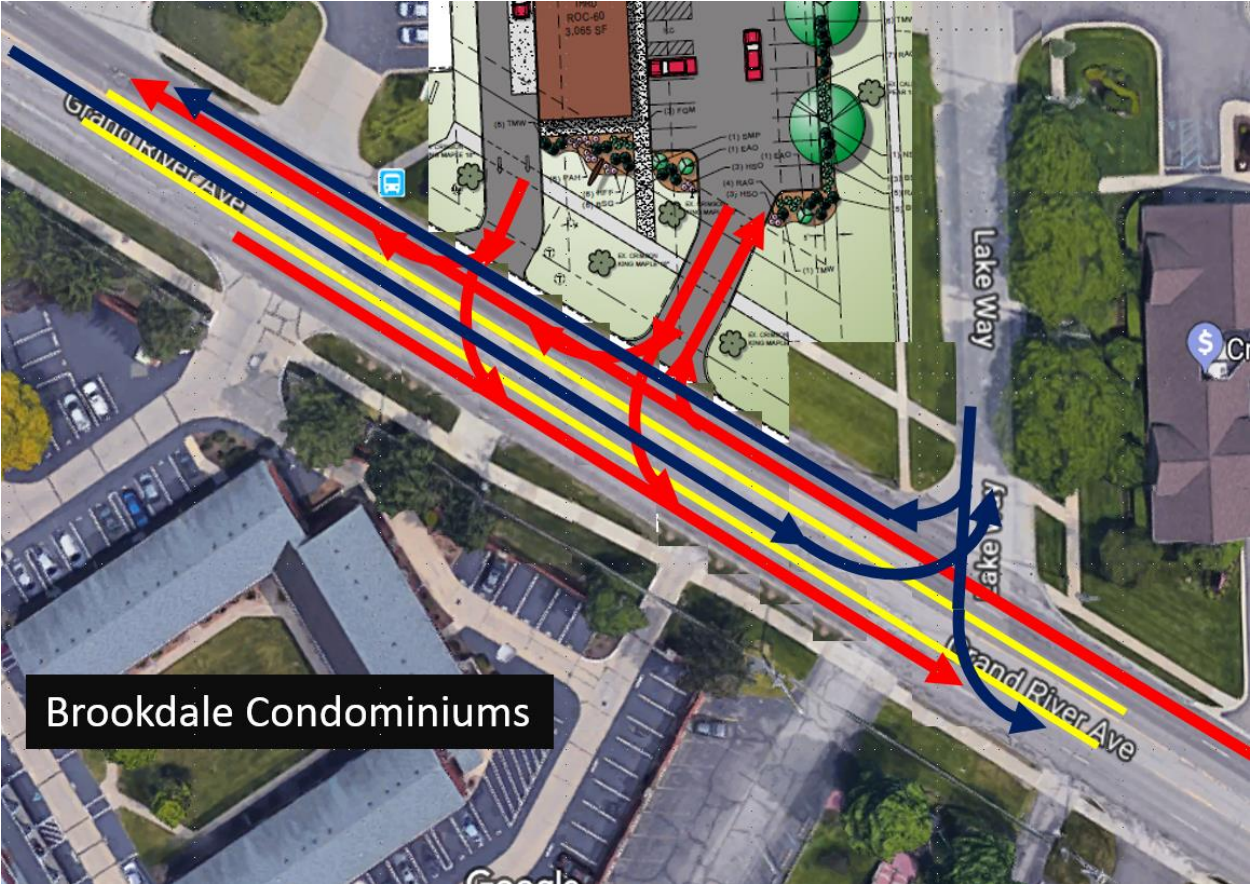


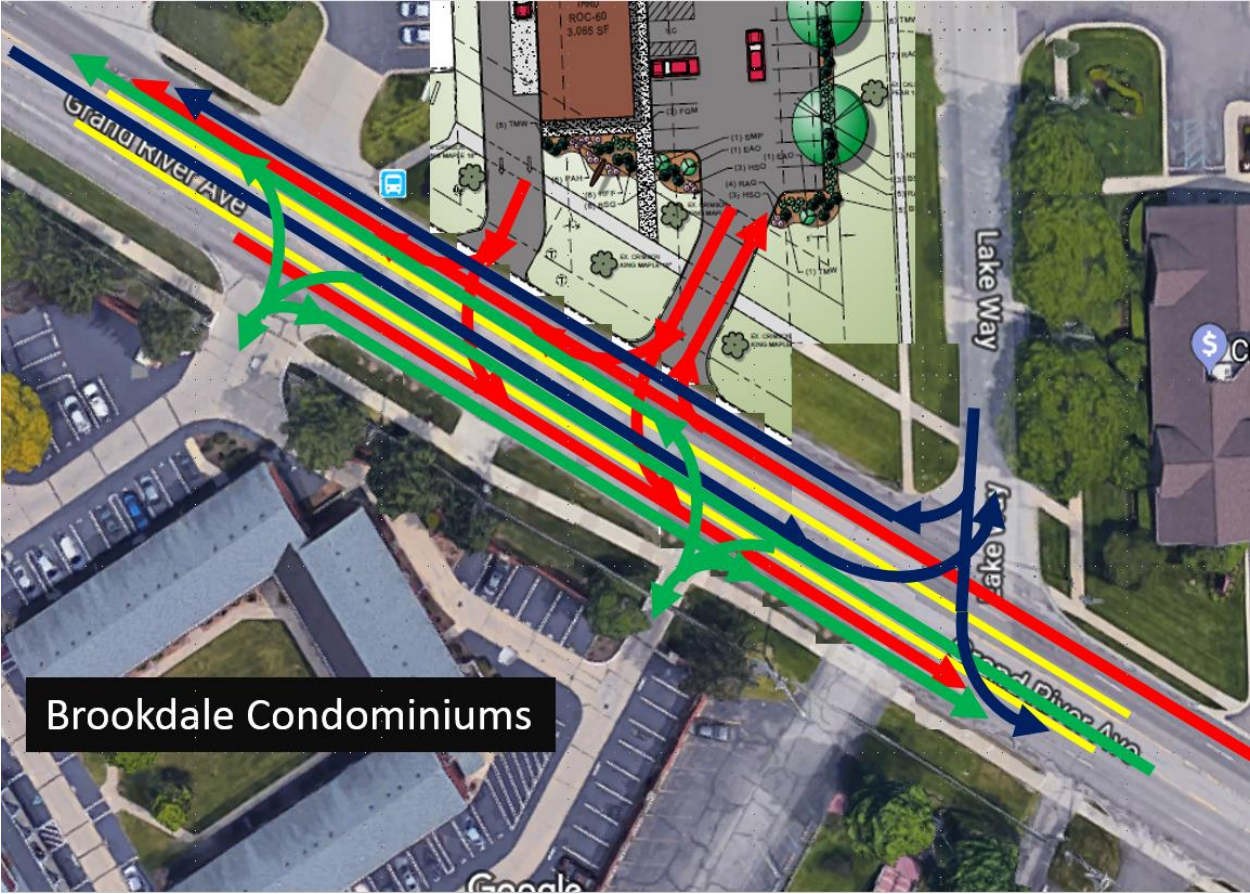
Illustration 19: Intersection depicting:

Yellow: Center turn lane between the two yellow lines

Red: Flow for turning options onto and off Grand River

Blue: Flow for turning into and out Lakeway

Green: Flow for turning into and out two separate Brookdale Condominium entrances



## Appendix D: BK site comparison:

### Master Plan page 25 Neighborhood and General Commercial

Create definable neighborhood shopping nodes that will provide an individual sense of place and a unique identity.

- Similar small towns nearby Farmington do not have fast-food drive throughs near downtown or adjacent to residential homes.

Master Plan page 5 Residential Neighborhoods: Where infill development or redevelopment is proposed, the physical composition of such development needs to be in keeping with the existing character of the neighborhood.

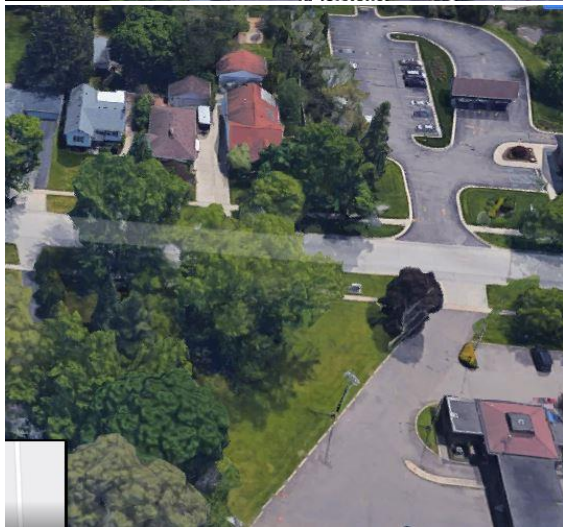
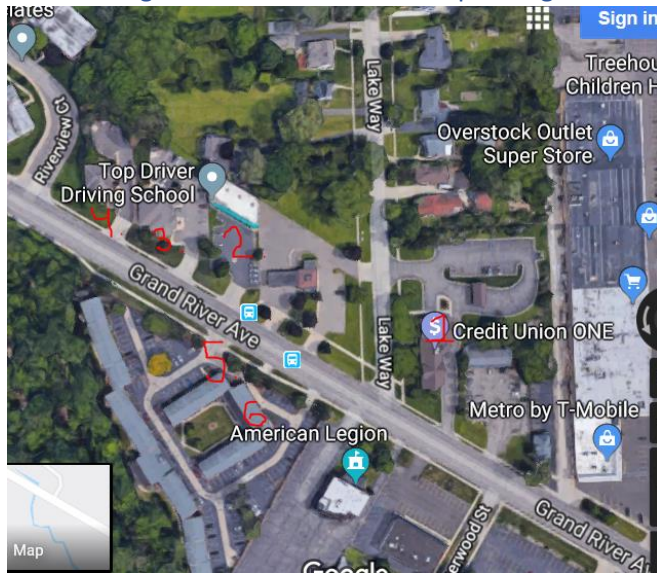
Current EXISTING CHARACTER: Residential with small business operation normal 9-5 hours. Neighbors in the area use they yards for family activities. Lakeway street is residential street in an established neighborhood with many nice homes. Children plan in their yards and walk and bike the neighborhood. Building this proposed Burger King facility will change the dynamics of the neighborhood by introducing the following:

- Traffic congestion
- Smell
- Pollution
- Light pollution
- Noise
- Pedestrian safety

A Burger King with a drive through window which is 70 % of their business does not fit the character of the surrounding neighborhood or business.

- I. Farmington has no drive though restaurants adjacent to residential neighborhoods.
- II. Property values will decrease as prospect buyers will not want to live adjacent to BK
- III. The business surrounding grand river and Lakeway include (Picture 1)
  - 1) Credit union one - Business hours 9-5 and Saturday morning
  - 2) Shopping mall- business hours 9-5
  - 3) Dental office- business hours 9-5
  - 4) Dental office- business hours 9-5
  - 5) Brookdale condos

6) American Legion hall -Various hours depending on events.



MP- Neighborhood and General Commercial (page 3-2)

Allow commercial frontages to be maintained for compatible commercial uses while protecting the quality, character and privacy of adjoining residential neighborhoods.

- Two homes are directly across the street and looking out your window, the BK drive through is what you would be looking at. Existing bank has drive-through on west side to protect neighborhood.
- Having a BK on the corner does not protect the quality, character and privacy of adjoining residential.

- 1) There are eight residential homes W/I one football field (Illustration 19).
- 2) Farmington MI has no drive through fast food restaurants adjacent to residential property.
- 3) Multiple business and residential properties share the left turn lane on Grand River (Illustration 20)
- 4) None of the BK properties within a 6-mile radius of Lake Way street are adjacent to residential property (Illustrations below).

- 5) The shortest distance between BK properties is 2 miles so the proposed BK can go anywhere on GR corridor from Drake Road to the Target Store and South on Farmington Road to Seven-Mile Road.
- a. Target store to nearest BK property is 2.3 miles
  - b. Drake Road to Novi BK is 2.1 miles
  - c. BK can go South on Farmington Road to 7 mile

Illustration 20:

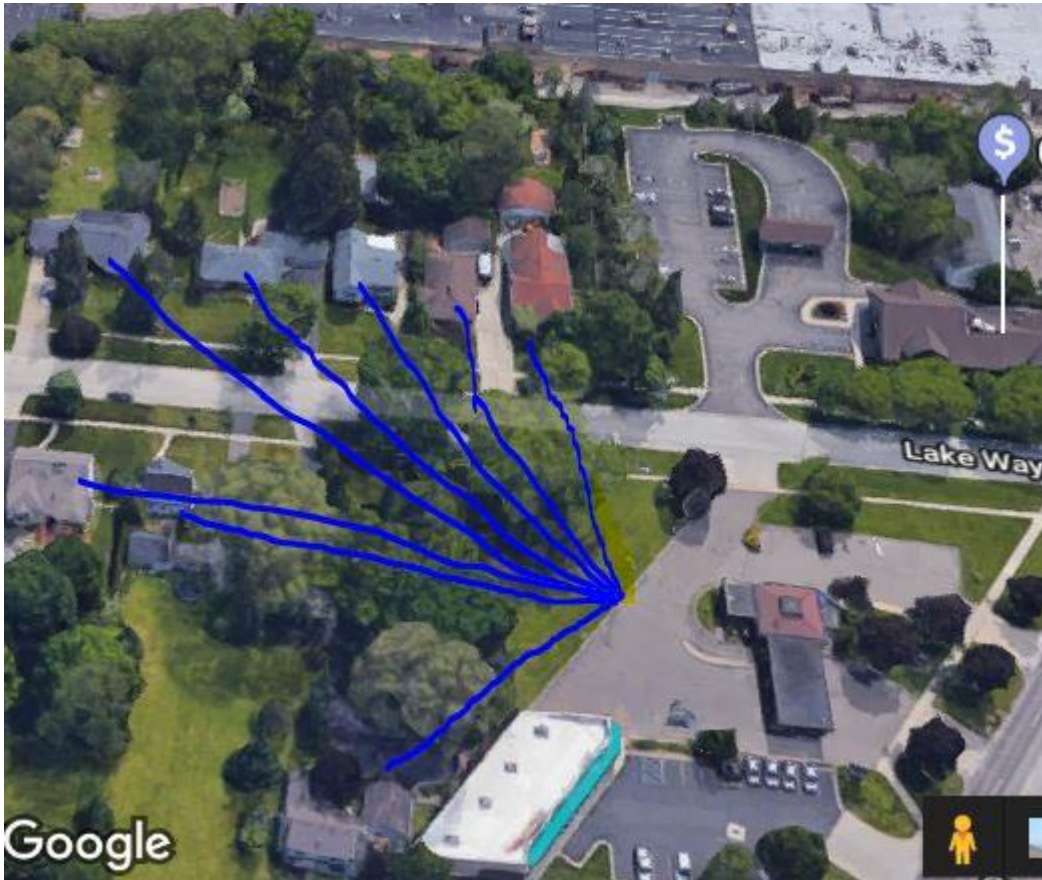


Illustration 21:



Illustration 22:



Illustration 23: Address: 23660 Telegraph Rd, Southfield, MI 48033 (from Lake Way street is 4.9 miles)



Illustration 24: 26211 West 12 Mile Rd, Southfield, MI 48034 (from Lake Way street is 5.9 miles)



Illustration 25: 29211 West Seven Mile Rd, Livonia, MI 48152 (from Lake Way is street is 3.6 miles)

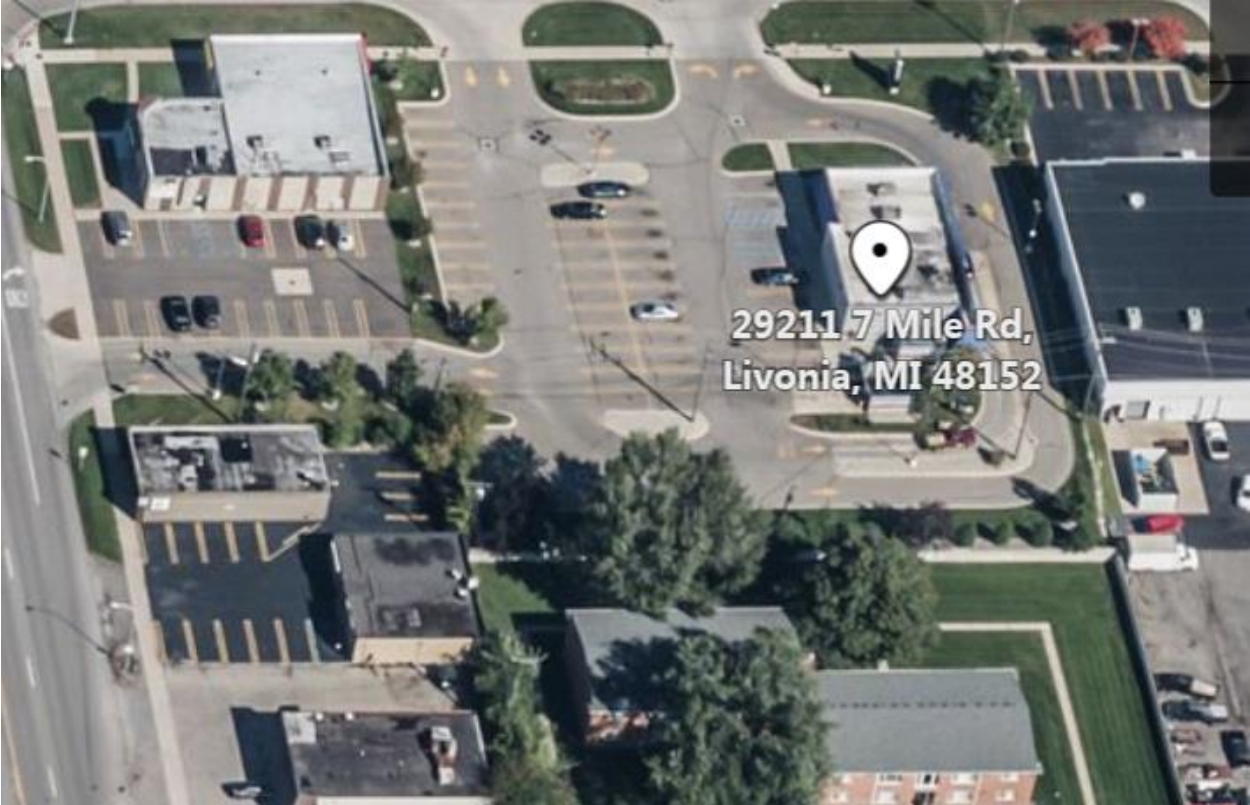


Illustration 26: 15378 Middlebelt Rd, Livonia, MI 48154 (from Lake Way street is 5.4 miles)





Illustration 27: 39601 Grand River, Novi, MI 48375 (from Lake Way street is 5.8 miles)



# Grand Tuxedo

31826 Grand River Farmington Michigan 48336  
Phone 313. 562.1010

grandtuxedo.com

Hello Commission,

My name is Eric Welter and I have lived in Farmington almost 20 years. I live in the Valley View Condos and own Grand Tuxedo which is located mere feet from the proposed location for the Burger King site. I am in the clothes / tuxedo rental business, and you may think I would be in favor for this new business to open. I am not. Besides the traffic, the noise, and the destruction of a peaceful setting of the lot in question.

I want you to consider another point of view from my perspective. Picture this, a groom and his groomsmen and fathers standing at the alter in their tuxedos for one of the most special events of one's life. Then all of a sudden, the wedding party and the guests catches whiff of that "Flamed Broiled" smell of their tuxedos. You may laugh and say that is farfetched. I have roof top heating and cooling units at my business that pulls in air and processes it depending the season. Anyway, don't kid yourself, my tuxedos WILL take on the smell from the exhaust that is produced from BK. I will have quite a time trying to explain to a stressed-out bride why my tuxedos smell like a #1 combo.

Living in my Valley View Condo, I could smell the exhaust from the old BK. Imagine having a store literally feet from the site, with clothes susceptible to smells. I would be apposed to any fast food restaurant at this particular location.

Thank you for your time

Eric Welter

<b>Farmington Planning Commission Staff Report</b>	<b>Planning Commission Date:</b> July 8, 2019	<b>Reference Number</b> <b>5</b>
<b>Submitted by:</b> Kevin Christiansen, Economic and Community Development Director		
<b>Description</b> Introduction/Discussion and Request to Schedule Public Hearing for Rezoning Review – Certainty Home Buyers, LLC, 22100 Hawthorne Street		
<p><b>Background</b></p> <p>The applicant/petitioner has submitted a Rezoning Application to rezone the existing residential property located at 22100 Hawthorne Street. The existing legal non-conforming multiple-family used property is currently zoned R-1, Single Family Residential. The subject property is identified as Single Family Residential on the current City of Farmington Master Plan – Future land Use Plan. The applicant/petitioner is proposing to rezone the property to R-3, Multiple Family Residential. A public hearing and recommendation to City Council on the proposed rezoning are required.</p> <p>The purpose of this item is to introduce and discuss the proposed rezoning, and to schedule the required public hearing for the August 12, 2019 Planning Commission meeting.</p> <p>Attachments</p>		



City of Farmington  
CivicSight Map

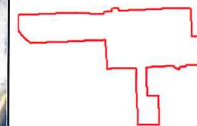
MAP LEGEND:

- CITY BOUNDARY
- RIVERS-STREAMS
- MULTITENANTBUILDING (Type)
  - BUILT
  - PROPOSED
  - COMM\_INDUST BLDGS
  - RAPHAEL STREET(POLY)2
  - RAPHAEL STREET(POLY)
  - PARCELS
  - ROADS OUTSIDE FARMINGTON
  - RIGHTOFWAY
- MULTITENANTPAVING
  - ROW EXTEND
  - LOT HISTORY
- OPEN WATER (FEATURETYP)
  - DetentionPond
  - StreamRiver
  - LakePond
  - Channel
  - SwampMarsh

2017 AERIAL PHOTOS (Image)



Reference Map



Map Scale: 1 inch = 51 feet

Map Date: 7/05/2019

Data Date: May 3, 2019



Sources: City of Farmington, Oakland County GIS Utility, River's Edge GIS, LLC.

Disclaimer:  
Note: The information provided by this program has been compiled from recorded deeds, plats, taxmaps, surveys, and other public records and data. It is not a legally recorded map or survey and is not intended to be used as one. Users of this data are hereby notified that the information sources mentioned above should be consulted for verification of the information. Once again, USE AT YOUR OWN RISK !!!



# CITY OF FARMINGTON

For office use only

Date Filed: \_\_\_\_\_  
Fee Paid: \_\_\_\_\_

## REZONING APPLICATION

1. Project Name REGAL HAWTHORNE ESTATES  
2. Location of Property

Address 22100 HAWTHORNE ST.  
Cross Streets 9 MILE 3 GRAND RIVER

3. Identification

Applicant VINCENT GILBERT  
Address 30800 NORTHWESTERN HWY #235  
City/State/Zip FARMINGTON HILLS, MI 48334  
Phone 248-270-8893 Fax 248-432-7617  
Interest in the Property (e.g. fee simple, land option, etc.)  
9 Property Owner 9 Other (Specify) WARRANTY DEED

Property Owner CERTAINTY HOME BUYERS, LLC  
Address 30800 NORTHWESTERN HWY #235  
City/State/Zip FARMINGTON HILLS, MI 48334  
Phone 248-270-8893 Fax 248-432-7617

Preparer of Site Plan JAMES C. SCOTT'S ASSOC.  
Address 300 E. LONG LAKE RD #120  
City/State/Zip Bloomfield Hills, MI 48304  
Phone 248-746-5534 Fax \_\_\_\_\_

4. Property Information

Zoning District R1 Area 27  
 Width 160' Depth 135'  
 Current Use R2 (4 UNITS)  
 Zoning District of Adjacent Properties to the  
 North R1 South C2 East C3 West R1

5. Proposed Use

G Residential	Number of Units	<u>12</u>
G Office	Gross Floor Area	_____
G Commercial	Gross Floor Area	_____
G Industrial	Gross Floor Area	_____
G Institutional	Gross Floor Area	_____
G Other _____	Gross Floor Area	_____

*The Planning Commission may require additional information to determine if the proposed zoning designation meets ordinance requirements. For additional information in regard to rezoning application process please refer to Article 20 of the City of Farmington Zoning Ordinance.*

6. Rezoning Application Information (Use a separate sheet if desired)

Rezoning Criteria(*)	Describe How Proposed Use Meets Criteria
The proposed zoning designation and use shall be consistent with the goals, policies, and Future Land Use Map of the City of Farmington's Master Plan.	<u>SEE ATTACHED</u>
The proposed zoning and designation and potential uses allowed shall be compatible with the site's physical, geological, hydrological and other environmental features.	<u>SEE ATTACHED</u>

6. Rezoning Application Information (Use a separate sheet if desired)

Rezoning Criteria(*)	Describe How Proposed Use Meets Criteria
Evidence that the applicant cannot receive a reasonable return on investment through developing the property with one (1) of the uses permitted under the current zoning.	<i>SEE ATTACHED</i>
The compatibility of all the potential uses allowed in the proposed zoning district with surrounding uses and zoning in terms of suitability, impacts on the environment, density, nature of use, traffic impacts, aesthetics, infrastructure and potential influence on property values.	<i>SEE ATTACHED</i>
The capacity of the City infrastructure and services sufficient to accommodate the uses permitted in the requested district without compromising the "health, safety, and welfare" of the Village.	<i>SEE ATTACHED</i>
The apparent demand for the types of uses permitted in the requested zoning district in the City in relation to the amount of land in the City currently zoned to accommodate the demand.	<i>SEE ATTACHED</i>

6. Rezoning Application Information (Use a separate sheet if desired)

Rezoning Criteria(*)	Describe How Proposed Use Meets Criteria
Where a rezoning is reasonable given the above criteria, a determination shall be made that the requested zoning district is more appropriate than another district or amending the list of permitted or special land uses within a district.	SEE ATTACHED
* The rezoning criteria included above is not the only requirement for rezoning. For additional information please refer to Article 20 of the City of Farmington zoning ordinance.	

A copy of the complete legal description of the property and proof of property ownership should accompany this application.

I, Vincent Colbert (applicant), do hereby swear that the above statements are true.

Vincent A. Colbert 6/8/19  
Signature of Applicant Date

Vincent A. Colbert 6/8/19  
Signature of Property Owner Date

I, Vincent Colbert (property owner), hereby give permission for City of Farmington officials, staff, and consultants to go on the property for which the above referenced site plan is proposed for purposes of verifying information provided on the submitted application.

<p><u>City Action</u></p> <p>Approved/Denied: _____</p> <p>Date: _____</p> <p>By: _____</p> <p>Conditions of Approval: _____</p> <p>_____</p> <p>_____</p>
--



City of Farmington- Rezoning Application

Supplemental page: Section 6

6. It is important to note that the property in which we are requesting a R3 rezoning is presently being used for multi-family. It currently has **3 separate buildings** with (4) one bedroom/1 bath units. The property has been grandfathered allowing it to be used as a 4 unit multi-family property for decades. This designation has existed since the 1920s which makes our R3 rezoning request of 12 condominiums both logical and non-intrusive to the immediate block and overall subdivision. Additionally, the beautifully well-appointed brick elevation with a side by side unit layout helps retain a neighborly intimacy of individual home ownership. Our condominiums will be sold to homeowners vs rentals therefore producing long term homeowners and residents vs short term cyclical tenants. We all know that home/condo ownership makes for stable vibrant neighborhoods and great communities. Additionally, our project is a win for the city for it gains a new significant tax base generating substantially more income than its present R1 designation.

The proposed R3 rezoning will also help supply a newer housing stock that provides more contemporary open floor plans, square footage, 2 full baths and other amenities necessary to attract and retain today's homeowner. In our personal study of Farmington's residential mix, the city's housing stock is pretty much maxed out and to a large degree is land locked.

According to the vision of both the City's current 2009 Master Plan, its revision plan underway, and its Farmington's 2013 Vision Plan; redevelopment and increasing residential dwellings of all forms is one of the main objectives of the city. All of the City's plans and studies emphasize the need for newer housing, the promotion of home ownership, and a focus to attract and retain growing families. **(Our proposed R3 projects is in total harmony with the City's plans).**

On page 13 of Farmington's 2013 Vision Plan, it shows the median age as per the 2010 census was 39.5 which is close to the median age of 39.4 for the larger Detroit-Warren-Livonia metro area. As Farmington's baby boomers age, the percentage of the population that is 65 or older will increase. In 2017, 17.8 percent of Farmington's population will be over 65 vision plan states. Many older adults prefer to "age in place," meaning they want to stay in their homes or communities as they get older, this is also stated according to AARP's findings. This is a fact that ends up further limiting existing housing on the market. The City must find ways to grow additional residential dwellings of all types in the City.

**Condominiums being an excellent option and one with many homebuyers prefer.**

Farmington's 2013 Vision Plan states, New 21st Century housing options will be an important community element to allow the aging demographic to remain in the community. A focus on attracting and retaining young professionals will be an important component when planning for the future. The young, educated workforce (millennials) most often seek places that provide quality of life and cutting edge development with a variety of amenities and distinct sense of place. They often shy away from the older home stock. In 2010, the percentage of people ages 25-34 was 15.2%. It was expected to increase slightly to 15.5% by 2017. It is important that Farmington works to attract and retain members of this demographic group through desired 21<sup>st</sup> century housing as they are starting families, and looking to grow a business or career etc. **Our proposed R3 project is in total lock step with this objective.**

**Our proposed R3 Condominium project is in total harmony with the residential housing strategies of Farmington's 2009 Master Plan, 2013 Vision Plan, and even the City's LSL Grand River Corridor Study as it emphasizes strengthening surrounding residential neighborhoods and promoting a walkable pedestrian connectivity to surrounding neighborhoods adjacent to the Grand River Corridor. Our R3 Project is tailored made for this objective due to the fact our property backs into a section of the Grand River Commercial Corridor.**

In addition to our reviewing the City's plans and vision of redevelopment, we learned a great deal also in our meetings and discussions with the Economic and Community Development Department (Kevin Christenson). In those discussions it was again confirmed that the City's residential redevelopment vision embraces residential new construction in order to provide newer residential dwellings that provide newer amenities unavailable in the city's older structures. This is especially true with the limited condominium offerings in the city. **Each of our condos are 3 bedrooms with attached garages all designed for family ownership, very rare find in Farmington. Our family style condos are a great fit for Farmington where once again land for residential dwellings is limited and today's coveted amenities are not as prevalent.**

We believe that our **R3 condominium project will spur other new housing investment in the area.** Although our rezoning request is only for 12 new units, we have a more comprehensive project in mind as a possible 2<sup>nd</sup> phase should the city agree. We would like to by pick up the 3 adjacent lots to the north allowing an additional 12-16 condos on the same side of the block. This works out wonderfully because it creates a balance of new beautiful side by side condos on one side of the block and leaves the 3 other existing single family homes on the opposite side of the block. The great thing about it is this **will almost certainly raise property values for all.**

It also very important to point out there is an older **40 plus unit long standing R3 Condominium complex just 2 blocks north of our location.** This is important to the Rezoning request because it shows a long standing mix of R1 and R3 on the same street for decades and the neighborhood is quite intimate and beautiful.

We are also excited about the momentum and vibrancy we see in the area such as the New Orchard Trails Medical Campus Etc... We believe our condominium project can be a part of the budding vibrancy.

Our proposed zoning and designation will be compatible with the site's physical, geological, hydraulic, and environmental features. All the underground water and sewer is perfectly located and it is important to also note that our property butts up against an adjacent commercial Grand River property (A&W Restaurant) this also provides added underground capacity and the walkability to the local small businesses along the adjacent Grand River Corridor.

It is important to reemphasize that our property already is multifamily. The property has been grandfathered for decades allowing the 3 buildings that contain 4 very small one bedroom units whose rent simply won't generate enough to sustain this old investment. This make it more logical to grant the R3 zoning request. The 3 existing building were built in the 1920s and due to their obsolescence, the high cost of any potential renovation and high cost of the ongoing maintenance simply are no longer cost affective options. Additionally, to revert this property back to R1 and maybe build a single family home also is not feasible at all. So in addition to the many exciting progressive benefits laid out already,

the economic benefits of granting the R3 zoning are quite obvious for both us the owners as well as the city and the community.

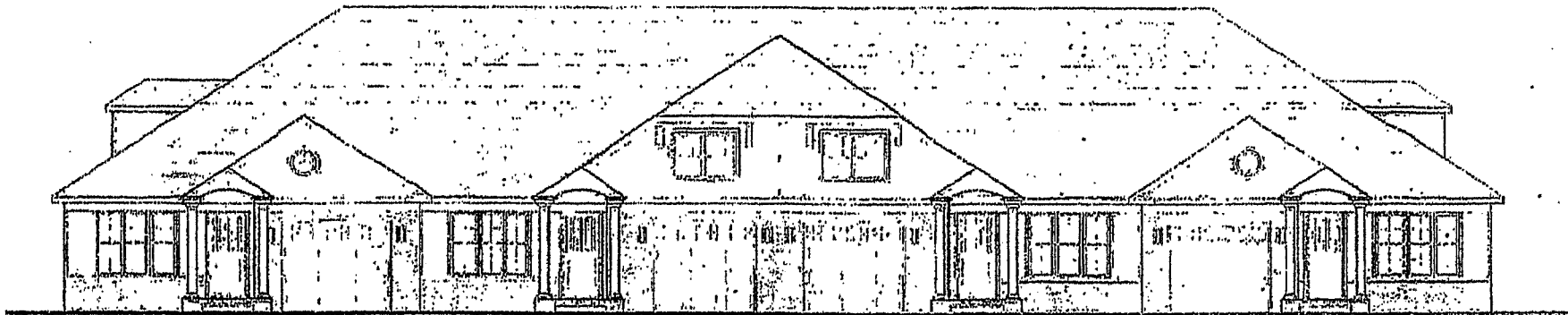
The compatibility of our proposed R3 condominium project will not impact the suitability of the uses and zoning surrounding us. It will not negatively impact the environmental, density, nature of use, traffic, aesthetics, and infrastructure surrounding us. **We expect the new projects to increase the value of the surrounding properties significantly due to the expected sales price of \$215,000.00-\$230,000.00 per condo.**

The capacity of the City Infrastructure and services are sufficient to accommodate the uses permitted without compromising the health, safety, and welfare of the City.

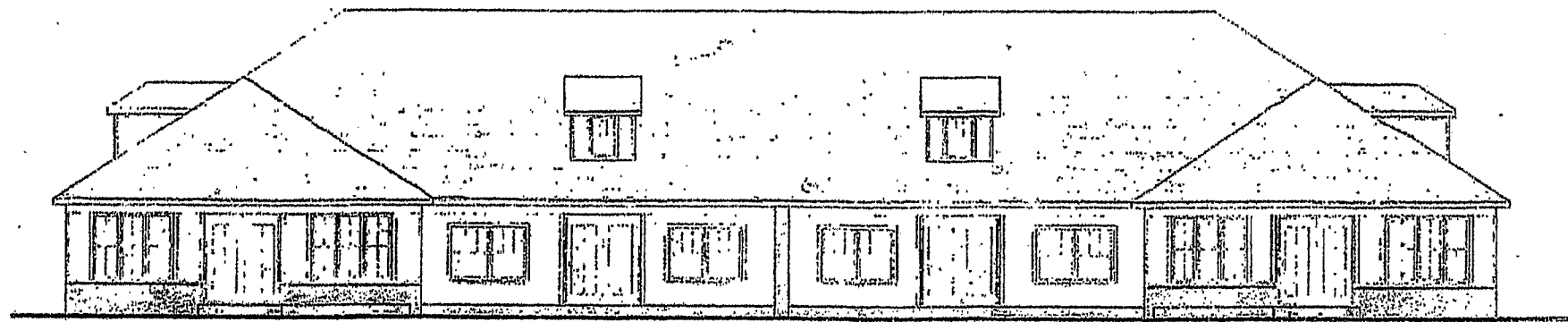
Additionally, the capacity of the City infrastructure and services are sufficient to accommodate the uses in our rezoning request. This can be done without the health, safety, and welfare of the City

I would like to end this rezoning request by assuring the city that we the owners bring extensive development and construction experience to this project. We represent over 40 years of real estate development and construction projects. As a matter of fact the very 12 unit condominiums being proposed for our Farmington property we have completed in other locations. We have the funding to move forward successfully as well. We have been fortunate to have constructed hundreds of projects including condos, single family homes, assisted living facilities, and small commercial. We would like the Hawthorne Condominium project to be the beginning of other opportunities where we can play a small part in moving the City of Farmington forward.

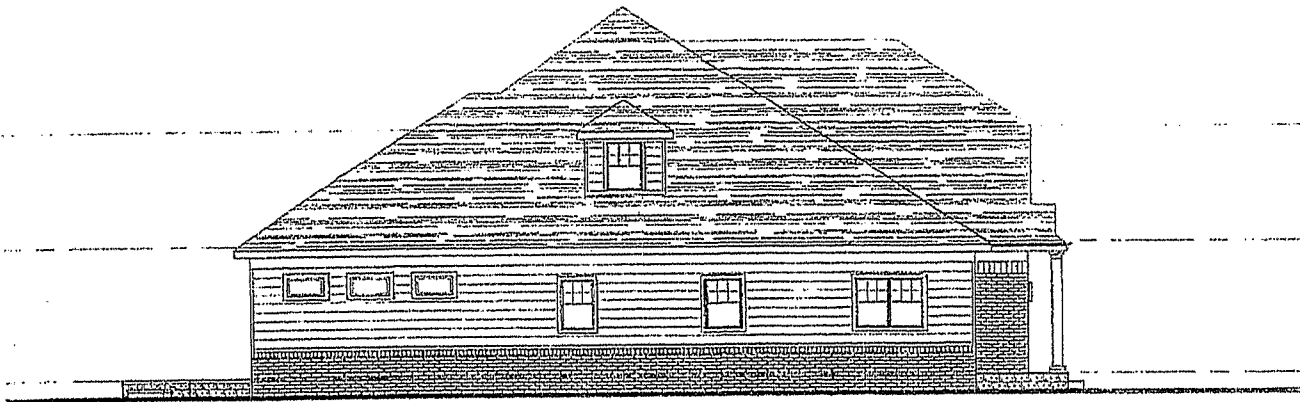
Thanks for your consideration.



FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

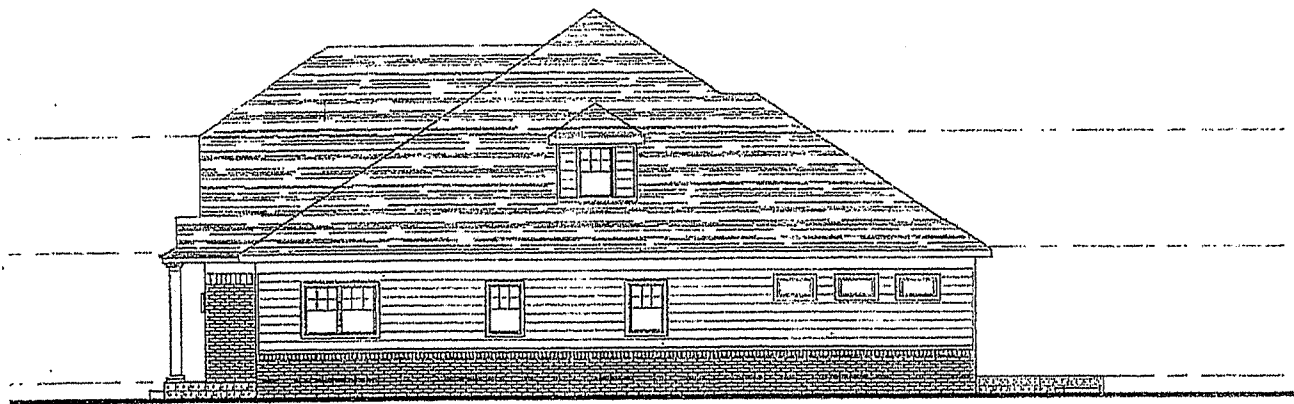


REAR ELEVATION  
SCALE: 1/4" = 1'-0"



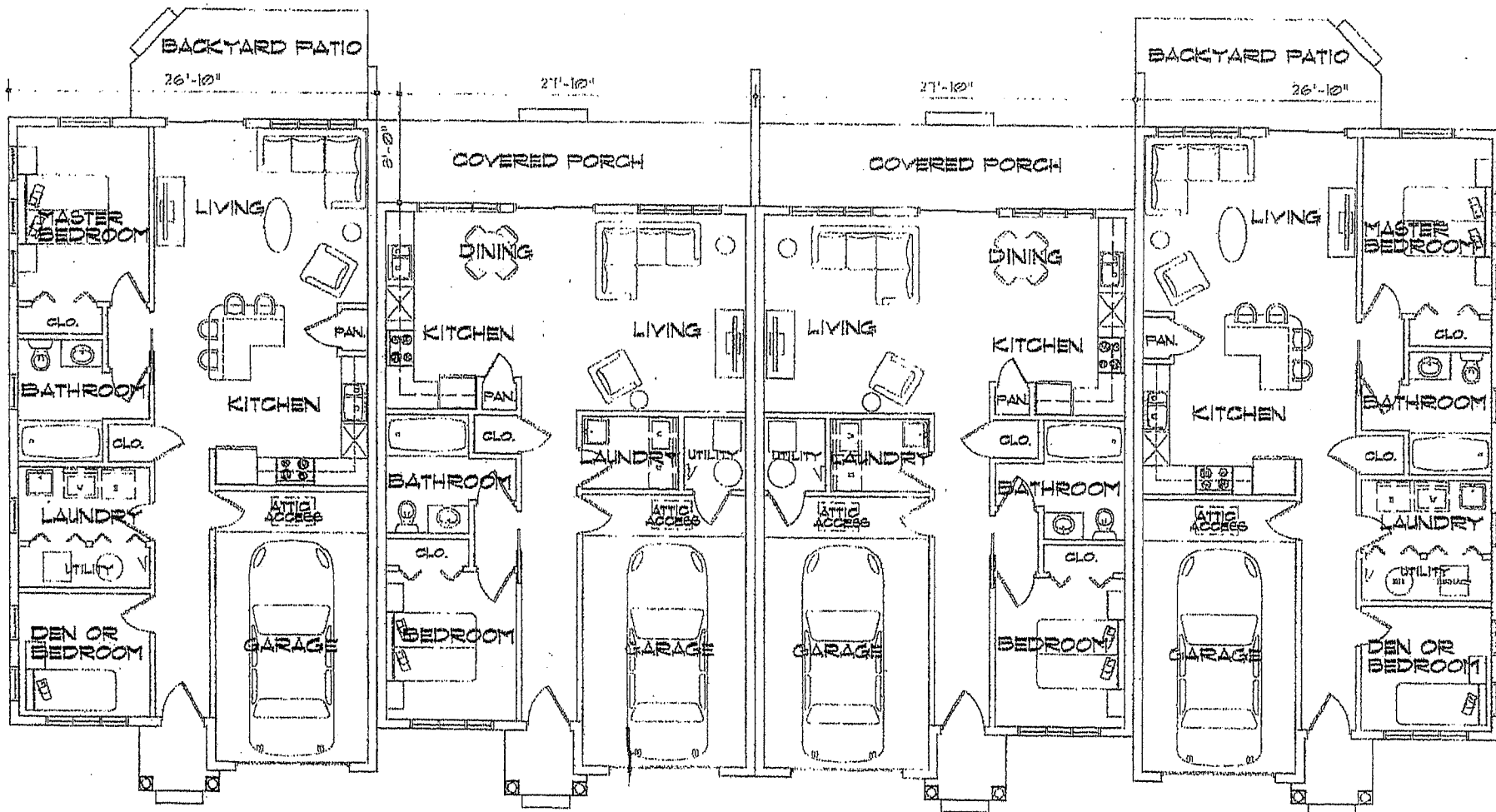
LEFT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



**END UNIT**  
 LIVING - 560 SQ. FT.  
 GARAGE - 224 SQ. FT.  
 GROSS - 1240 SQ. FT.  
*960*  
*224*

**MIDDLE UNIT**  
 LIVING - 640 SQ. FT.  
 GARAGE - 240 SQ. FT.  
 GROSS - 1100 SQ. FT.  
*860*  
*240*  
*1100*

**MIDDLE UNIT**  
 LIVING - 640 SQ. FT.  
 GARAGE - 240 SQ. FT.  
 GROSS - 1100 SQ. FT.

**END UNIT**  
 LIVING - 560 SQ. FT.  
 GARAGE - 224 SQ. FT.  
 GROSS - 1240 SQ. FT.

**FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



Joseph S. Northoly  
Architect  
788 Royal Ave.  
Dorsey, MD 40072  
(241) 433-2030

Sheet

Revision:  
Date: \_\_\_\_\_  
By: \_\_\_\_\_  
Checked: \_\_\_\_\_

Project Name:  
**ST. CLAIR PLACE**

11.000 STREET  
DORSEY, MD 40043

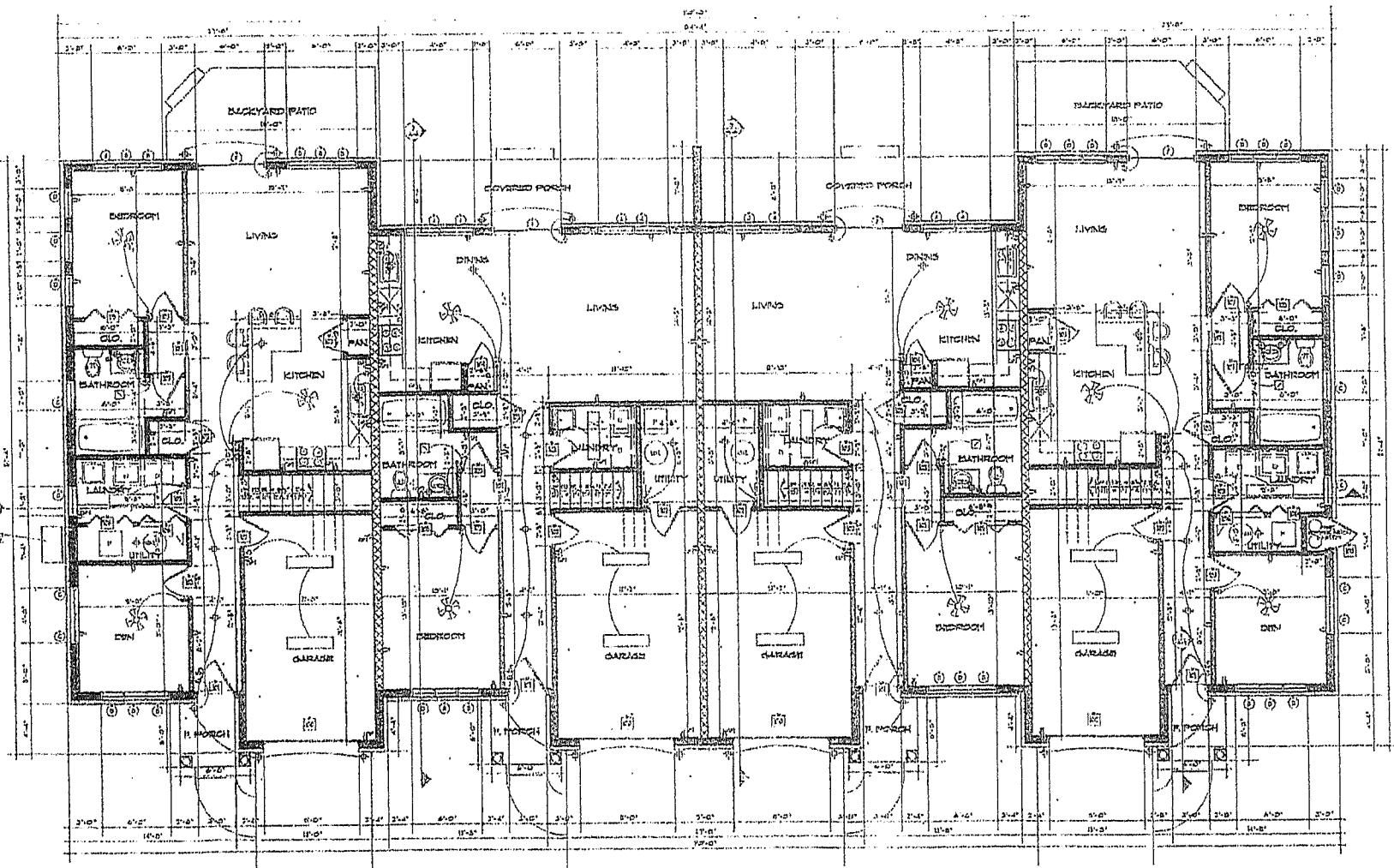
Client:  
**BILL SCHNEIDER**  
13628 SCHNEIDER DRIVE  
DORSEY, MD 40070

Sheet Title:  
**FIRST FLOOR PLAN**

DATE: 08/10/07  
DRAWN BY: LHM, MT

Project Number:  
**15017**

Sheet Number:  
**A-2**



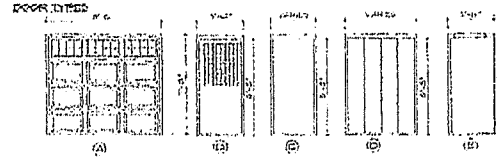
**FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

NOTE: SEE A-3 FOR WALL AND DOOR SCHEDULES, SEE A-9 FOR WINDOW SCHEDULES

SYMBOL	DETAIL	DESCRIPTION
XXXX	XXXX	INDICATE THE INTERIOR WALL THICKNESS AND THE LOCATION OF THE WALL CENTERLINE. ALL WALLS TO BE CONCRETE OR BRICK. EXTERIOR WALLS TO BE CONCRETE OR BRICK WITH A TYPICAL 2" INSULATION. ALL WALLS TO BE FINISHED WITH 5/8" GYP. BOARD. ALL WALLS TO BE FINISHED WITH 5/8" GYP. BOARD. ALL WALLS TO BE FINISHED WITH 5/8" GYP. BOARD.
XXXX	XXXX	INDICATE THE TYPICAL WINDOW SIZES AND THE LOCATION OF THE WINDOW CENTERLINE. ALL WINDOWS TO BE ALUMINUM OR WOOD. ALL WINDOWS TO BE FINISHED WITH 5/8" GYP. BOARD. ALL WINDOWS TO BE FINISHED WITH 5/8" GYP. BOARD.
XXXX	XXXX	INDICATE THE TYPICAL DOOR SIZES AND THE LOCATION OF THE DOOR CENTERLINE. ALL DOORS TO BE ALUMINUM OR WOOD. ALL DOORS TO BE FINISHED WITH 5/8" GYP. BOARD. ALL DOORS TO BE FINISHED WITH 5/8" GYP. BOARD.

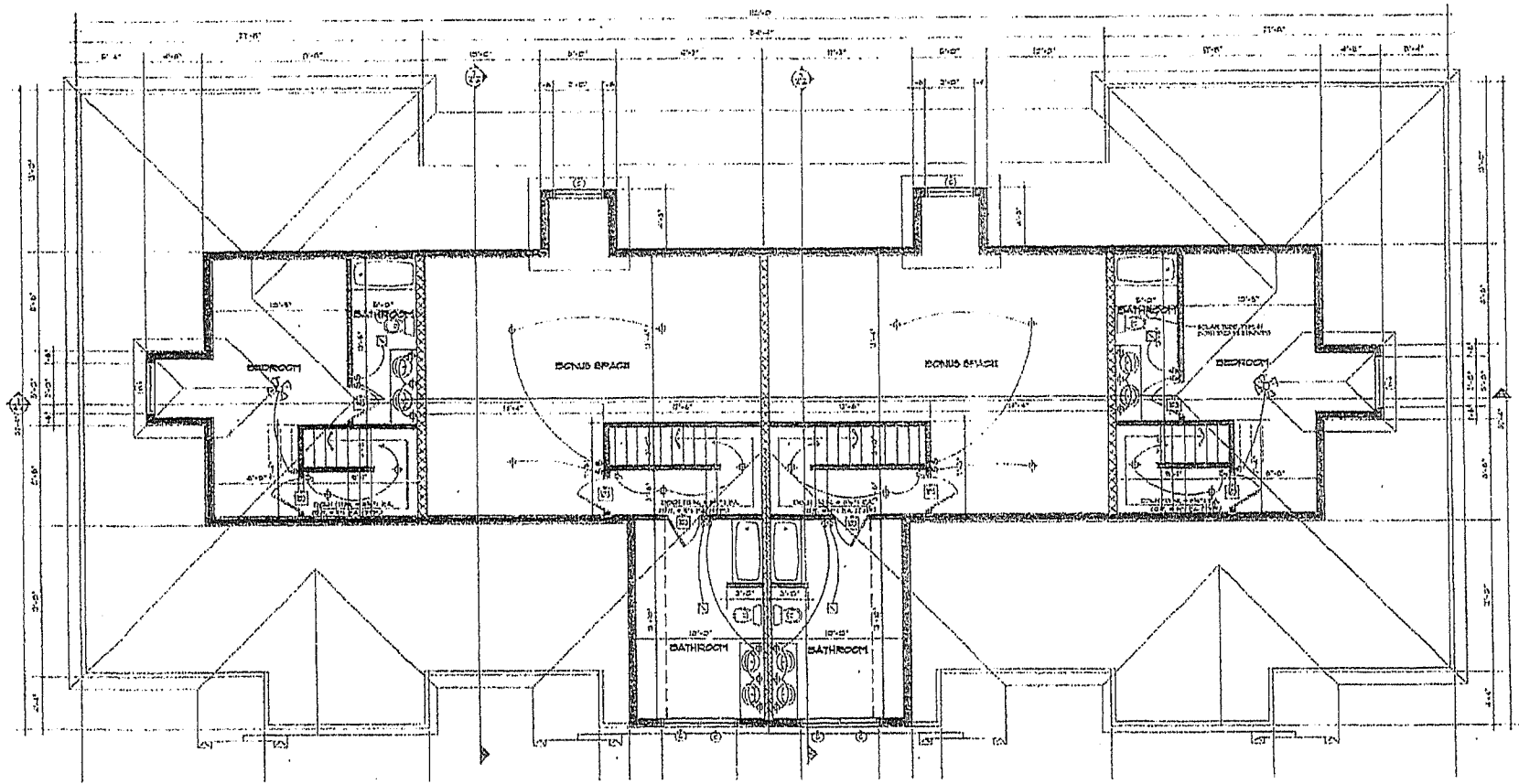
DOOR SCHEDULE									
NO.	SYMBOL	TYPE	FINISH	SWITCH	HANDLE	REMARKS			
01	D1	SWING	WOOD	NO	NO	DOOR TO BATHROOM			
02	D2	SLIDING	WOOD	NO	NO	DOOR TO BATHROOM			
03	D3	SWING	WOOD	NO	NO	DOOR TO BATHROOM			
04	D4	SWING	WOOD	NO	NO	DOOR TO BATHROOM			
05	D5	SWING	WOOD	NO	NO	DOOR TO BATHROOM			
06	D6	SWING	WOOD	NO	NO	DOOR TO BATHROOM			
07	D7	SWING	WOOD	NO	NO	DOOR TO BATHROOM			
08	D8	SWING	WOOD	NO	NO	DOOR TO BATHROOM			
09	D9	SWING	WOOD	NO	NO	DOOR TO BATHROOM			
10	D10	SWING	WOOD	NO	NO	DOOR TO BATHROOM			



**DOOR NOTES:**  
 1. ALL DOOR TYPES TO BE FINISHED WITH 5/8" GYP. BOARD.  
 2. ALL DOOR TYPES TO BE FINISHED WITH 5/8" GYP. BOARD.  
 3. ALL DOOR TYPES TO BE FINISHED WITH 5/8" GYP. BOARD.  
 4. ALL DOOR TYPES TO BE FINISHED WITH 5/8" GYP. BOARD.  
 5. ALL DOOR TYPES TO BE FINISHED WITH 5/8" GYP. BOARD.

- HARDWARE NOTES:**
1. ALL HARDWARE TO BE APPROVED BY THE ARCHITECT.
  2. ALL HARDWARE TO BE APPROVED BY THE ARCHITECT.
  3. ALL HARDWARE TO BE APPROVED BY THE ARCHITECT.
  4. ALL HARDWARE TO BE APPROVED BY THE ARCHITECT.
  5. ALL HARDWARE TO BE APPROVED BY THE ARCHITECT.

Joseph S. Nowicki  
 Architect  
 1768 Royal Ave.  
 Rockville, MD 40072  
 (240) 433-2030



**ATTIC/ROOF PLAN**  
 SCALE: 1/4" = 1'-0"  
**2ND FLOOR**

**MIDDLE UNIT**  
 1ST FLOOR - 140 SQ. FT.  
 2ND FLOOR - 100 SQ. FT.  
 GARAGE - 240 SQ. FT.  
 GROSS - 480 SQ. FT.

**END UNIT**  
 1ST FLOOR - 160 SQ. FT.  
 2ND FLOOR - 211 SQ. FT.  
 GARAGE - 224 SQ. FT.  
 GROSS - 595 SQ. FT.

Project Name: **ST. CLAIR PLACE**  
 11705 GREENBRIER RD. #4842  
 GAITHERSBURG, MD 20878  
 OWNER: **BILL SCHNEIDER**  
 45507 SANDHURST, SUITE 203  
 STEELERS HEIGHTS, MD 20785

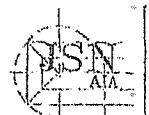
Sheet Title:  
**ATTIC/ROOF PLAN**

Date: 01-30-2010  
 Drawn by: LHM, 181

Project Number:  
**15017**

Sheet Number:  
**A-3**





Joseph E. Novitsky  
 Architect  
 1785 Royal Ave.  
 Belknap, MI 49872  
 (540) 453-2030

Sheet

Revision:

DATE	DESCRIPTION

PROJECT NAME  
**ST. CLAIR PLACE**  
 14.000 ST. CLAIR ST. N.E.  
 MTC. GREENSBORO, NC 27409

ARCHITECT  
**BILL SCHNEIDER**  
 1000 W. GREENSBORO ST. N.E.  
 GREENSBORO, NC 27409

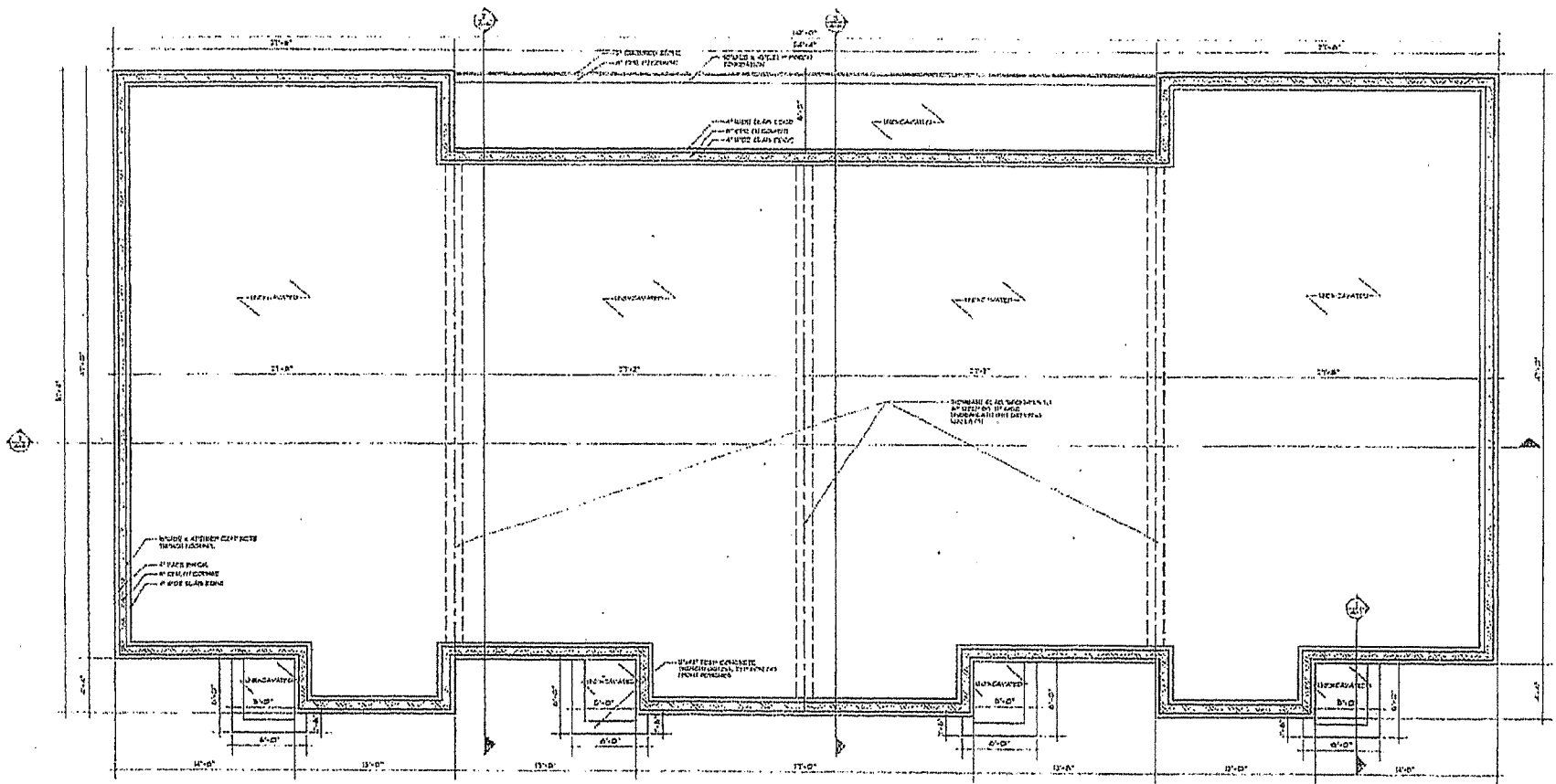
ISSUED FOR:  
**FOUNDATION PLAN**

Copyright 2015, Joe E. Novitsky, Inc. All rights reserved. No part of this drawing may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Joe E. Novitsky, Inc.

Date: 04/17/2015  
 Drawn by: LDN, NLT

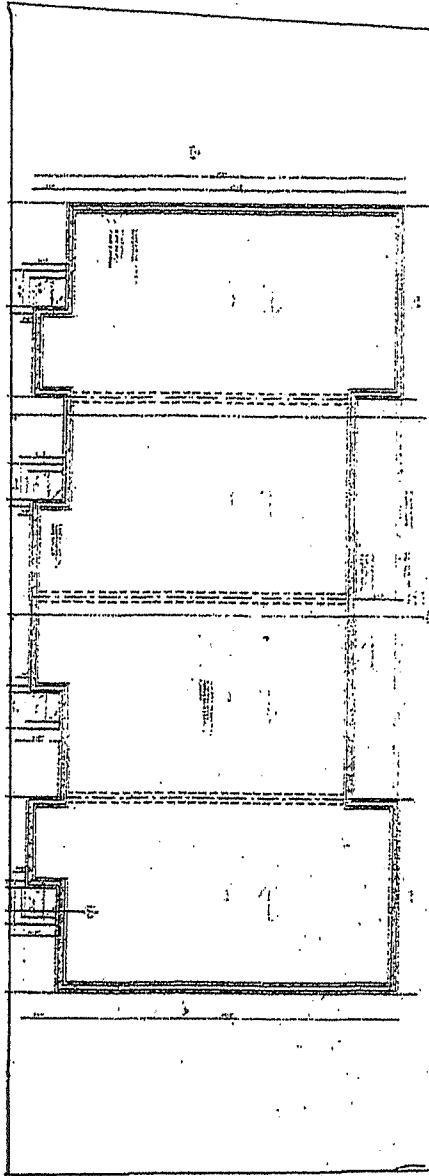
Project Number:  
**15017**

Sheet Number:  
**A-1**



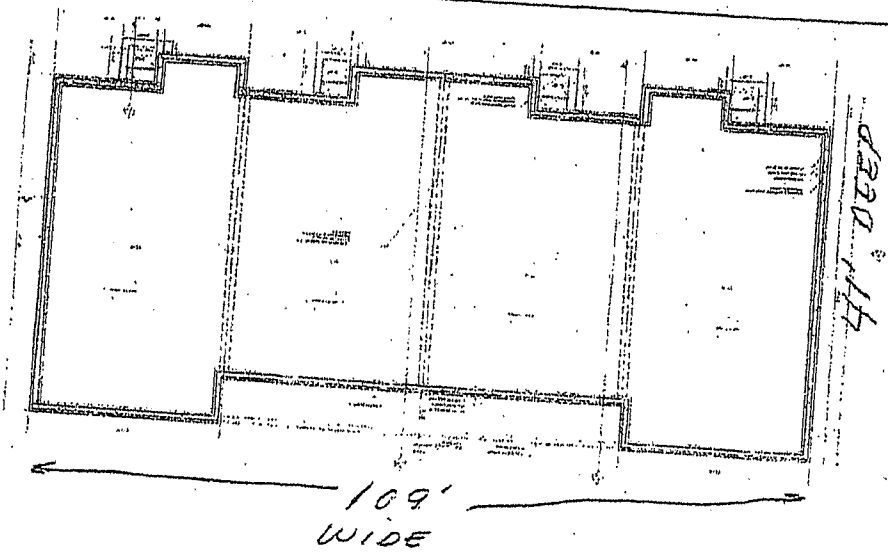
 **FOUNDATION PLAN**  
 SCALE: 1/4" = 1'-0"

160'



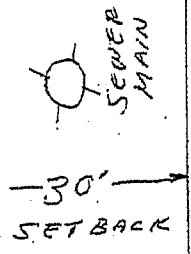
150'

H + W

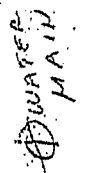


41' DEEP

109' WIDE



22100 HATHORN F.H.



90'

SIDE WALK

SITE PLAN

135'

<b>Farmington Planning Commission Staff Report</b>	<b>Planning Commission Date:</b> July 8, 2019	<b>Reference Number 6</b>
<b>Submitted by:</b> Kevin Christiansen, Economic and Community Development Director		
<b>Description</b> Request to Schedule Public Hearing for Special Land Use and Site Plan Review for Proposed Drive-Through – Panera Bread Bakery, 34635 Grand River Avenue		
<b>Background</b>  <p>The applicant/petitioner has submitted Special Land Use Application and Site Plan to construct a drive-through on the east side of the existing Panera Bread Bakery building located at 34635 Grand River Avenue. The existing commercial property is zoned C-2, Community Commercial. Drive-through establishments are a Special Land Use in the C-2, General Commercial District. A public hearing and site plan review and approval are required.</p> <p>The purpose of this item is to schedule the required public hearing for the August 12, 2019 Planning Commission meeting.</p> <p>Attachments</p>		

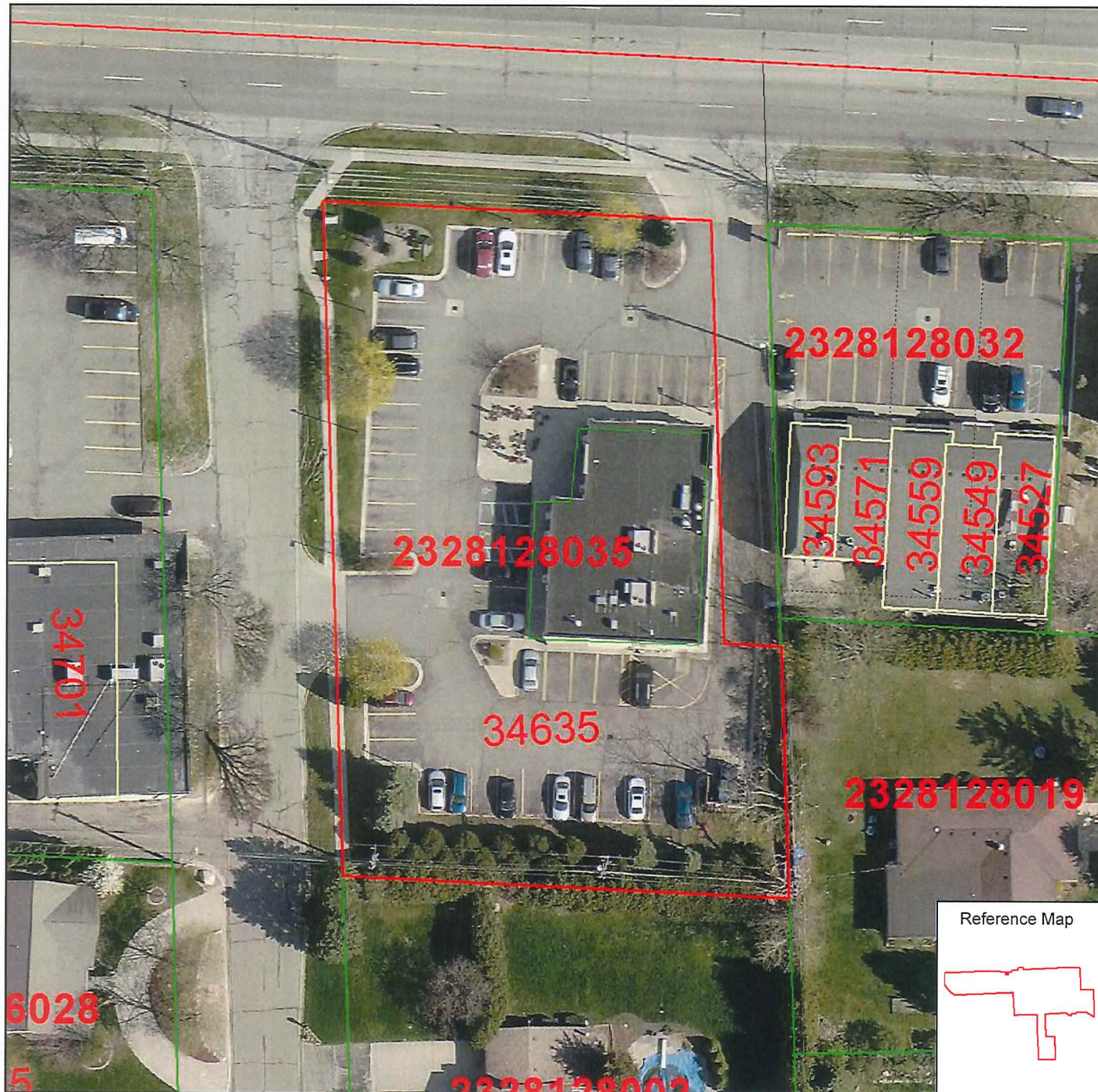


# City of Farmington CivicSight Map

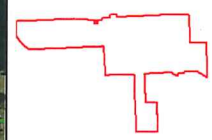
### MAP LEGEND:

- CITY BOUNDARY
- ~ RIVERS-STREAMS
- MULTITENANTBUILDING (Type)
  - BUILT
  - PROPOSED
  - COMM\_INDUST BLDGS
  - RAPHAEL STREET(POLY)2
  - RAPHAEL STREET(POLY)
  - PARCELS
  - ROADS OUTSIDE FARMINGTON
  - RIGHTOFWAY
  - MULTITENANTPAVING
  - ROW EXTEND
  - ~ LOT HISTORY
- OPEN WATER (FEATURETYP)
  - DetentionPond
  - StreamRiver
  - LakePond
  - Channel
  - SwampMarsh

2017 AERIAL PHOTOS (Image)



Reference Map



Map Scale: 1 inch = 53 feet  
 Map Date: 7/05/2019  
 Data Date: May 3, 2019



Sources: City of Farmington, Oakland County GIS  
 Utility, River's Edge GIS, LLC.

Disclaimer:  
 Note: The information provided by this program has been compiled from recorded deeds, plats, taxmaps, surveys, and other public records and data. It is not a legally recorded map or survey and is not intended to be used as one. Users of this data are hereby notified that the information sources mentioned above should be consulted for verification of the information. Once again, USE AT YOUR OWN RISK !!!



# CITY OF FARMINGTON

*For office use only*

Date Filed: \_\_\_\_\_

Fee Paid: \_\_\_\_\_

## Site Plan Application

1. Project Name Panera Bread Bakery - Drive-thru retro-fit

2. Location of Property

Address 34635 Grand River, Farmington, MI 48335

Cross Streets Grand River & Whittaker St.

Tax ID Number 23-28-128-035

3. Identification

Applicant Panera Bread Bakery

Address 3630 S. Geyer Road, Suite 100

City/State/Zip St. Louis, MO 63127

Phone (314) 984-2578 Fax scot.schimweg@panerabread.com

Interest in the Property (e.g. fee simple, land option, etc.)

Property Owner  Other (Specify) Leasee

Property Owner Daniel Garber 2012 Trust & Joel Garber 2012 Trust

Address P.O. Box 510140

City/State/Zip Milwaukee WI 53202

Phone (414) 807-8900 Fax (414) 963-4151

Preparer of Site Plan Diffin-Umlor & Associates

Address 49287 West Road

City/State/Zip Wixom, MI 48393

Phone (248) 773-7656 Fax (866) 690-4307

4. Property Information

Total Acres 0.795 Acres  
Lot Width 137 ft. Lot Depth 240 ft.  
Zoning District C2  
Zoning District of Adjacent Properties to the  
North NA South R1C East C2 West C2

5. Use

Current Use of Property Restaurant

Proposed Use

<input type="checkbox"/>	Residential	Number of Units	<u>1</u>
<input type="checkbox"/>	Office	Gross Floor Area	<u>4081sq.ft.</u>
<input checked="" type="checkbox"/>	Commercial	Gross Floor Area	_____
<input type="checkbox"/>	Industrial	Gross Floor Area	_____
<input type="checkbox"/>	Institutional	Gross Floor Area	_____
<input type="checkbox"/>	Other _____	Gross Floor Area	_____

Proposed Number of Employees \_\_\_\_\_

A copy of the complete legal description of the property and proof of property ownership should accompany this application.

I, Scot Schimweg (applicant), do hereby swear that the above statements are true.

[Signature] 6/13/19  
Signature of Applicant Date

[Signature] 4/13/19  
Signature of Property Owner Date

I, Mark Garber - Trustee (property owner), hereby give permission for City of Farmington officials, staff, and consultants to go on the property for which the above referenced site plan is proposed for purposes of verifying information provided on the submitted application.

City Action

Approved/Dented: \_\_\_\_\_

Date: \_\_\_\_\_

By: \_\_\_\_\_

Conditions of Approval: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_



# CITY OF FARMINGTON

## Site Plan Review Checklist

a. Site Plan Descriptive and Identification Data	Provided	Not Provided
Site plans shall consist of an overall plan for the entire development, drawn to an engineer's scale of not less than 1 inch = 50 feet for property less than three acres, or one inch = 100 feet for property 3 acres or more in size	X	
Sheet size shall be at least 24 x 36 inches	X	
If a large development is shown in sections on multiple sheets, then one overall composite sheet shall be included	NA	
Title block with sheet number/title; name, address and telephone number of the applicant and firm or individual who prepared the plans; and date(s) of submission and any revisions (month, day, year)	X	
Scale and north-point	X	
Location map drawn to a separate scale with north-point, showing surrounding land uses, water features and streets within a quarter mile	X	
"Not to be Used as Construction Drawings" must be noted on the site plan	X	
Legal and common description of property	X	
Identification and seal of registered or licensed architect, civil engineer, land surveyor, landscape architect or community planner who prepared drawings	X	
Zoning classification of petitioner's parcel and all abutting parcels	X	
Proximity to section corner and major thoroughfares	X	
Net acreage (minus rights-of-way) and total acreage	X	
b. Site Data	Provided	Not Provided
Existing lot lines, building lines, structures, parking areas and other improvements on the site and within 100 feet of the site	X	

Where grading is proposed, topography on the site and within 100 feet of the site at two-foot contour intervals, referenced to a U.S.G.S. benchmark	X	
Proposed lot lines, lot dimensions, property lines, setback dimensions, structures and other improvements on the site and within 100 feet of the site	X	
Location of existing drainage courses, floodplains, rivers and MDEQ regulated wetlands with elevations	NA	
All existing and proposed easements	X	
Details of exterior lighting including locations, height, fixtures, method of shielding and a photometric grid overlaid on the proposed site plan indicating the overall lighting intensity of the site (in footcandles)	X	
Location of waste receptacle(s) and mechanical equipment and method of screening	X	
Location, size, height and lighting of all proposed freestanding and wall signs	X	
Location, size, height and material of construction for all walls or fences with cross-sections	X	
Extent of any outdoor sales or display area	NA	
Location, height and outside dimensions of all storage areas and facilities	NA	
<b>c. Access and Circulation</b>	<b>Provided</b>	<b>Not Provided</b>
Dimensions, curve radii and centerlines of existing and proposed access points, roads and road rights-of-way or access easements	X	
Driveways and intersections within 250 feet of site	X	
Cross section details of existing and proposed roads, driveways, parking lots, sidewalks and pathways illustrating materials, width and thickness	X	
Dimensions of acceleration, deceleration and passing lanes	NA	
Dimensions of parking spaces, islands, circulation aisles and loading zones	X	
Radii for driveways and parking lot islands	X	



Calculations for required number of parking and loading spaces

X

\_\_\_\_\_

Designation of fire lanes

X

\_\_\_\_\_

Traffic regulatory signs and pavement markings

X

\_\_\_\_\_

Shared parking or access easements, where applicable

X

\_\_\_\_\_

**d. Landscape Plans (city reserves the right to require plans be prepared and sealed by a registered landscape architect)**

Provided

Not Provided

The general location, type and size of all existing plant material, with an identification of materials to be removed and materials to be preserved

X

\_\_\_\_\_

Limits of grading and description of methods to preserve existing landscaping

X

\_\_\_\_\_

The location of proposed lawns and landscaped areas

X

\_\_\_\_\_

Landscape plan, including location, of all proposed shrubs, trees and other plant material

X

\_\_\_\_\_

Planting list for proposed landscape materials with caliper size or height of material, spacing of species, botanical and common names, and quantify

X

\_\_\_\_\_

Calculations for required greenbelts, buffer zones, parking lot trees, detention ponds and interior landscaping

X

\_\_\_\_\_

Method of installation and proposed dates of plant installation

X

\_\_\_\_\_

Landscape maintenance program

X

\_\_\_\_\_

**e. Building and Structure Details**

Provided

Not Provided

Location, height, and outside dimensions of all proposed buildings or structures

X

\_\_\_\_\_

Building floor plans and total floor area

X

\_\_\_\_\_

Details on accessory structures and any screening

NA

\_\_\_\_\_

Building facade elevations for all sides, drawn at an appropriate scale

X

\_\_\_\_\_

Method of screening for all ground-, building- and roof-mounted equipment

X

\_\_\_\_\_

Description of exterior building materials including colors (samples or photographs may be required)

<b>f. Information Concerning Utilities, Drainage and Related Issues</b>	<b>Provided</b>	<b>Not Provided</b>
---	-----------------	---------------------

Location of sanitary sewers and septic systems, existing and proposed	X	
Location and size of existing and proposed water mains, water service, storm sewers and drains, and fire hydrants	X	
Storm water retention and detention ponds, including grading, side slopes, depth, high water elevation, volume and outfalls	NA	
Location of above and below ground gas, electric and telephone lines, existing and proposed	X	
Location of utility boxes	X	

<b>g. Additional Information Required for Multiple-family Residential Development</b>	<b>Provided</b>	<b>Not Provided</b>
---	-----------------	---------------------

The number and location of each type of residential unit (one bedroom units, two bedroom units, etc.)		
Density calculations by type of residential unit (dwelling units per acre)		
Garage and/or carport locations and details, if proposed		
Mailbox clusters		
Location, dimensions, floor plans and elevations of common building(s) (e.g., recreation, laundry, etc.), if applicable		
Swimming pool fencing detail, including height and type of fence, if applicable		
Location and size of recreation and open space areas		
Indication of type of recreation facilities proposed for recreation area		

<b>h. Miscellaneous</b>	<b>Provided</b>	<b>Not Provided</b>
-------------------------	-----------------	---------------------

A general operations plan including description of the nature of the proposed use or activity, noise impacts, hours of operation, the number of employees, etc	X	
Assessment of potential impacts from the use, processing, or movement of hazardous materials or chemicals, if applicable	X	

For additions and expansions, a clear distinction between existing buildings, structures and impervious surface areas and any proposed development must be made

Any additional graphics or written materials requested by the planning commission to assist in determining the compliance with site plan or special land use standards, such as but not limited to: aerial photography; cross-sections which illustrate impacts on views and relationship to adjacent land uses; photographs; traffic impact studies and parking demand studies; and environmental impact studies; such information shall be prepared by a qualified individual or firm with experience in the specific discipline

X	



No.	Description	Date

Professional Seal:

Sheet Description:

EQUIPMENT PLAN

Project Number: 18633 Sheet Number:

Drawn By:

Issue Date:

12-17-18

DPM:

AW

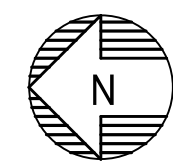
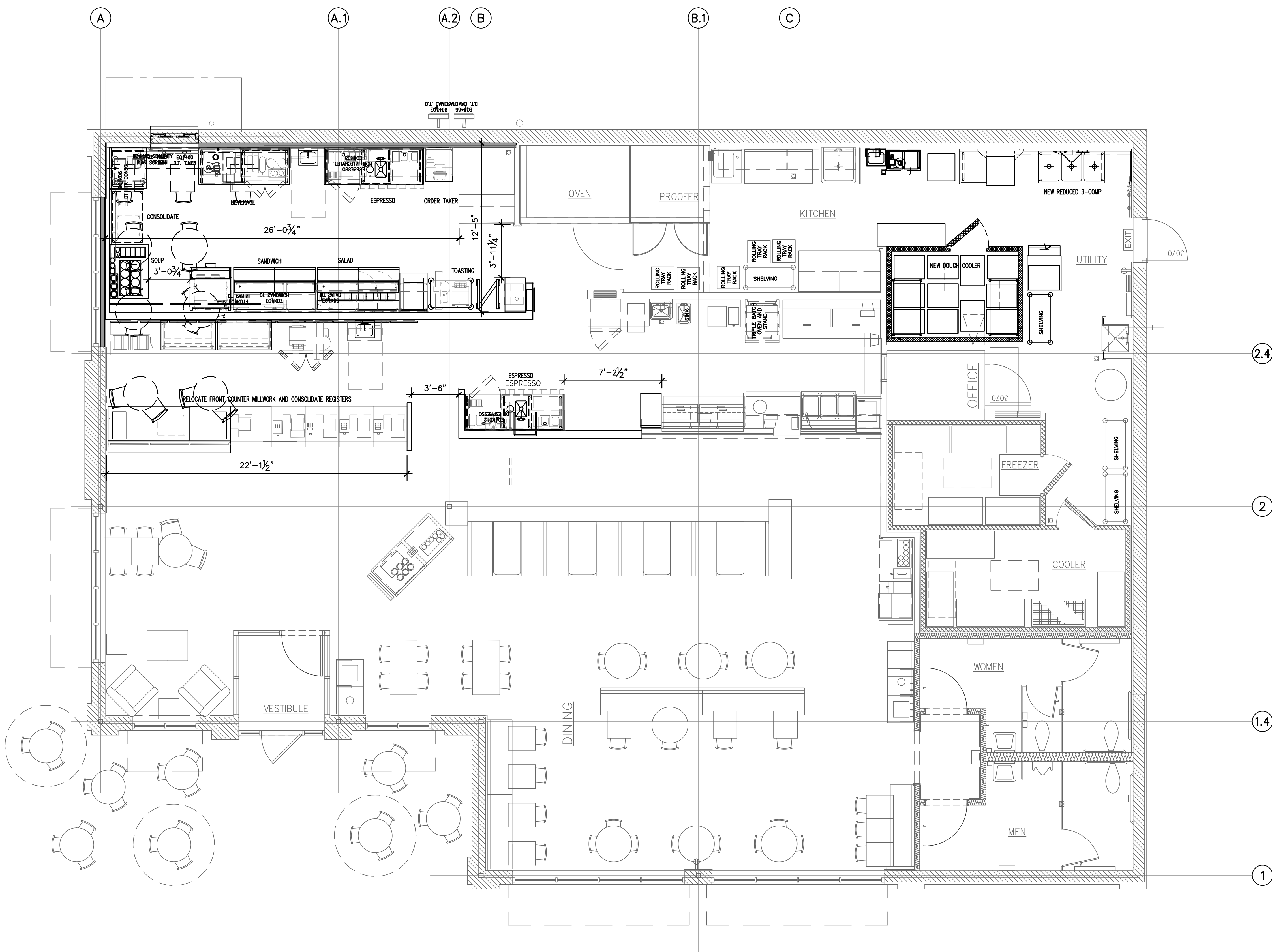
DM:

LK

CPM:

MB

A703



EQUIPMENT SCHEDULE (NEW)							EQUIPMENT SCHEDULE (CONTINUED) (NEW)										
CODE	QTY	DESCRIPTION	MANUFACTURER	MODEL #	DIMENSIONS	SUPPLIED	INSTALLED	NOTES	CODE	QTY	DESCRIPTION	MANUFACTURER	MODEL #	DIMENSIONS	SUPPLIED	INSTALLED	NOTES
007G24	3	WALL SHELF, SINGLE, DOWN BRACKETS - 24"	EAGLE	YPB-0048-24; WB24-C BRACKETS	26.595"W x 25.289"D	E.S.	E.S.		459	1	DRIVE THRU COFFEE RACK & DECANTER	WILBUR CURTIS	WRCLXP2B / CLXP64015000 / CLXP64015000	DECANTER: 9.26"DIA. x 7.04"H; RACK: 7.25"W x 8"H x 15"D	E.S.	G.C.	-
007G36	4	WALL SHELF, SINGLE, DOWN BRACKETS - 36"	EAGLE	YPB-0048-36; WB24-C BRACKETS	38.595"W x 25.289"D	E.S.	E.S.		460	1	DRIVE THRU TIMER/PC	HYPERACTIVE	CUSTOM	21"W x 6"D x 18"H	E.S.	E.S.	-
007G42	2	WALL SHELF, SINGLE, DOWN BRACKETS - 42"	EAGLE	YPB-0048-42; WB24-C BRACKETS	44.595"W x 25.289"D	E.S.	E.S.		462B	1	TIMER FLAT SCREEN (23" LCD )	NEC	EA232WMI-BK	21.7"W x 2.8"D x 13"H	OWNER	OWNER	-
007G48	2	WALL SHELF, SINGLE, DOWN BRACKETS - 48"	EAGLE	YPB-0048-48; WB24-C BRACKETS	50.595"W x 25.289"D	E.S.	E.S.		463	1	SECURITY FLAT SCREEN MONITOR 17"	CLINTON ELECTRONICS	V1768U	14.88"W x 1.91"D x 12.50"H	E.S.	E.S.	-
007J24	2	WALL SHELF, SINGLE, UP BRACKETS - 24"	METRO	1824C SHELF; 18WB1C BRACKETS	24"W x 18"D	E.S.	E.S.		466	2	PELCO DRIVE THRU CAMERA ENCLOSURE	PELCO	EH3515	17.75"W x 5.2"D x 3.9"H	UAS	E.S.	-
007J30	2	WALL SHELF, SINGLE, UP BRACKETS - 30"	METRO	1830C SHELF; 18WB1C BRACKETS	30"W x 18"D	E.S.	E.S.		?	701	?	?	?	?	?	?	?
007J42	1	WALL SHELF, SINGLE, UP BRACKETS - 42"	METRO	1842C SHELF; 18WB1C BRACKETS	42"W x 18"D	E.S.	E.S.		KD12	1	KDS DT ESPRESSO STN MONITOR	LG	23MB35PM-B	21.6"W x 2.4"D x 13.2"H	OWNER	OWNER	C
007J48	2	WALL SHELF, SINGLE, UP BRACKETS - 48"	METRO	1848C SHELF; 18WB1C BRACKETS	48"W x 18"D	E.S.	E.S.		KD14	1	KDS DT PANINI MONITOR	NEC	EA232WMI-BK	21.7"W x 2.8"D x 13"H	OWNER	OWNER	C
008D	1	BAGEL SLICER/TOASTER CART	EAGLE	PAN BAGELCART2	36"Wx24"Dx32"H	E.S.	G.C.	-	KD6	1	KDS DT MASTER CONSOLIDATOR MONITOR	LG	23MB35PM-B	21.6"W x 2.4"D x 13.2"H	OWNER	OWNER	C
019A	2	FAUCET (ESPRESSO)	ZURN	Z812B1-15F	6.5"W x 2"D x 11.9"T	C.S.	G.C.	-	KD7	1	KDS DT SANDWICH MONITOR	NEC	EA232WMI-BK	21.7"W x 2.8"D x 13"H	OWNER	OWNER	C
021A	2	WALL MTD SS HANDSINK	EAGLE	HSA-10-F	17.75"W x 15.25"D	E.S.	G.C.	6,H	KD8	1	KDS DT SALAD MONITOR	NEC	EA232WMI-BK	21.7"W x 2.8"D x 13"H	OWNER	OWNER	C
022	2	ICE CADDIE	CAMBRO	IC125LB	22"W x 26"D x 29.25"H	E.S.	G.C.		KD9	1	KDS NON-INTEGRATED ESPRESSO STN MONITOR	LG	23MB35PM-B	21.6"W x 2.4"D x 13.2"H	OWNER	OWNER	C
023B	1	ICE MACHINE (w/remote condenser)	HOSHIZAKI	KMD-860MRJ	30"W x 24.625"D x 28"H	OWNER	G.C.	-									
028A	2	PAPER TOWEL DISPENSER, MECHANICAL, PORTION CONTROLLED	TORK	551028A - TORK ELEVATION MATIC HAND TOWEL ROLL DISPENSER, BLACK	13.26"W x 7.99"D x 14.65"H	SCA	G.C.	-									
029	2	SOAP DISPENSER	ECOLAB	92633825	4"W x 4"D x 8"H	ECOLAB	G.C.										
030	2	REGISTER WITH CASH DRAWER	NCR	REAL POS 72XRT WITH COMPACT CASH DRAWER	10.5"D x 15"H, CASH DRAWER - 16.2"W x 16.3"D x 4.3"H	NCR	NCR										
031	5	PRINTER	EPSON/MICROS	TM-T88	6.5"W x 13.6"D x 9.6"H	MICROS	MICROS										
040B	2	DOUGH COOLER - BRIDGE SHELF	EAGLE	PAN BRIDGE	48"W x 24"D x 86"H	E.S.	E.S.										
040E	1	FAST-TRACK WALK-IN DOUGH COOLER	NORLAKE	SEE SHOP DWGS	SEE SHOP DWGS	E.S.	G.C.	-									
042C	1	CARBONATOR	CORNELIUS	1624	12"W x 9"D x 10.5"H	PEPSI	PEPSI										
043C	12	TRANSPORT CABINET	NATIONAL CART	AL-1840EC-HD	27"W x 21"D x 68"H	OWNER	OWNER										
045G	1	SS TABLE (24")	METAL MASTERS	T3024SB-BS	24"W x 30"D x 34.5"H	E.S.	E.S.	A									
045J	1	SS TABLE (18")	METAL MASTERS	T3018SB-BS	18"W x 30"D x 34.5"H	E.S.	E.S.	A									
047F	1	SS. TABLE W/OPEN BASE (24")	EAGLE	YPB-53324-0001-00	24"W x 33"D x 38"H	E.S.	E.S.										
052A	1	DUAL THICKNESS BREAD SLICER	OLIVER	758-N	38.25"W x 29.75"D x 54.25"H	E.S.	E.S.										
053F	1	72" SANDWICH PREP TABLE	RANDELL	8368NM-PANERA	72"W x 37"D x 48"H	E.S.	E.S.										
053M	1	36" DRIVE THRU TOPPING STATION	RANDELL	11336PR-PANERA	36"W x 38"D x 36"H	E.S.	E.S.										
054B	1	SODA/ICE DISP. DT (8 HD)	CORNELIUS	IDC255 #621063045	30"Wx36"Dx40"H	PEPSI	PEPSI										
055C(L)	1	U.C. 1 DR REFRIGERATOR	TRUE MANUFACTURING	TUC-27 W/LH DR	27.5"W x 30"D x 33.25"H	E.S.	E.S.	0									
055C(R)	1	U.C. 1 DR REFRIGERATOR	TRUE MANUFACTURING	TUC-27 W/RH DR	27.5"W x 30"D x 33.25"H	E.S.	E.S.	0									
055D	1	WORKTOP 2 DR REFRIGERATOR	TRUE MANUFACTURING	TWT-48	48.3"Wx30.1"Dx39.7"H	E.S.	E.S.	0									
055E	1	ROLL-IN 2 DR REFRIGERATOR	TRUE MANUFACTURING	TUC-36	36.4"Wx30.1"Dx36"H	E.S.	E.S.	0									
055T	1	SALAD CRISPER	SILVER KING	SKSD	17.62"Wx28.42"Dx36.39"H	E.S.	E.S.	A									
057A	1	NARROW TEA DISPENSER (BETA)	WILBUR CURTIS	TCN	5.625"W x 15.5"D x 22.125"H	E.S.	E.S.										
061	2	ESPRESSO MACHINE (AUTOMATIC)	FRANKE	EVOLUTION 2-STEP	13"W x 24"D x 31"H	OWNER	OWNER	-									
063B	2	MICROWAVE (BETA)	PANASONIC	NE-1757	16.625" x 20"D x 13.18"H	E.S.	E.S.										
071	1	COOLER COMPRESSOR	KOLPAK	SEE SHOP DWGS	SEE SHOP DWGS	E.S.	G.C.										
071A	1	COOLER EVAPORATOR	KOLPAK	SEE SHOP DWGS	SEE SHOP DWGS	E.S.	G.C.										
075C	2	CONVEYOR TOASTER	HATCO CORPORATION	TQ3-900H	14.7"W x 20.62"D x 17.13"H	E.S.	G.C.										
076D	1	SIMPLICITY BUBBLER - 4 BOWL	CRATHCO BY GMCW	CS-4E-16	20.4"W x 17.7"D x 25.5"H	E.S.	E.S.										
081F	1	72" SALAD PREP TABLE	RANDELL	8368NM-PANERA w/ #4SHERCO	72"W x 37"D x 54.625"H	E.S.	E.S.										
081G	1	SALAD COOLER CONDIMENT TOPPER	RANDELL	#4 SHERCO	72"W x 17.992"D x 6.625"H	E.S.	G.C.										
082	1	BAGEL SLICER	OLIVER	702-N	30"W x 13"D x 21"H	E.S.	E.S.										
082	1	BAGEL SLICER	OLIVER	702-N	30"W x 13"D x 21"H	E.S.	G.C.										
082B	1	BAGEL SLICER BASKET -LARGE	-	CUSTOM	12"W x 12"D x 8"H	E.S.	G.C.										
082C	1	BAGEL SLICER CHUTE	OLIVER	-	12.5"W x 33.3"D x 31.4"H	E.S.	E.S.	-									
082C	1	BAGEL SLICER CHUTE	OLIVER	-	12.5"W x 33.3"D x 31.4"H	E.S.	G.C.	-									
083A	4	BLENDER	VITAMIX	03066	8.5"W x 10"D x 18.0"H (24.5"H WITH LID OPENED)	E.S.	E.S.										
084E	2	SS WALL SHELF (48")	EAGLE GROUP	CUSTOM STAINLESS	48"W x 12"D	E.S.	G.C.										
084N	1	BREAD STORAGE SHELF	RANDELL	4SHERBREAD-PANERA	72"W x 15.25"D x 15.125"H	E.S.	G.C.										
084T	1	MICROWAVE SHELF	EAGLE	YPB-0221-00	72"W x 18.875"D x 2.25"H	E.S.	G.C.										
085A	1	HEATED SHELF	HATCO	GRS-18-1	18"W x 19.5"D x 2.25"H	E.S.	E.S.										
085A	1	HEATED SHELF	HATCO	GRS-18-1	18"W x 19.5"D x 2.25"H	E.S.	G.C.										
085D	1	HEATED SHELF	HATCO	GRSS-2418PANERA	24"W x 18"D x 2.5"H	E.S.	E.S.										
085H	1	DOUBLE BATCH OVEN	TURBOCHEF	HHO-9500-21	27.7"W x 31.7"D x 23.2"H	E.S.	E.S.										
401C(L)	1	LEFT HAND BEVERAGE STATION (DRIVE THRU)	EAGLE	YPB-T3280-0010-00	80"W x 32"D x 36"H	E.S.	E.S.	-									
402C	1	SS DT CONSOLIDATOR STATION (48")	EAGLE	YPB-0289-00	48"W x 30"D x 33.3125"H	E.S.	E.S.										
404A	1	POS STATION (DRIVE THRU)	EAGLE	YPB-T3236-0003-00	36"W x 32"D x 35.25"H	E.S.	E.S.	-									
407	1	PASS THRU WINDOW (DRIVE THRU) W/ POWER SUPPLY IN LEFT HAND JAMB, THRU-BEAM PHOTO ELECTRIC EYE BAR & 5/8" INSULATED TEMPERED GLAZING (BRONZE TINT). FRAME SHALL BE INSULATED & HAVE A CLEAR ANODIZED ALUM FINISH	QUICKSERV CORP	FM-42E	42"W x 40"T x 21"D	G.C.	G.C.	-									
408A	1	NON-HEATED AIR CURTAIN UNIT ABOVE DRIVE THRU WINDOW	QUICKSERV CORP.	CF-25	25"W x 9"D x 10"	G.C.	G.C.	-									
415	1	SMARTWALL @ DRIVE THRU- INCLUDES 5 WIRE BASKETS AND 3 SHELVES	EAGLE	PAN DT-WS-84	84"W x 32.25"H x 8"D	E.S.	E.S.	-									
420	4	CUP DISPENSER INSERT AT DT	ROYSTON	CD170	7-1/8"DIA X 22"D	E.S.	G.C.	-									
440A	1	DRIVE THRU CONSOLIDATOR SWEETS RACK (7 PAN CAPACITY)	EAGLE	YPB-RACK-0005-00	20.5"W x 26"D x 33.5"H	E.S.	E.S.	-									
441	1	Z TYPE NESTING RACK (20 PAN CAPACITY)	EAGLE	OUR-1820-3-N	20.5"W x 26"D x 69.5"H	OWNER	OWNER	-									

**BAKERY CAFE EQUIPMENT SCHEDULE NOTES:** UPDATED 06.30.06

- |   |  |
|---|--|
| <p><b>KEYED NOTES:</b></p> <ul style="list-style-type: none"> <li>A. EQUIPMENT TO HAVE 4" CASTERS W/ 2 LOCKING</li> <li>B. EQUIPMENT TO HAVE (2) 5M &amp; (2) 5MB CASTERS</li> <li>C. WALL MOUNTED</li> <li>D. FURNISH W/ RAILS (4) SIDES</li> <li>E. EQUIPMENT TO HAVE 6" CASTERS W/ 2 LOCKING</li> <li>F. NOT USED</li> <li>G. FURNISH W/ SIDE SPLASHES</li> <li>H. SINK IS FURNISHED W/ FAUCET.</li> <li>I. NOT USED</li> <li>J. PLASTIC LAMINATE DESK TOP CLEATED TO WALLS.</li> <li>K. INSTALL (2) 2" GROMMIT HOLES FOR ELEC WIRES. CUT OUT FOR DROP-IN SINK</li> <li>L. FURNISHED W/ STAND</li> <li>M. NOT USED</li> <li>N. EQUIPMENT TO HAVE 3" CASTERS</li> <li>O. FURNISH W/WHITE CUTTING BOARD</li> <li>P. EQUIPMENT TO BE SECURED TO WALL</li> <li>R. SINGLE SHELF SUPPORTS W/ SINGLE DIRECT WALL MTS</li> <li>S. 25" DRAFT INDUCER W/ MOTOR</li> <li>T. 100' DRAFT INDUCER W/ MOTOR</li> <li>U. EQUIPMENT TO BE BOLTED TO FLOOR.</li> </ul> | <p><b>GENERAL NOTES:</b></p> <ul style="list-style-type: none"> <li>A. ONLY ITEMS WITH QUANTITY NUMBERS LISTED ARE INCLUDED IN THIS SCOPE OF WORK.</li> <li>B. STAINLESS STEEL WORK TABLES WITH DROP-IN SINKS ARE TO BE INSTALLED BY THE GC. ESPRESSO SINK INSTALLED BY CASEWORK VENDOR.</li> <li>C. G.C. TO COORDINATE THE DELIVERY &amp; INSTALLATION OF ALL EQUIPMENT TO BE SUPPLIED AND/OR INSTALLED BY OTHERS. REFER TO SPEC - SECTION 01010 &amp; 01640 FOR NOTES ON SCOPE OF WORK &amp; ITEMS NOT IN CONTRACT.</li> </ul> |
|---|--|

<b>ABBREVIATIONS:</b>	B BOWL
C.S. CASEWORK SUPPLIER	D DEPTH
E.S. EQUIPMENT SUPPLIER	EP. EPOXY FINISH
F.S. FURNITURE SUPPLIER	G.C. GENERAL CONTRACTOR
H. HEIGHT	H. SHELF
S.W. SMALL WARES	S.S. STAINLESS STEEL
W WIDTH	Z ZINC COATED

**Bakery-Cafe:**  
#0693  
 SYSTEM: G4 (ARIA)  
 PROJECT TYPE UPDATE: 2017.01  
 Project Team:

**DESIGN CONSULTANT:**  
  
**LK Architecture, Inc.**  
 345 Riverview  
 Wichita, KS 67203  
 T 316.268.0230  
 F 316.268.0205

Drive Thru Retrofit:  
**BAKERY CAFE #0693**  
 34635 GRAND RIVER AVE.  
 FARMINGTON, MI 48335



No.	Description	Date

Professional Seal:  
 Sheet Description:  
**EQUIPMENT SCHEDULE**  
 Project Number: Sheet Number:  
 18033  
 Drawn By:  
 Issue Date: A711  
 12-17-18  
 DPM: DM: CPM:  
 AW LK MB

ZONING CLASSIFICATION: C2 COMMUNITY COMMERCIAL

DRIVE-THRU WILL REQUIRE A SPECIAL USE PERMIT.

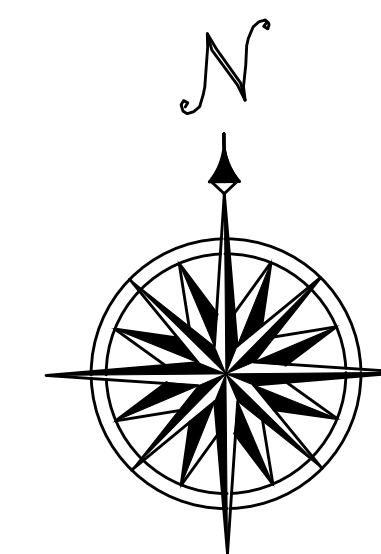
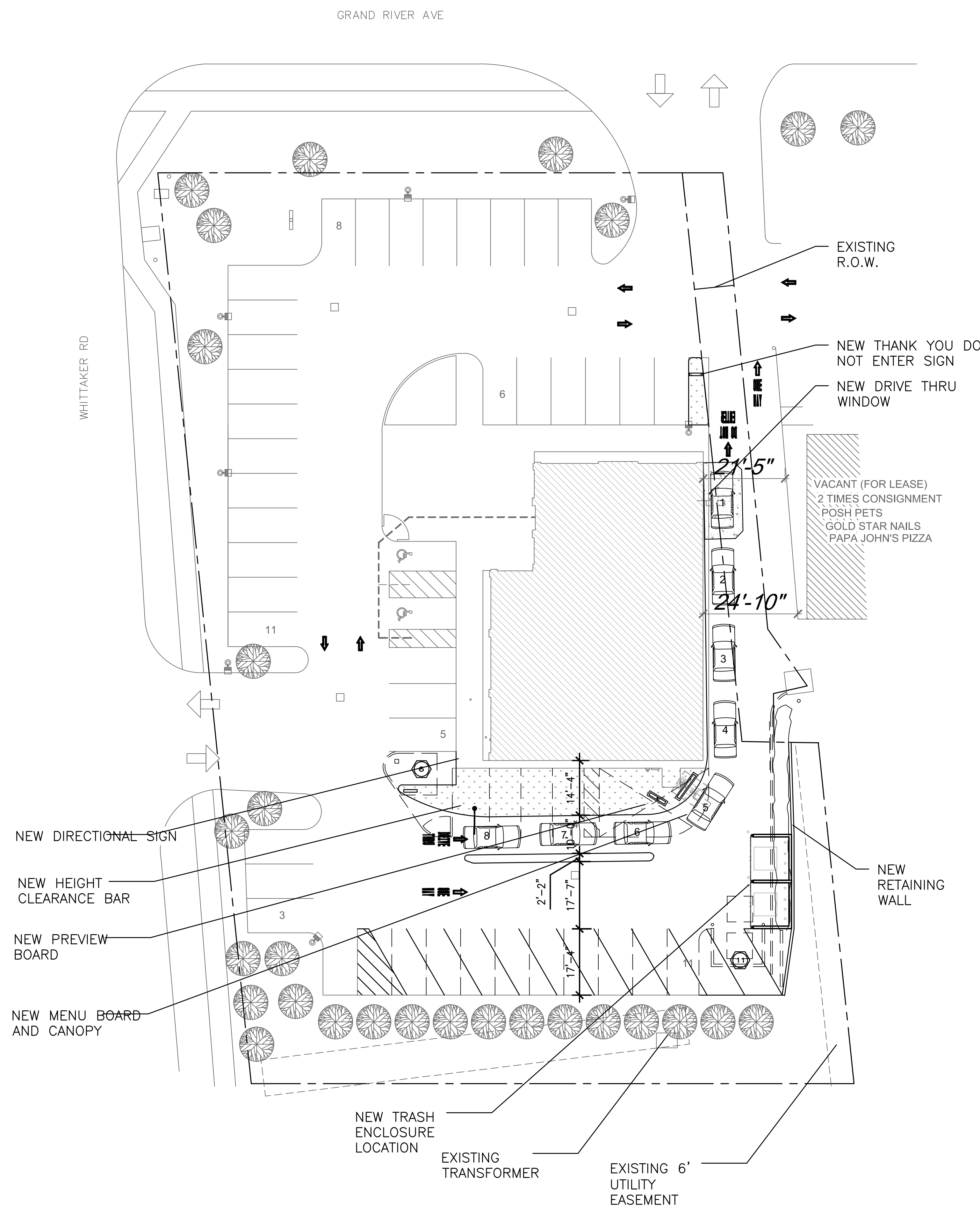
PARKING:  
ONE SPACE PER THREE SEATS PLUS ONE SPACE PER TABLE OUTDOORS.

STACKING:  
TEN DRIVE-THRU STACKING SPACES FROM THE LOCATION WHERE ORDERS ARE PLACED.

PARKING PATTERN:

	30°-74°	75°-90°	PARALLEL
MIN LANE WIDTH	12'	22'	22'
MIN SPACE WIDTH	9'	9'	9'
MIN SPACE LENGTH	18'	18'	18'

EXISTING PARKING	=48
REMOVE	=3
PROPOSED PARKING	=45



Bakery-Cafe:

#0693

SYSTEM: G4 (ARIA)  
PROTOTYPE UPDATE: 2017.01

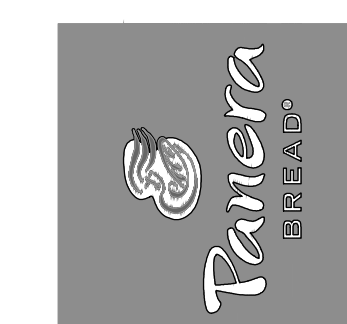
Project Team:

DESIGN CONSULTANT:



Project Title:

Drive Thru Retrofit:  
BAKERY CAFE #0693  
34635 GRAND RIVER AVE.  
FARMINGTON, MI 48335



No.	Description	Date

Professional Seal:

Sheet Description:

SITE PLAN

Project Number: 18033 Sheet Number:

Drawn By:

Issue Date:

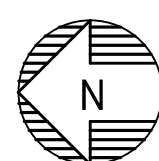
12-17-18

DFM: AW

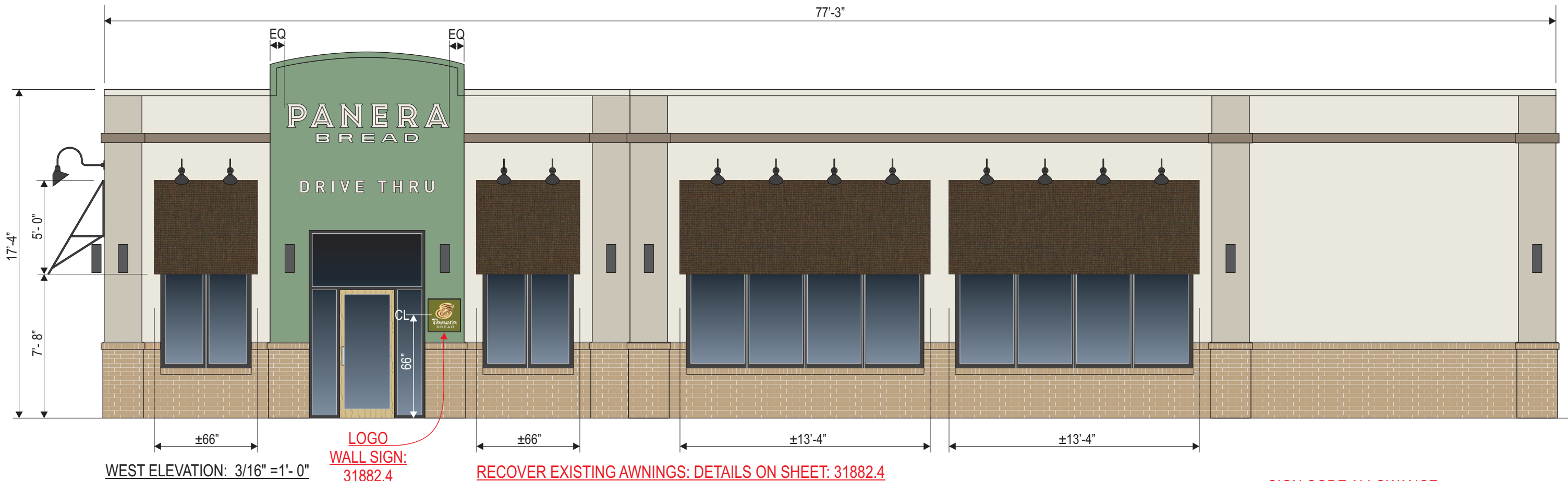
DM: LK

CPM: MB

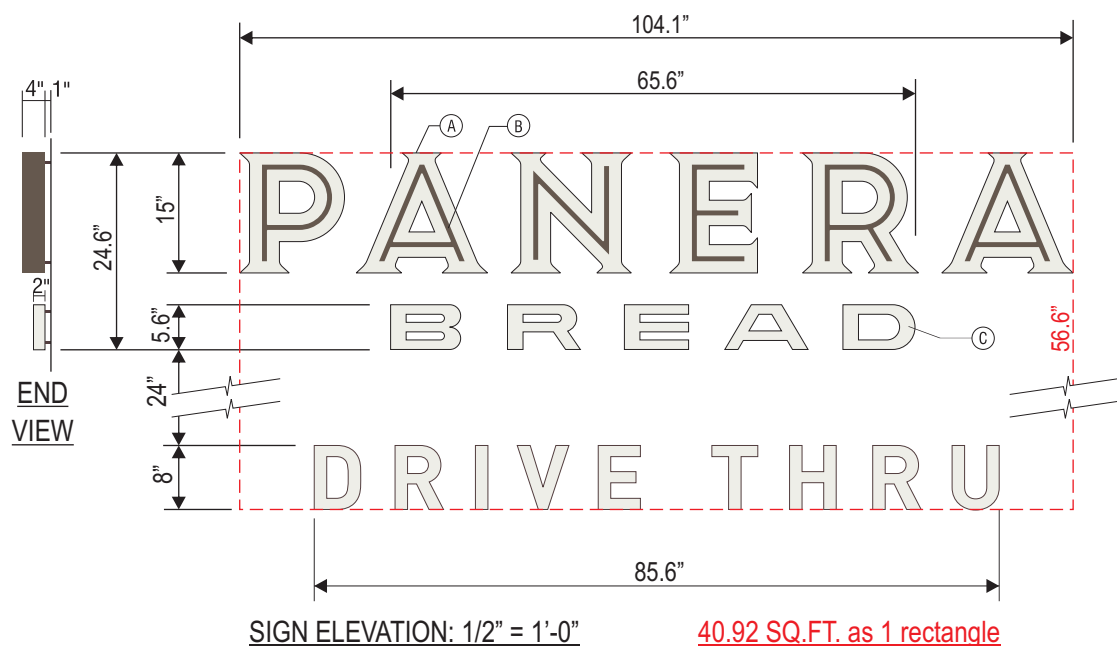
A001



24 SITE PLAN  
SCALE: 1/16"=1'-0"



**SIGN CODE ALLOWANCE:**  
 1 wall sign per elevation facing street or parking lot.  
 Not to exceed 10% of facade or 150 square feet.

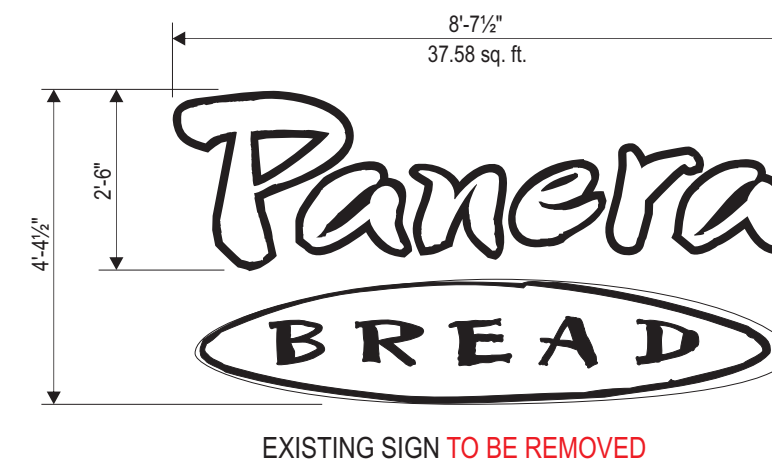


**Halo-lit Channel Letter Sign Type 1:**

**Fabricate & install:** Custom aluminum halo-lit "PANERA" individual letters with push thru acrylic inline, and aluminum halo-lit "BREAD" individual letters.

- (A) "PANERA" to be halo lit fabricated aluminum letters with an inset aluminum letter face. .063 returns .090 faces, clear sanded lexan backs. Paint letter faces and interior returns Snowmist. Paint returns Duranodic Bronze. Peg mount 1" off exterior wall finish.
- (B) Inline in copy to be routed out of aluminum face and backed with shelved push thru 1" clear acrylic (net push through of 3/4"). Acrylic edges to be frosted. Add 1st surface black/white 3M 3635-22B opaque vinyl film to push thru face and then Gerber 230-69 matte Duranodic Bronze opaque vinyl film applied over. Apply 3M 3635-30 40% diffuser to second surface of push thru. Illuminate letters with Sloan Prism 6500k white LEDs, double standard quantity for maximum brightness.
- (C) "BREAD" will be fabricated aluminum reverse pan channel letters, and illuminate. Paint letters Snowmist, peg mount 1" off exterior wall finish. "BREAD" letters can also be non illuminated. Paint all standoffs to match returns. Power supplies will be remote. **Verify conditions at site.**

- Mathews Paint Duranodic Bronze metallic MP 20147, satin finish**
- Mathews Paint Snowmist MP 04561, satin finish**
- Opaque Gerber matte Duranodic vinyl 230-69 for inline**



ARTWORK EXCLUSIVE PROPERTY OF

SINCE 1917

**MANDEVILLE SIGN**  
*making your mark.*

676 GEORGE WASHINGTON HIGHWAY  
 LINCOLN, RI 02865-4255

PHONE 401-334-9100 FAX 401-334-7799  
 WEB www.mandevillesign.com

APPROVALS	
Signatures Required Before Release to Production	
Engineering	DATE
Sales	DATE
Production	DATE
Quality Control	DATE

REVISIONS			
NO.	BY	DESCRIPTION	DATE
1	WD	Revise sign placement & area calculation. Add wall logo sign	01/11/19
2	WD	Lower wall logo sign	01/15/19
3			
4			
5			
6			
7			

CLIENT

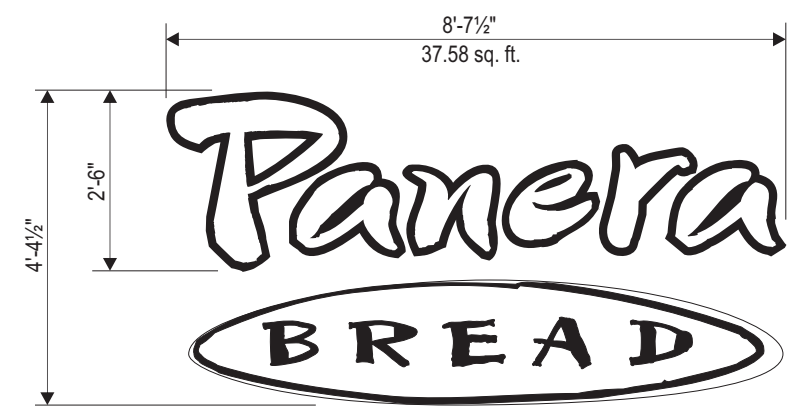
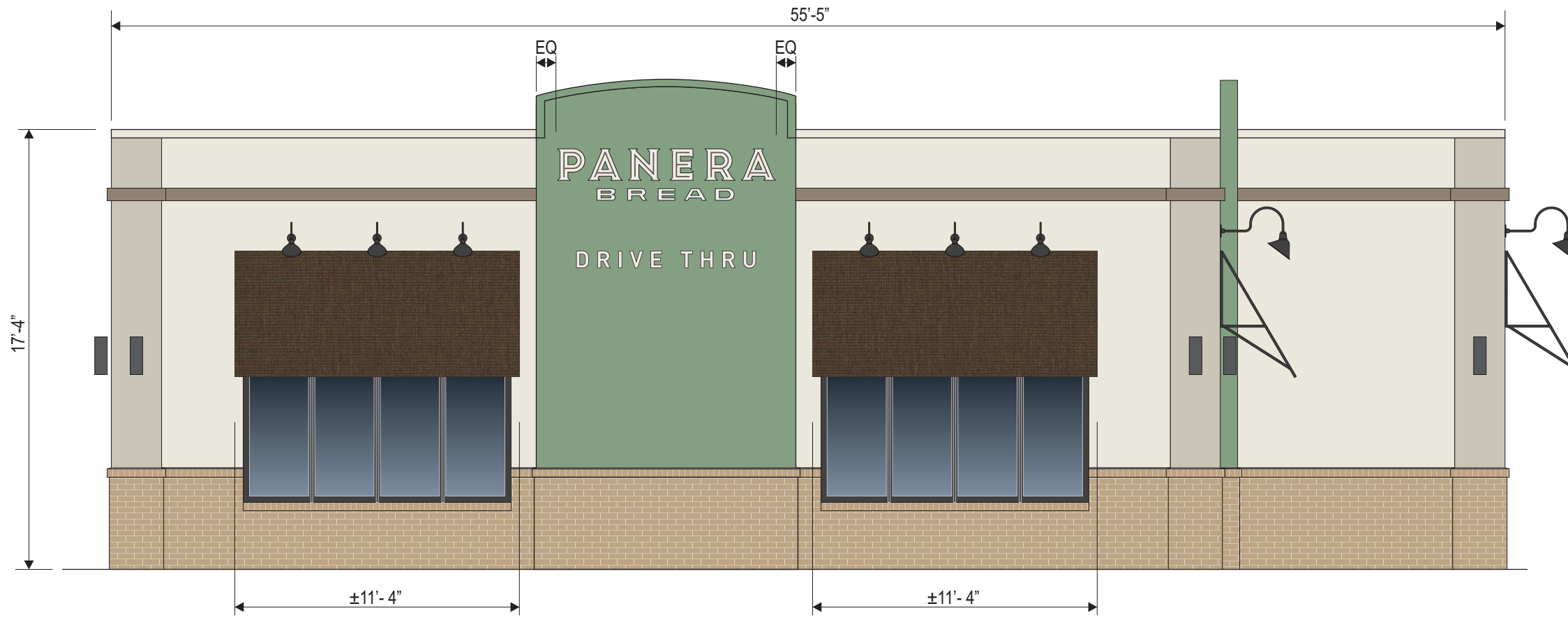
**PANERA BREAD**

STORE# 693

K-T Plaza, 34635 Grand River Rd.  
 FARMINGTON, MI

LOCATION

DO NOT SCALE DRAWINGS			
WORK ORDER NUMBER(S)		31882-1	
PROJECT MANAGER LINDA D.			
NOTED	WD	01/08/19	
SCALE	ARTIST	DATE	
DRAWING NAME 31882.1			



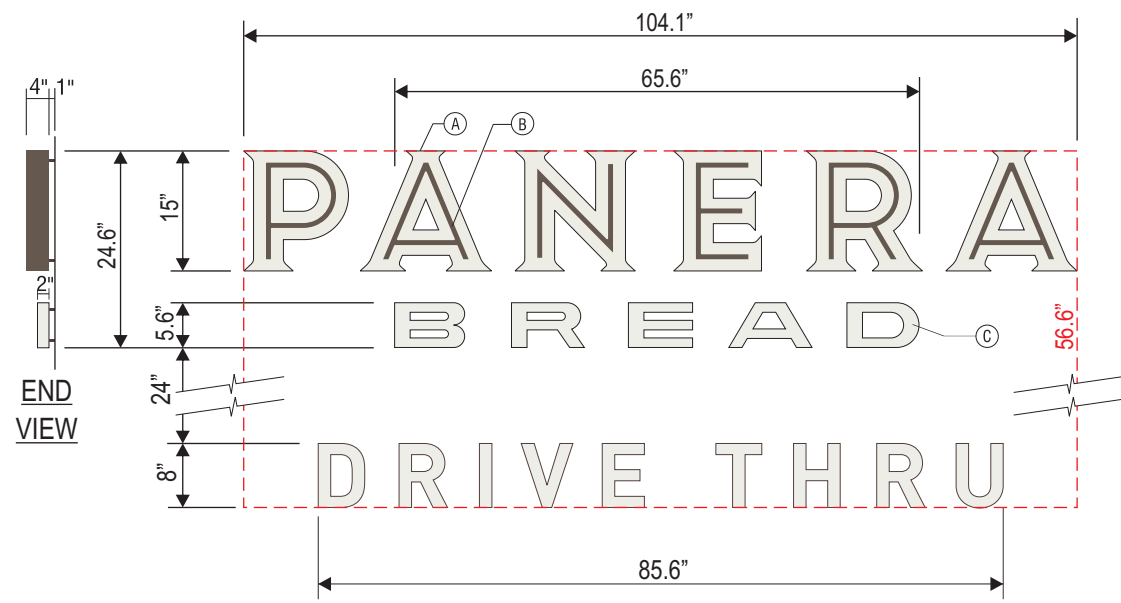
EXISTING SIGN TO BE REMOVED



EXISTING SIGN TO BE REMOVED

NORTH ELEVATION: 3/16" = 1'-0"

RECOVER EXISTING AWNINGS: DETAILS ON SHEET: 31882.5



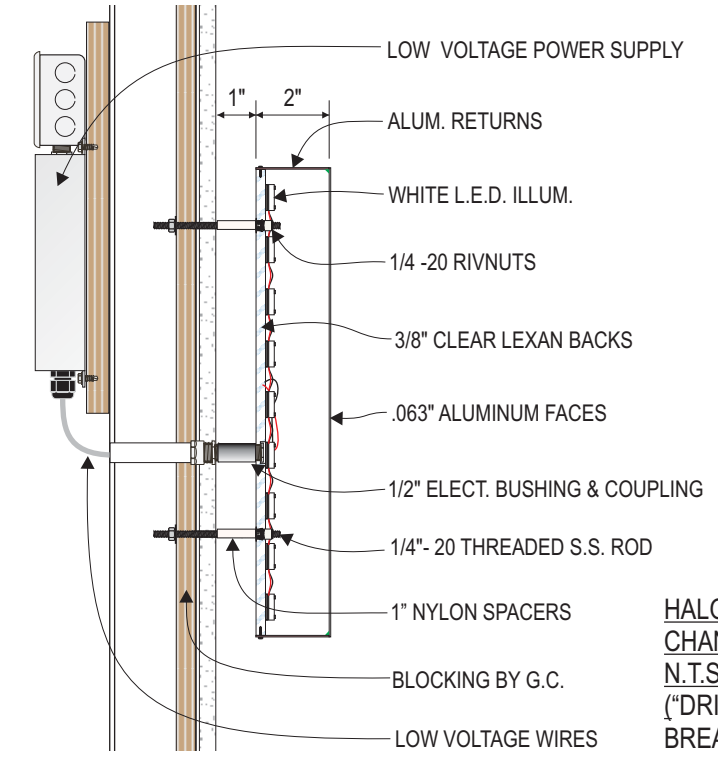
SIGN ELEVATION: 1/2" = 1'-0"

40.92 SQ.FT. as 1 rectangle

HALO-LIT "DRIVE THRU" & "BREAD" CHANNEL LETTERS:

- .063" ALUMINUM LETTER FACES
- .050" x 1 1/2" DEEP ALUM. RETURNS
- WHITE L.E.D. ILLUMINATION
- CLEAR POLYCARBONATE BACKS
- 120V INPUT, LOW VOLTAGE OUTPUT REMOTE POWER SUPPLY
- WALL MOUNT WITH STAINLESS STEEL ROD 1" FROM WALL w/ NYLON SPACERS
- LETTER FACES PAINTED #MP00015 POLAR WHITE, SATIN FINISH
- RETURNS PAINTED #MP20147 DURONODIC BRONZE METALLIC WITH SATIN FINISH
- U.L. & MANUFACTURERS LABELS

- Matthews Paint Duranodic Bronze metallic MP 20147, satin finish
- Matthews Paint Snowmist MP 04561, satin finish



HALO-LIT CHANNEL LETTERS N.T.S. ("DRIVE THRU" & "BREAD" Letters)

ARTWORK EXCLUSIVE PROPERTY OF

SINCE 1917

**MANDEVILLE SIGN**  
making your mark.

676 GEORGE WASHINGTON HIGHWAY  
LINCOLN, RI 02865-4255

PHONE 401-334-9100 FAX 401-334-7799

WEB www.mandevillesign.com

APPROVALS	
Signatures Required Before Release to Production	
Engineering	DATE
Sales	DATE
Production	DATE
Quality Control	DATE

REVISIONS		
NO.	BY	DESCRIPTION
1	WD	revise sign placement
2		
3		
4		
5		
6		
7		

CLIENT

STORE # 693

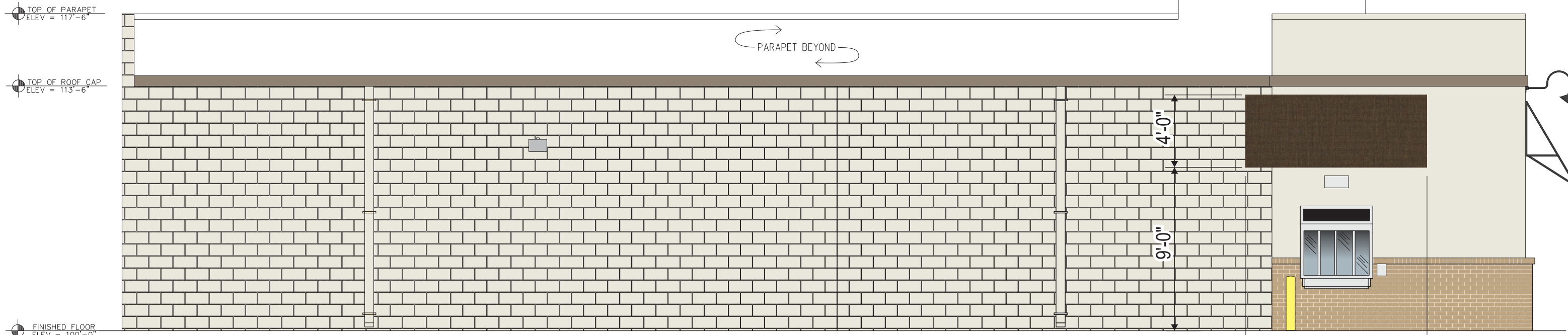
K-T Plaza, 34635 Grand River Rd.  
FARMINGTON, MI

LOCATION

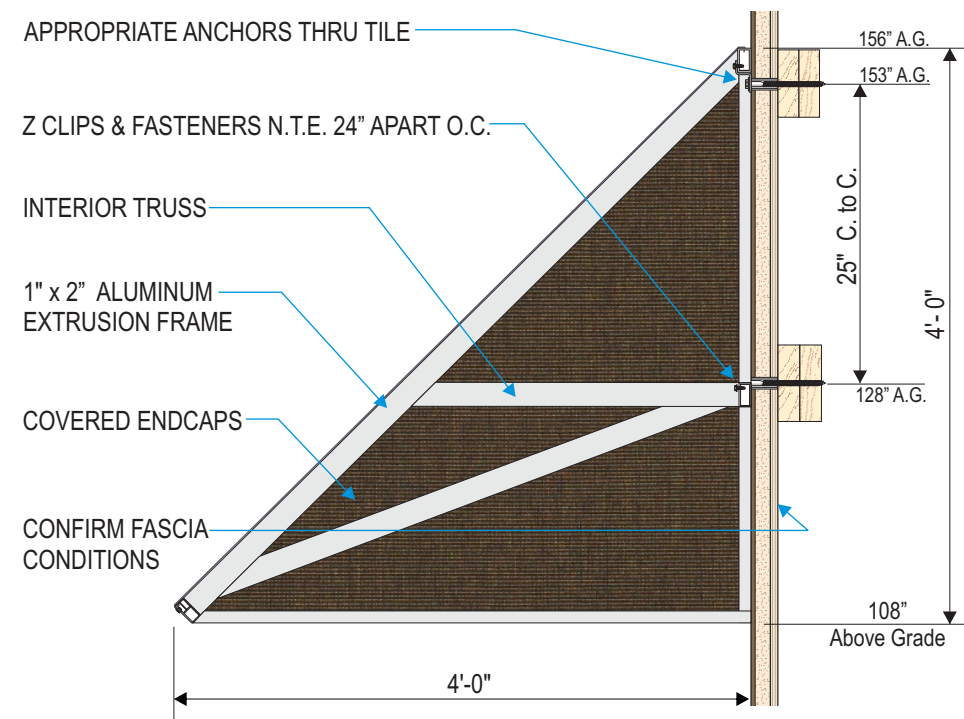
DO NOT SCALE DRAWINGS			
WORK ORDER NUMBER(S)		31882-1	
PROJECT MANAGER LINDA D.			
NOTED	WD	01/08/19	
SCALE	ARTIST	DATE	
DRAWING NAME 31882.2			



CONFIRM SIZE & PLACEMENT OF AWNING RELATIVE TO WALL TRANSITION



EAST ELEVATION: 3/16" = 1'-0"



DRIVE THRU AWNING SECTION ONLY: 3/4" = 1'-0"

**ALUMINUM FRAMED DRIVE THRU AWNING:**

- 1" x 2" x .125 TUBE ALUMINUM EXTRUSION WELDED FRAME
- FRAME PAINTED TO MATCH EXISTING AWNINGS
- TRUSS SPACING N.T.E. 24" APART O.C.
- SUNBRELLA #4618 WALNUT BROWN TWEED
- OPEN SOFFIT, COVERED END-CAPS
- PVC TRIM STAPLE COVER TO MATCH FRAMES
- MOUNTED USING Z-CLIPS & APPROPRIATE ANCHORS
- G.C. TO PROVIDE BLOCKING AS NEEDED

**FABRIC COVERS HAVE FIRE RATING NFPA 701**

ARTWORK EXCLUSIVE PROPERTY OF

SINCE 1917

**MANDEVILLE SIGN**  
making your mark.

676 GEORGE WASHINGTON HIGHWAY  
LINCOLN, RI 02865-4255

PHONE 401-334-9100 FAX 401-334-7799

WEB www.mandevillesign.com

APPROVALS		
Signatures Required Before Release to Production		
Engineering		DATE
Sales		DATE
Production		DATE
Quality Control		DATE

REVISIONS			
NO.	BY	DESCRIPTION	DATE
1	XX	XXXXXXXXXX	00/00/00
2			
3			
4			
5			
6			
7			

CLIENT

**PANERA BREAD**

STORE# 693

K-T Plaza, 34635 Grand River Rd.  
FARMINGTON, MI

LOCATION

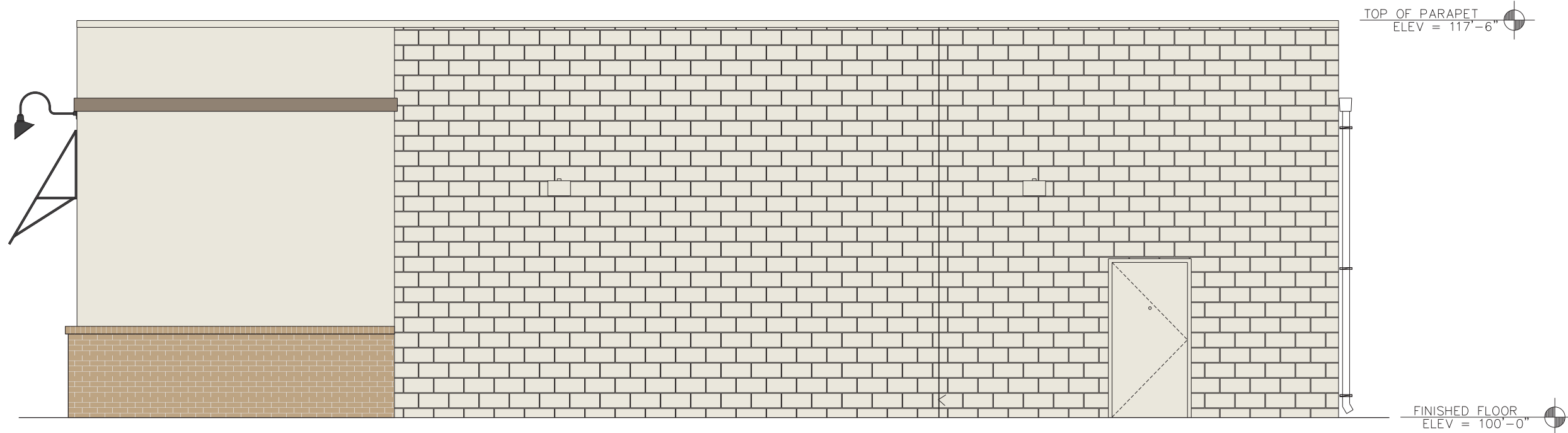
DO NOT SCALE DRAWINGS

WORK ORDER NUMBER(S) **31882-1**

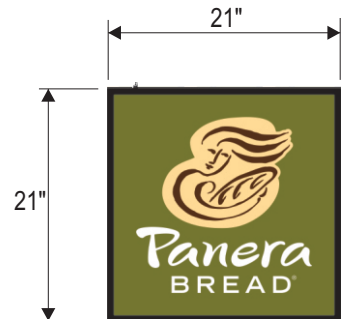
PROJECT MANAGER **LINDA D.**

NOTED	WD	01/08/19
SCALE	ARTIST	DATE

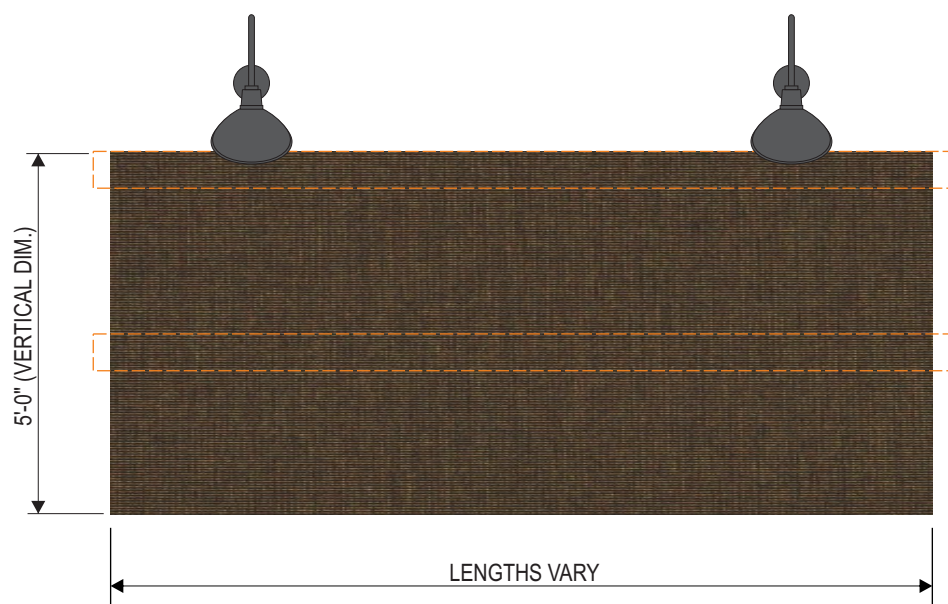
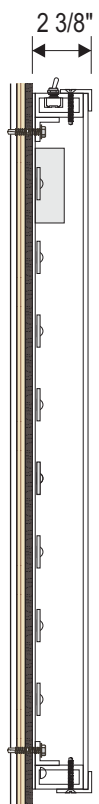
DRAWING NAME **31882.3**



SOUTH ELEVATION: 3/16" = 1'- 0"



5.84 SQ.FT.



AWNING - TYPICAL: 3/8" = 1'-0"

ILLUMINATED WALL LOGO SIGN:

- ALUMINUM FRAMED CONSTRUCTION
- CLEAR LEXAN FACE w/ DIGITALLY PRINTED GRAPHICS:
  - (PMS 1345U) MOTHER BREAD LOGO w/ PANTONE 476C BROWN DETAILS
  - (WHITE) PANERA BREAD COPY & "®" TRADEMARK
- SELF CONTAINED POWER SUPPLY w/ EXTERNAL DISCONNECT SWITCH
- 2 3/8" DEEP CABINET PAINTED BLACK
- PANEL MOUNTED FLUSH TO WALL

RECOVER (6) EXISTING AWNINGS:

- EXISTING ALUMINUM EXTRUSION WELDED FRAMES
- SUNBRELLA FABRIC: WALNUT BROWN TWEED #4618
- PVC STAPLE COVER TRIM TO MATCH FRAMES

ARTWORK EXCLUSIVE PROPERTY OF

SINCE  1917

**MANDEVILLE SIGN**  
making your mark.

676 GEORGE WASHINGTON HIGHWAY  
LINCOLN, RI 02865-4255

PHONE 401-334-9100 FAX 401-334-7799

WEB www.mandevillesign.com

APPROVALS	
Signatures Required Before Release to Production	
Engineering	DATE
Sales	DATE
Production	DATE
Quality Control	DATE

REVISIONS		
NO.	BY	DESCRIPTION
1	WD	wall logo sign detail added
2		
3		
4		
5		
6		
7		

CLIENT

**PANERA BREAD**

STORE # 693

K-T Plaza, 34635 Grand River Rd.  
FARMINGTON, MI

LOCATION

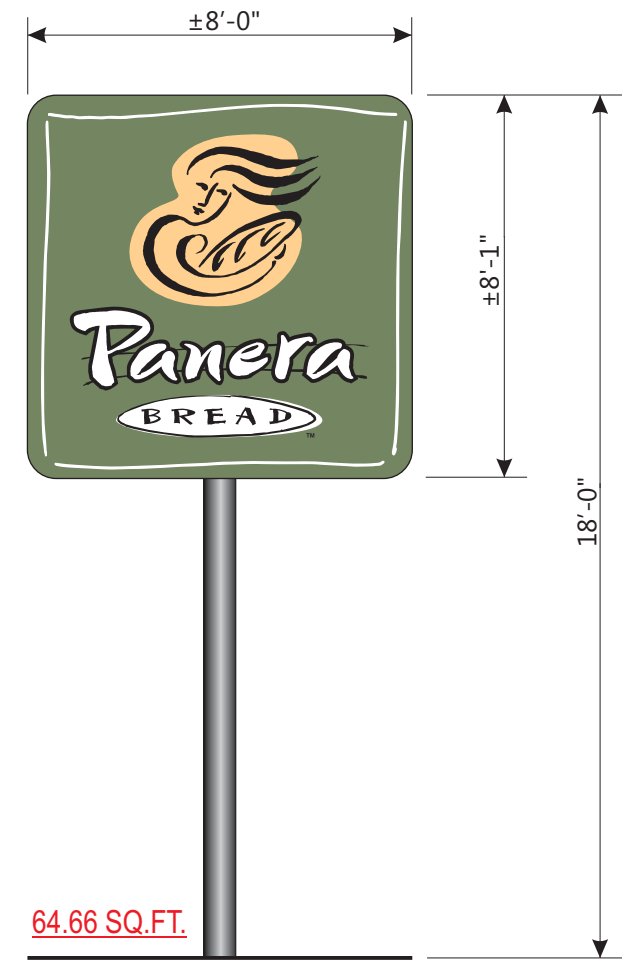
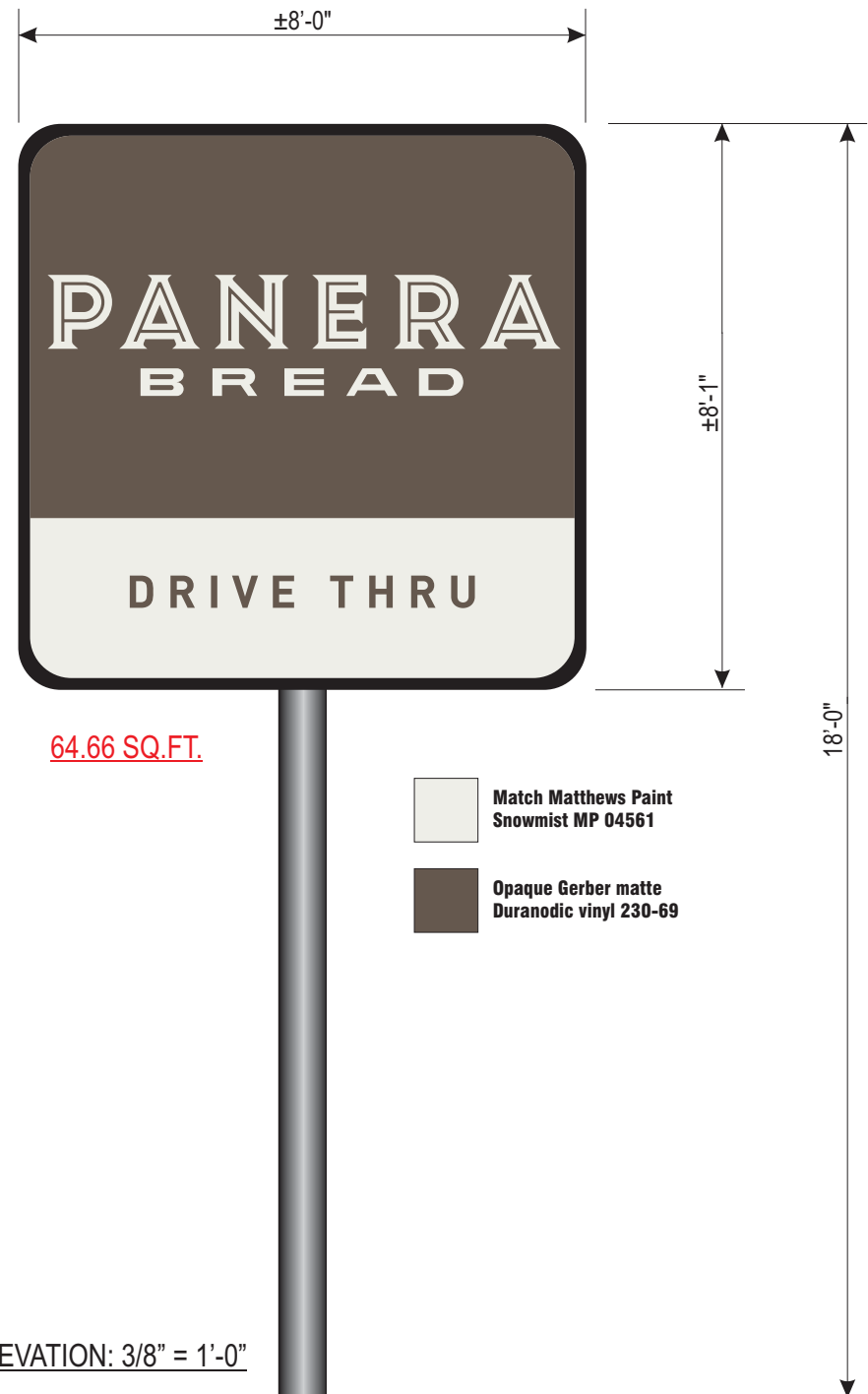
DO NOT SCALE DRAWINGS

WORK ORDER NUMBER(S) **31882-1**

PROJECT MANAGER **LINDA D.**

NOTED	WD	01/08/19
SCALE	ARTIST	DATE

DRAWING NAME **31882.4**



PYLON SIGN ELEVATION: 3/8" = 1'-0"

PROPOSED NEW GRAPHICS, COLORS AS SHOWN.  
UPDATE EXISTING D/F PYLON SIGN

EXISTING PYLON SIGN

ARTWORK EXCLUSIVE PROPERTY OF

SINCE  1917

**MANDEVILLE SIGN**  
*making your mark.*

676 GEORGE WASHINGTON HIGHWAY  
LINCOLN, RI 02865-4255

PHONE 401-334-9100 FAX 401-334-7799  
WEB www.mandevillesign.com

APPROVALS	
<i>Signatures Required Before Release to Production</i>	
Engineering	DATE
Sales	DATE
Production	DATE
Quality Control	DATE

REVISIONS		
NO.	BY	DESCRIPTION
1	XX	XXXXXXXXXX
2		
3		
4		
5		
6		
7		

CLIENT

**PANERA BREAD**

STORE# 693

K-T Plaza, 34635 Grand River Rd.  
FARMINGTON, MI

LOCATION

DO NOT SCALE DRAWINGS		
WORK ORDER NUMBER(S)	31882-1	
PROJECT MANAGER	LINDA D.	
SCALE	NOTED	WD 01/08/19
	ARTIST	DATE
DRAWING NAME	31882.5	



# CITY OF FARMINGTON

*For office use only*

Date Filed: \_\_\_\_\_

Fee Paid: \_\_\_\_\_

## Special Land Use Application

1. Project Name Panera Bread Bakery - Drive-thru retro-fit

2. Location of Property

Address 34635 Grand River, Farmington, MI 48335

Cross Streets Grand River & Whittaker St.

3. Identification

Applicant Panera Bread Bakery - Scot Schimweg

Address 3630 S. Geyer Road, Suite 100

City/State/Zip St. Louis, MO 63127

Phone (314) 984-2578 Fax scot.schimweg@panerabread.com

Interest in the Property (e.g. fee simple, land option, etc.)

Property Owner  Other (Specify) Leasee

Property Owner Daniel Garber 2012 Trust & Joel Garber 2012 Trust

Address P.O. Box 510140

City/State/Zip Milwaukee WI 53202

Phone (414) 807-8900 Fax (414) 963-4151

Preparer of Site Plan Diffin-Umlor & Associates

Address 49287 West Road

City/State/Zip Wixom, MI 48393

Phone (248) 773-7656 Fax (866) 690-4307

4. Property Information

Zoning District C2 Area 0.795 Acres  
Width 137 ft. Depth 240 ft.  
Current Use Restaurant  
Zoning District of Adjacent Properties to the  
North NA South R1C East C2 West C2

5. Proposed Use

Residential Number of Units 1  
 Office Gross Floor Area 4081sq.ft.  
 Commercial Gross Floor Area \_\_\_\_\_  
 Industrial Gross Floor Area \_\_\_\_\_  
 Institutional Gross Floor Area \_\_\_\_\_  
 Other \_\_\_\_\_ Gross Floor Area \_\_\_\_\_

6. Special Land Use Criteria. The applicant must provide written responses to the special land use criteria as noted on page 3 of this application.

A copy of the complete legal description of the property and proof of property ownership should accompany this application.

I, Scot Schimweg (applicant), do hereby swear that the above statements are true.

[Signature] 6/13/19  
Signature of Applicant Date

[Signature] 6/13/19  
Signature of Property Owner Date

I, Mark Garber - Trustee (property owner), hereby give permission for City of Farmington officials, staff, and consultants to go on the property for which the above referenced site plan is proposed for purposes of verifying information provided on the submitted application.

City Action  
Approved/Denied: \_\_\_\_\_  
Date: \_\_\_\_\_  
By: \_\_\_\_\_  
Conditions of Approval: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- a. The proposed special land use shall be compatible with and in accordance with the general goals, objectives and policies of the City of Farmington Master Plan.

Restaurants with drive-through are allowed within the C2 zoning district via special land use per Sec. 35-102 of the City of Farmington zoning ordinance.

---

---

---

---

---

---

---

---

- b. The special land use shall promote the intent of the zoning district in which the use is proposed.

Restaurants with drive-through are allowed within the C2 zoning district via special land use per Sec. 35-102 of the City of Farmington zoning ordinance.

---

---

---

---

---

---

---

---

- c. The special land use shall be compatible with the existing or intended character of the general vicinity and shall not change the essential character of the area in which it is proposed.

- The drive-thru is intended to enhance the Panera Bread patron experience by
  - reducing lines at counters and parking issues for patrons that want to come into the restaurant and dine. It provides for easier access for patrons to small items such as
  - coffees and pastries, provides easy access to online and pre-paid orders, separates
  - to-go orders for dine in orders within the restaurant making it more efficient. Due to
  - the existing and proposed buffer screen walls and landscape material the proposed
  - drive-thru will not be visible from the neighboring properties.
- 
- 
-

- d. The special land use shall be served adequately by public facilities and services such as traffic operations, police and fire protection, drainage structures, water and sewer facilities and schools.

There is no change to the existing water and sanitary service to the site. There is no significant change to the impervious area and storm drainage on the site. Other public services such as schools, fire, and police are unaffected by this proposal.

---

---

---

---

---

---

---

- e. The proposed special land use shall not involve uses, activities, processes, materials, equipment or conditions of operation that in comparison to the uses permitted in the district, will be detrimental to the natural environment, public health, safety or welfare.

None

---

---

---

---

---

---

---

---

---

---

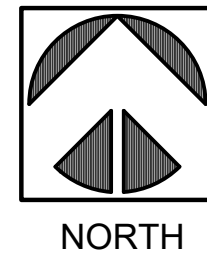
---

---

*\* The special land use criteria included above is not the only requirement for special land use applications. For additional information please refer to ARTICLE 12 SPECIAL LAND USES of the City of Farmington Zoning Ordinance.*







49287 WEST ROAD  
 WIXOM, MI 48393  
 (P): 248-437-7803  
 (F): 866-960-4307

REVISIONS


CLIENT: PANERA BREAD LLC  
 3630 S. GEYER ROAD, STE. 100  
 ST. LOUIS, MO 63127

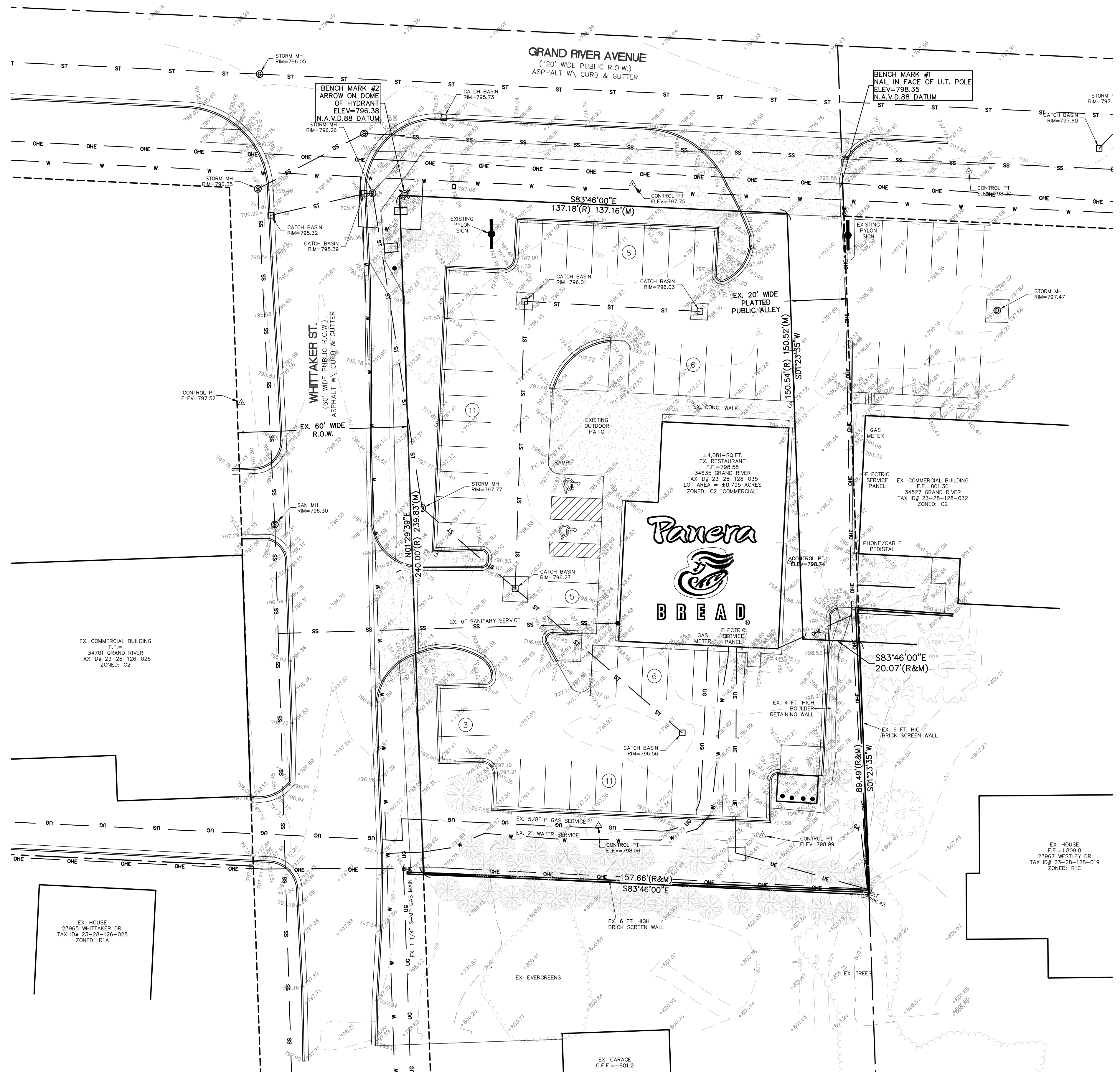
TOPOGRAPHIC SURVEY

*These documents are instruments of service in verification or adaptation by Diffin-Umlor & Associates (DUA) for the specific purposes intended and shall not be used for any other purpose. DUA makes no warranty, expressed or implied, as to the accuracy of the data provided and shall not be held responsible for any damages, losses and expenses including attorney's fees arising out of or from the use of the data. DUA's liability is limited to the amount of the fee for the adaptation. DUA will not be held liable for any adaptation or rates to be agreed upon by User and DUA.*

NW 1/4 SECTION 28  
 T.1N., R.9E  
 CITY OF FARMINGTON  
 OAKLAND COUNTY, MICHIGAN

DATE: 6-14-19  
 Drawn By: MD  
 P.E.: AD

1" = 20'  
 Job No.: 180606  
 Sheet No.  
 C-2



**LEGAL DESCRIPTION:**  
 LOT 1, VALLEY HILL SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 100, PAGE 6 OF PLATS, OAKLAND COUNTY RECORDS. LOCATED IN SECTION 28, TOWN 1 NORTH, RANGE 9 EAST, FARMINGTON, MICHIGAN. TAX PARCEL NO. 23-28-128-035 COMMONLY KNOWN AS: 34634 GRAND RIVER

**NOTES:**  
 BASIS OF BEARING BASED ON THE NORTH-SOUTH 1/4 LINE OF SECTION 28 IN THE RECORDED PLAT OF VALLEY HILL SUBDIVISION, AS RECORDED IN LIBER 100 OF PLATS, PAGES 6, CITY OF FARMINGTON, OAKLAND COUNTY, MICHIGAN.  
 (M) DJ FIELD MEASURED BEARINGS AND DISTANCES BETWEEN FOUND PROPERTY IRONS.  
 (R) RECORDED BEARINGS AND DISTANCES PER DESCRIPTION PROVIDED BY OWNER.

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
× 656.5	EX. SPOT ELEVATION	— OHE	EX. OVERHEAD CABLE
— 656.5	EX. CONTOUR	— OHF	EX. OVERHEAD FIBER
— 656.5	EX. DITCH	— OHE	EX. OVERHEAD ELECTRIC
— 656.5	EX. GRAVEL	— UC	EX. UNDERGROUND CABLE
— 656.5	EX. WATER MAIN	—	EX. COMMUNICATION RISER
— 656.5	EX. WATER VALVE	—	EX. COMMUNICATION HANDHOLE
— 656.5	EX. HYDRANT	—	EX. UTILITY POLE
— 656.5	EX. WATER MANHOLE	—	EX. GUY ANCHOR
— 656.5	EX. WATER GV	—	EX. SIGNAL POLE
— 656.5	EX. WATER METER	—	EX. LIGHT POLE
— 656.5	EX. STORM SEWER	—	EX. FLAGPOLE
— 656.5	EX. STORM INLET/CATCH BASIN	—	EX. GROUND LIGHT
— 656.5	EX. ROUND STORM CATCH BASIN	—	EX. DOUBLE LIGHT POLE
— 656.5	EX. STORM MANHOLE	—	EX. SINGLE POLE SIGN
— 656.5	EX. STORM END SECTION	—	EX. DOUBLE POLE SIGN
— 656.5	EX. SANITARY SEWER	—	EX. MAILBOX
— 656.5	EX. SANITARY MANHOLE	—	EX. PARCELS
— 656.5	EX. CLEAN OUT	—	EX. SPEAKER
— 656.5	EX. SANITARY VENT	—	EX. UNKNOWN MANHOLE
— 656.5	EX. UNDERGROUND GAS	—	EX. COMBO MANHOLE
— 656.5	EX. GAS VALVE	—	EX. SECTION LINE
— 656.5	EX. GAS METER	—	EX. FLAGPOLE
— 656.5	EX. UNDERGROUND TELEPHONE	—	EX. EASEMENT
— 656.5	EX. TELEPHONE MANHOLE	—	EX. CENTERLINE
— 656.5	EX. TELEPHONE RISER	—	EX. WETLAND LIMITS
— 656.5	EX. TELEPHONE HANDHOLE	—	EX. CURB/PAVEMENT
— 656.5	EX. UNDERGROUND ELECTRIC	—	EX. GUARDRAIL
— 656.5	EX. ELECTRIC MANHOLE	—	FOUND IRON
— 656.5	EX. ELECTRIC RISER	—	FOUND RR SPIKE
— 656.5	EX. ELECTRIC HANDHOLE	—	FOUND PK NAIL
— 656.5	EX. ELECTRIC TRANSFORMER	—	FOUND CONC. MONUMENT
— 656.5	EX. ELECTRIC METER	—	SET IRON ROD
— 656.5	EX. GENERATOR	—	SET MAG NAIL
— 656.5	EX. ASPHALT	—	SECTION CORNER
— 656.5	EX. CONCRETE	—	POST
— 656.5	EX. GRAVEL	—	BOLLARD
— 656.5	EX. TREELINE	—	RECORDED BEARING
— 656.5	EX. WATER MARKER	—	MEASURED BEARING
— 656.5	EX. GAS MARKER	—	EX. TREE
— 656.5	EX. COMM. MARKER	—	DEMO TREE
— 656.5	EX. TELE. MARKER	—	
— 656.5	EX. FIBER MARKER	—	
— 656.5	EX. MEDIA MARKER	—	

CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



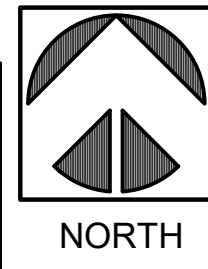
I HEREBY CERTIFY THAT I HAVE LOCATED AND MAPPED THE LAND HEREON PLATTED AND/OR DESCRIBED, ON THE DATE NOTED HEREON, THAT I HAVE COMPLIED WITH THE REQUIREMENTS OF ACT 132, P.A. OF 1970 AND THAT THE ERROR OF CLOSURE OF THE UNADJUSTED FIELD OBSERVATION IS WITHIN THE LIMITS ESTABLISHED FOR THE PROFESSION.

M:\DOC\PROJECTS\PANERA BREAD\FARMINGTON HILL 2019\BASE-SP.DWG



**EROSION CONTROL MEASURES**

7	HYDRO-SEEDING	EFFECTIVE ON LARGE AREAS WHICH TRACKING AGENT USED TO PROVIDE IMMEDIATE PROTECTION UNTIL GRASS IS ROOTED SHOULD INCLUDE PREPARED TOPSOIL BED
15	PAVING	PROTECTS AREAS WHICH CANNOT OTHERWISE BE PROTECTED, BUT INCREASES RUNOFF VOLUME AND VELOCITY
16	CURB AND GUTTER	KEEPS HIGH VELOCITY RUNOFF ON PAVED AREAS FROM LEAVING THE PAVED SURFACE COLLECTS AND CONDUCTS RUNOFF TO ENCLOSED DRAINAGE SYSTEM OR PREPARED DRAINAGEWAY
36	CATCH BASIN, DRAIN INLET	COLLECTS HIGH VELOCITY CONCENTRATED RUNOFF MAY USE SILT SACK FILTER INLET
40	INLET SEDIMENT TRAP	EASY TO SHAPE COLLECTS SEDIMENT MAY BE CLEANED AND EXPANDED AS NEEDED
49	CHECK DAMS	REDUCES FLOW VELOCITY CATCHES SEDIMENT CAN BE CONSTRUCTED OF LOGS, HAY, ROCK, LUMBER, MASONRY OR SAND BAGS
54	FILTER FENCING	USES GEOTEXTILE FABRIC AND POSTS OR POLES EASY TO CONSTRUCT AND LOCATE AS NECESSARY



**CONSTRUCTION SEQUENCE**

AUGUST 2019 - NOV. 2019	SOIL EROSION CONTROL MEASURES
PRIOR TO CONSTRUCTION	-IDENTIFY CONSTRUCTION LIMITS
DEMOLITION	-SAWCUT AND REMOVE CURBING, ASPHALT, STRIP VEGETATION AND TOPSOIL -MAINTAIN CONTROL MEASURES
CONSTRUCT UTILITIES, BUILDING	-MAINTAIN CONTROL MEASURES
PAVE LOT, CONSTRUCT CURBING	-MAINTAIN OTHER CONTROL MEASURES
FINAL GRADING, INSTALL SIDEWALK	-MAINTAIN CONTROL MEASURES
SITE RESTORATION AND LANDSCAPING	-TOPSOIL AND SOD -INSTALL LANDSCAPING -MAINTAIN CONTROL MEASURES
AFTER DISTURBED AREAS HAVE STABILIZED	-REMOVE INLET FILTERS ON CATCH BASINS

**GENERAL NOTES:**

CONTRACTOR SHALL OBTAIN SOIL EROSION PERMIT PRIOR TO ANY CONSTRUCTION.

ALL GRADING, EROSION, AND SEDIMENT CONTROL AND RELATED WORK UNDERTAKEN ON THIS SITE SHALL BE IN ACCORDANCE WITH LOCAL JURISDICTION.

CONTRACTOR SHALL MAINTAIN ALL SOIL EROSION CONTROL MEASURES. THE SOIL EROSION CONTROLS SHALL BE MAINTAINED WEEKLY AND AFTER EVERY STORM EVENT. SURROUNDING PAVED AREAS SHALL BE POWER BROOMED AS NECESSARY TO REMOVE MUD TRACKING FROM THE SITE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MATCHING EXISTING FACILITIES TO AVOID ANY ABRUPT OR APPARENT CHANGES IN GRADES OR CROSS SLOPES, LOW SPOTS, OR HAZARDOUS CONDITIONS.

GRADING AT THE BOUNDARIES SHALL BE DONE SO AS NOT TO OBSTRUCT THE RUNOFF OF STORM WATER FROM ADJACENT PROPERTIES.

SOD AND HYDROSEEDING SHALL BE DONE IN ACCORDANCE WITH THE LANDSCAPING PLAN. ALL OTHER DISTURBED AREAS SHALL BE TOPSOILED, HYDROSEEDED, FERTILIZED AND MULCHED.

THE CONTRACTOR IS REQUIRED TO HAVE A COPY OF THE CERTIFIED PLAN AT THE CONSTRUCTION SITE.

ALL SOIL EROSION CONTROL PRACTICES TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE AND MAINTAINED FOR ONE YEAR AFTER COMPLETION OF THE APPROVED PLAN OR UNTIL SUCH MEASURES ARE PERMANENTLY STABILIZED AS DETERMINED BY THE COUNTY SOIL EROSION AGENT.

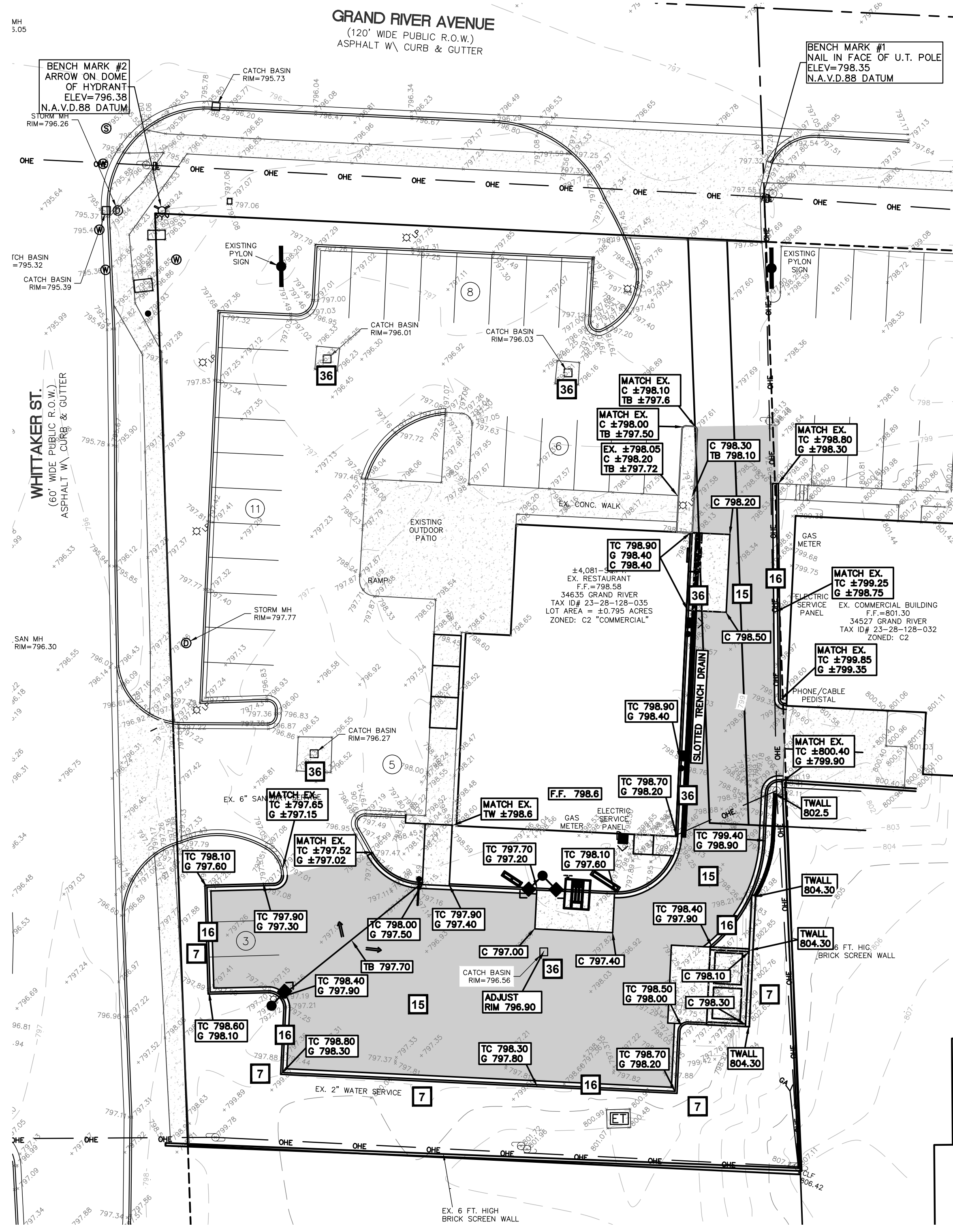
PERMANENT VEGETATION TO BE SEEDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH TO BE USED AS NECESSARY FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.

IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E., STEEP SLOPES) WILL RECEIVE APPROPRIATE VEGETATIVE COVER AS STATED IN THE CONSTRUCTION SEQUENCE.

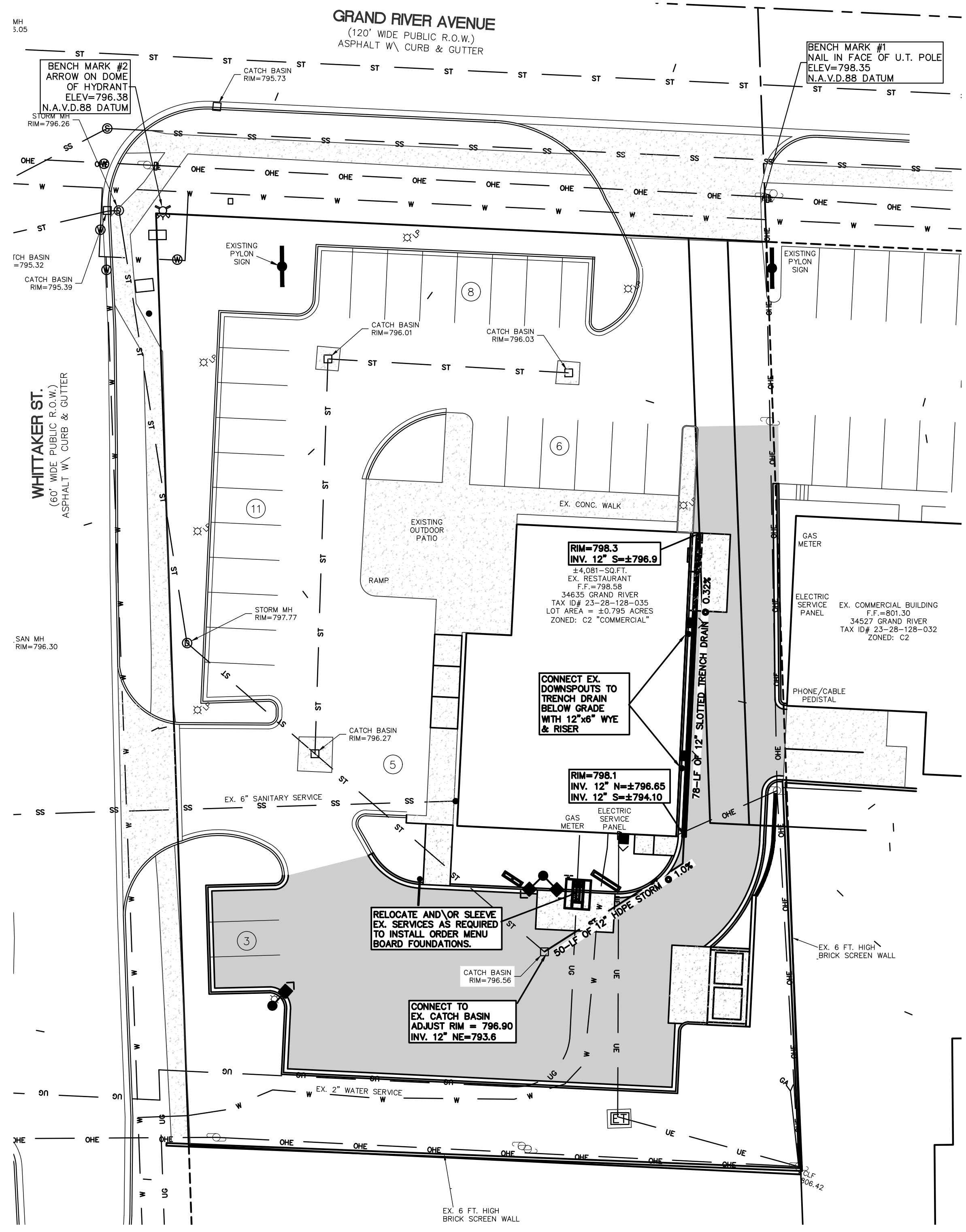
DURING CONSTRUCTION, ANY ADDITIONAL CONTROL MEASURES AS DEEMED NECESSARY TO PREVENT EROSION OR CONTROL SEDIMENT BEYOND THOSE MEASURES SHOWN ON THE APPROVED PLANS SHALL BE INSTALLED OR EMPLOYED AT THE DIRECTION OF THE CITY SOIL EROSION AGENT.

A RING OF SILT FENCE WILL BE INSTALLED SURROUNDING ANY STOCKPILED MATERIAL.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL SOIL SPOILS, AND CONSTRUCTION DEBRIS.



**GRADING \ SOIL EROSION CONTROL PLAN**



**UTILITY PLAN**



49287 WEST ROAD  
WIXOM, MI 48393  
(P): 248-437-7803  
(F): 866-960-4307

**REVISIONS**

1	
2	
3	
4	
5	

**CLIENT:** PANERA BREAD LLC  
3630 S. GEYER ROAD, STE. 100  
ST. LOUIS, MO 63127

**SITE GRADING \ UTILITY \ SOIL EROSION PLAN**

*These documents are instruments of service in verification or adaptation by Diffin-Umlor & Associates (DUA) for the specific purposes intended and shall not be used for any other purpose. DUA makes no warranty, express or implied, and shall not be held responsible for any damages, losses and expenses including attorneys' fees arising out of or from the use of these documents. DUA's liability is limited to the amount of the fee for the adaptation to be agreed upon by User and DUA.*

NW 1/4 SECTION 28	T.1N. R.9E
CITY OF FARMINGTON	OAKLAND COUNTY, MICHIGAN
DATE: 6-14-19	Drawn By: MD
P.E.: AD	
1" = 20'	
Job No.: 180606	
Sheet No.	C-4

M:\DOC\PROJECTS\PANERA BREAD\FARMINGTON HILL 2019\BASE-SP.DWG

CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



COPYRIGHT © 2019 DIFFIN-UMLOR & ASSOCIATES; ALL RIGHTS RESERVED.

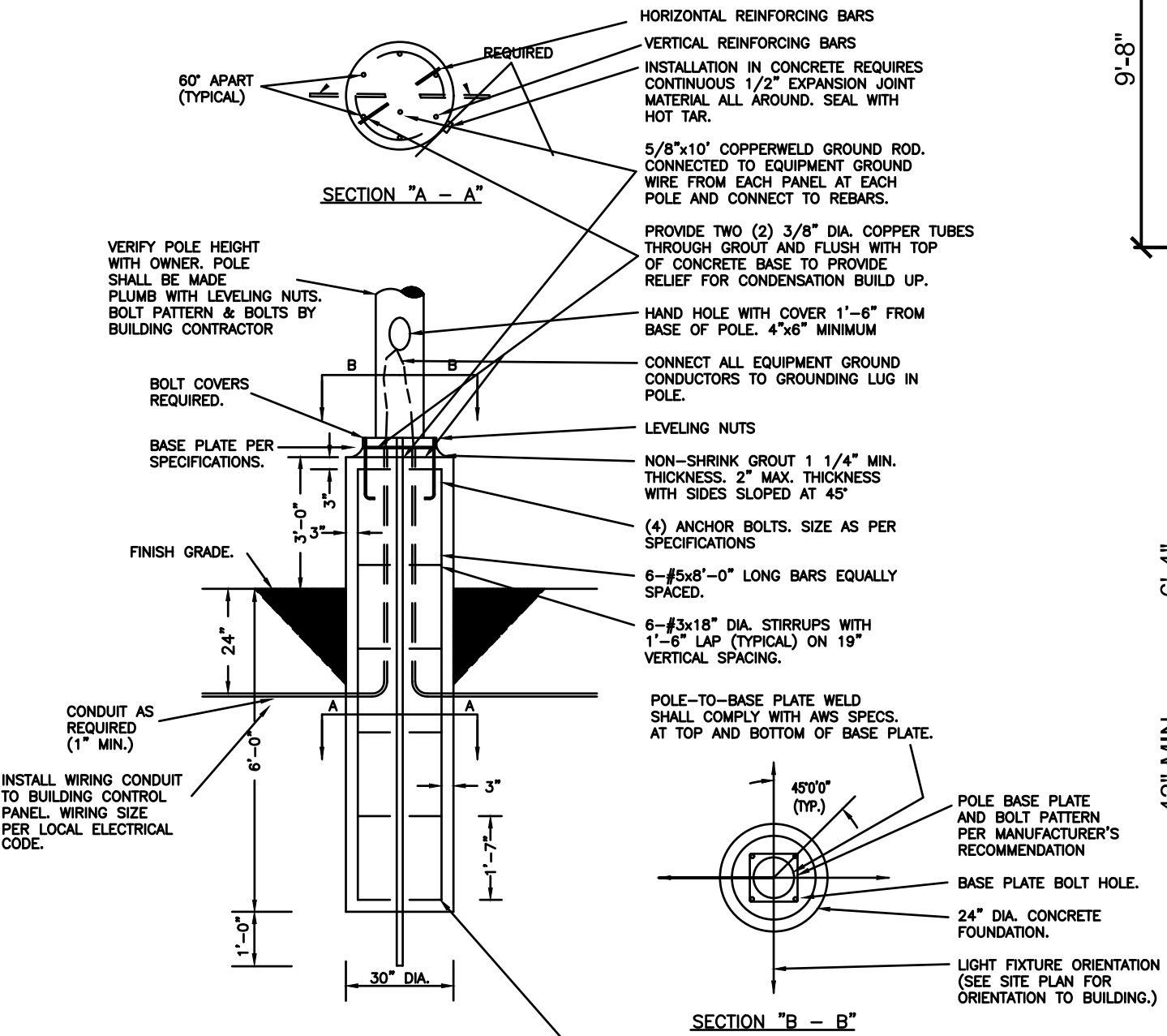


GENERAL NOTES

- 1. ALL WORK TO BE DONE IN ACCORDANCE WITH MICHIGAN DEPARTMENT OF TRANSPORTATION, MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY, AND THE CITY OF FARMINGTON STANDARDS & SPECIFICATIONS.
2. ALL SURPLUS FILL MATERIAL AND TOPSOIL SHALL BE REMOVED FROM SITE.
3. CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS FROM CITY OF FARMINGTON PRIOR TO THE START OF CONSTRUCTION.
4. THE EXISTING UTILITIES SHOWN ON THE DRAWINGS ARE APPROXIMATE LOCATIONS. THE CONTRACTOR SHOULD CONTACT THE APPROPRIATE UTILITY COMPANY FOR THE EXACT LOCATION AND DEPTH OF EACH UTILITY.
5. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. ALL COSTS FOR LOCATING, REMOVING, REPLACING, OR RELOCATING THESE UTILITIES SHALL BE INCIDENTAL TO CONSTRUCTION. ALL UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED WITH LIKE MATERIAL AT NO ADDITIONAL COST TO THE OWNER.
6. CONTRACTOR SHALL VERIFY THE DEPTH AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES BEFORE ANY WORK IS STARTED. THE EXACT LOCATION OF EXISTING UTILITIES SHALL BE DETERMINED BY HAND DIGGING.
7. CONTRACTOR SHALL NOTIFY PROPER GOVERNMENTAL INSPECTION AGENCY 48 HOURS PRIOR TO STARTING CONSTRUCTION.
8. COMPACTED SAND BACKFILL M.D.O.T. CLASS II LIMITED TO 1" MAXIMUM SIZE OR APPROVED EQUAL IS TO BE USED EXCLUSIVELY IN ALL UTILITY TRENCHES UNDER ALL PAVED AREAS OR WITHIN A 1 ON 1 INFLUENCE OF THE PAVED AREAS THROUGHOUT THE COURSE OF THE PROJECT UNLESS OTHERWISE SPECIFIED COMPACT TO 95% OF ITS MAXIMUM UNIT WEIGHT AS DETERMINED BY ASTM D 1557-78.
9. THE CONTRACTOR SHALL ABIDE BY ALL REQUIREMENTS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION REGARDING CONSTRUCTION, MAINTAINING TRAFFIC, BARRICADING, BORING, BACKFILL AND RESTORATION. THERE WILL BE NO ADDITIONAL COMPENSATION DUE TO THE CONTRACTOR FOR COMPLYING WITH THESE REQUIREMENTS.
10. THE CONTRACTOR SHALL BE REQUIRED TO COMPLETE ALL WORK IN AN EXPEDITIOUS MANNER AND SHALL NOT STOP CONSTRUCTION FOR EXTENDED PERIODS ONCE CONSTRUCTION HAS BEGUN.
11. THE CONTRACTOR SHALL FURNISH THE OWNER & THE CITY OF FARMINGTON ONE COMPLETE SET OF "AS-BUILT" MYLARS UPON COMPLETION.
12. THE CONTRACTOR SHALL MAINTAIN IN SERVICE, ALL EXISTING SANITARY SEWER, WATER OR STORM SEWER SERVICE CONNECTIONS.
13. THE CONTRACTOR SHALL REMOVE OFF SITE ALL TREES, VEGETATION, CONCRETE, STUMPS, FOOTING, AND FOUNDATIONS FROM PROJECT SITE AND DISPOSED OF AT A DISPOSAL SITE APPROVED TO ACCEPT THIS DEBRIS. PROVIDE OWNER WITH LOCATION(S) OF DISPOSAL SITE(S).
14. DUMPSTER ENCLOSURE TO BE CMU CONSTRUCTION. CONTRACTOR TO SUBMIT FENCE GATE AND ENCLOSURE DETAILS TO ENGINEER PRIOR TO CONSTRUCTION.
15. THE CONTRACTORS SHALL NOT ADJUST STRUCTURES TO FINAL GRADE UNTIL FINAL CURB AND PAVEMENT ELEVATIONS HAVE BEEN STAKED.
16. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL STRUCTURES, AND MATERIAL CERTIFICATIONS FOR APPROVAL PRIOR TO ORDERING MATERIALS.

GENERAL NOTES: BITUMINOUS PAVING

- 1. CONTRACTOR TO THOROUGHLY CLEAN PAVEMENT PRIOR TO PLACEMENT OF FINAL LIFT BITUMINOUS SURFACING.
2. ALL WORK TO BE DONE IN ACCORDANCE WITH M.D.O.T. 1990 STANDARD SPECIFICATIONS FOR CONSTRUCTION. SECTION 4.00.04 THRU 4.00.19.
3. BITUMINOUS MIXTURE TO BE IN ACCORDANCE WITH M.D.O.T. 7.10.06, TABLE 7.10.2.
4. BITUMINOUS MIX TO BE M.D.O.T. NO. 1100T 36A AND M.D.O.T. NO. 1100L 20AA, A-C 120-150 OR APPROVED EQUAL. THICKNESS IS SPECIFIED ON DETAIL.
5. ALL TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS SHALL COMPLY WITH THE DESIGN AND PLACEMENT REQUIREMENTS OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
6. PAVEMENT STRIPING SHALL BE MDOT FAST DRY PAVEMENT MARKING. ALL ARROWS, STOP BARS, AND LANE LINES (4" WIDE SINGLE LINE) BETWEEN TURN LANES AND LANES IN THE SAME DIRECTION OF TRAVEL SHALL BE WHITE. LINES SEPARATING OPPOSITE DIRECTIONS OF TRAVEL SHALL BE 4" WIDE DOUBLE YELLOW. NON-BARRIER-FREE SPACE MARKING SHALL BE WHITE. BARRIER-FREE SPACE MARKINGS AND HATCHING SHALL BE BLUE. INTERNATIONAL SYMBOLS OF ACCESSIBILITY (WHEELCHAIR SYMBOLS) ON THE PAVEMENT SHALL BE PAINTED WHITE. ALL PEDESTRIAN CROSS WALKS SHALL BE STRIPED WITH 12" WIDE WHITE DIAGONAL LINES AT 45° ANGLES SPACED 24" APART (TYP.). LOADING AREAS SHALL BE STRIPED WITH 4" WIDE YELLOW DIAGONAL LINES AT 45° ANGLES SPACED 6" APART (TYP.).



NOTES

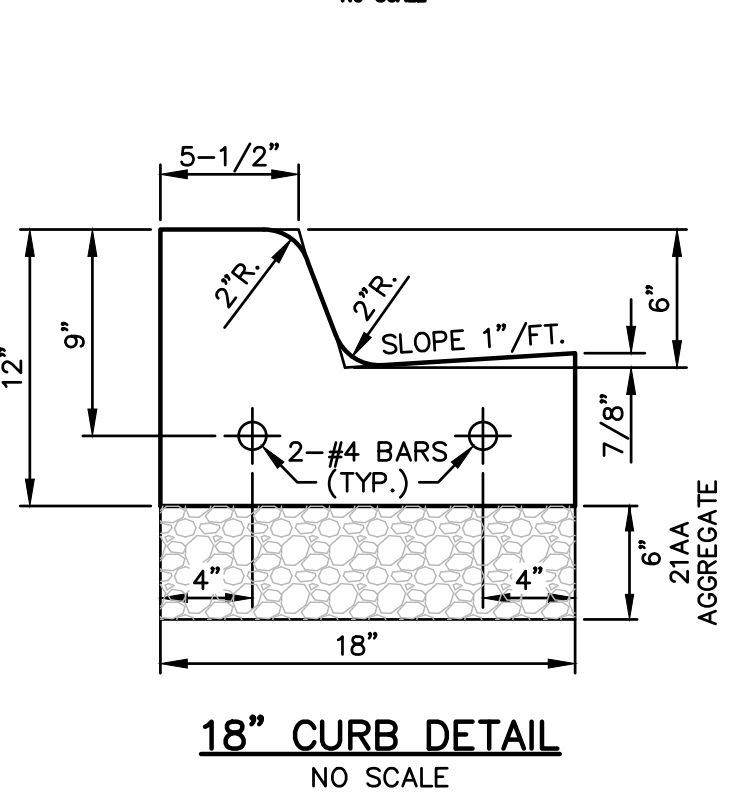
- 1. 3500 PSI MIN. 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE 60 REIN. STEEL.
2. IF WATER IS PRESENT IN HOLE, REMOVE BEFORE POURING CONCRETE EXPOSED CONCRETE AND GROUT SHALL BE PAINTED TRAFFIC YELLOW BY THE PAVEMENT STRIPING CONTRACTOR.
3. FOUNDATION EXCAVATION SHALL BE BY 24" AUGER IN UNDISTURBED OR PROPERLY COMPACTED FILL PER SPECIFICATIONS. USE SONA TUBE.

TYPICAL PARKING LOT LIGHTING POLE FOUNDATION

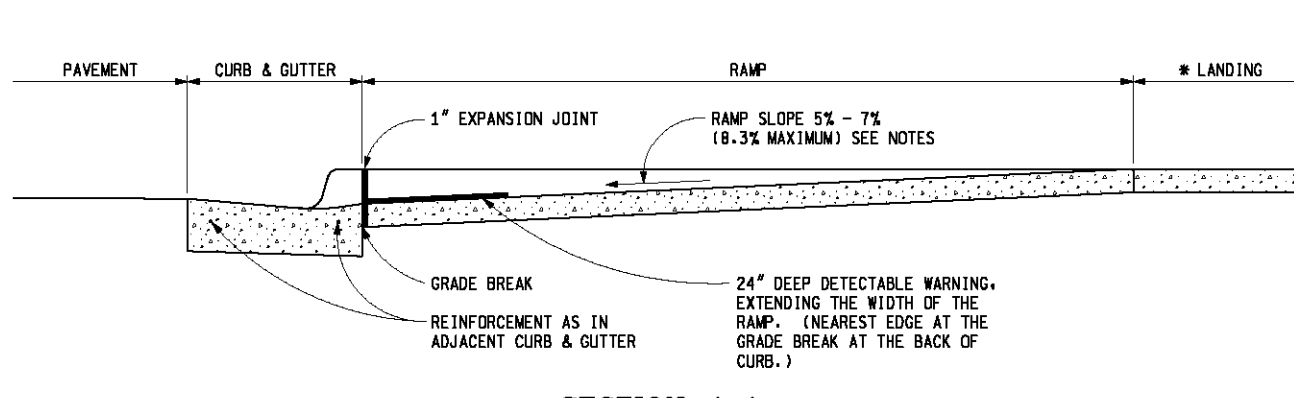
MAXIMUM LANDING SLOPE IN ANY DIRECTION IS 2.0%. MINIMUM LANDING DIMENSIONS 5' x 5'.
MAXIMUM CROSS SLOPE ON RAMP IS THE SAME AS THAT FOR SIDEWALK (2.0%). RUNNING SLOPE 5% - 7% (6.3% MAXIMUM) SEE NOTES.

MAXIMUM LANDING SLOPE IN ANY DIRECTION IS 2.0%. MINIMUM LANDING DIMENSIONS 5' x 5'.
MAXIMUM CROSS SLOPE ON RAMP IS THE SAME AS THAT FOR SIDEWALK (2.0%). RUNNING SLOPE 5% - 7% (6.3% MAXIMUM) SEE NOTES.

PRIVATE PROPERTY CONCRETE SIDEWALK DETAIL



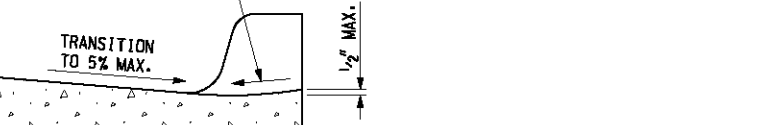
SIDEWALK RAMP TYPE RF (ROLLED / FLARED SIDES)



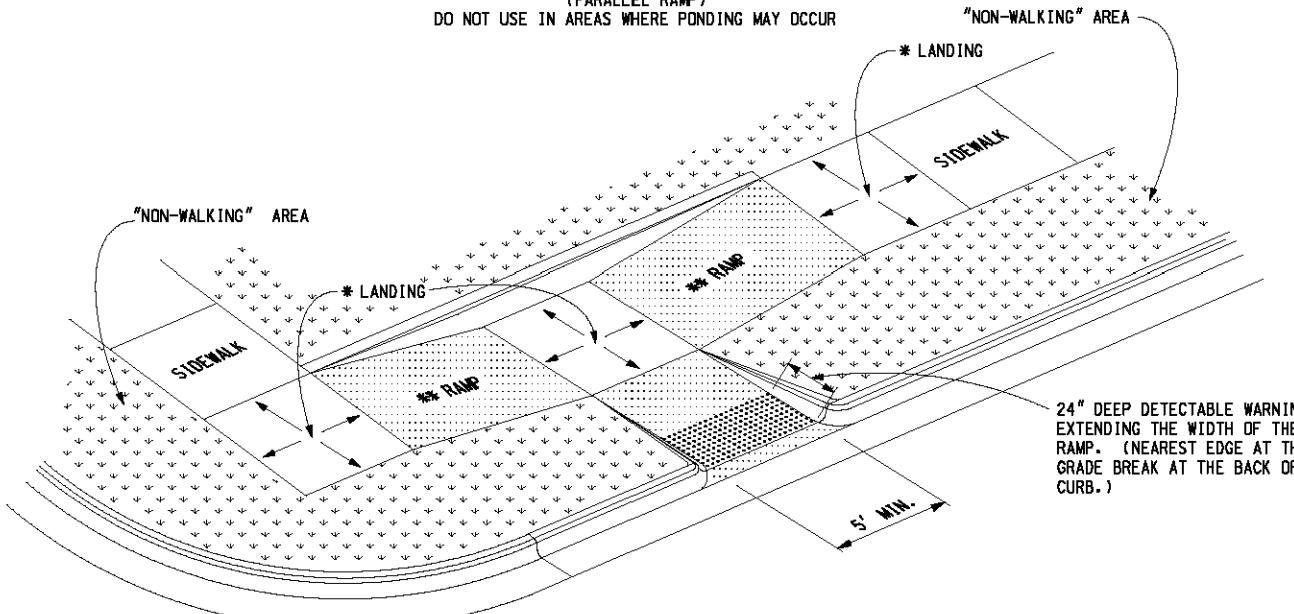
SECTION A-A



SECTION THROUGH CURB CUT



SIDEWALK RAMP TYPE P (PARALLEL RAMP)



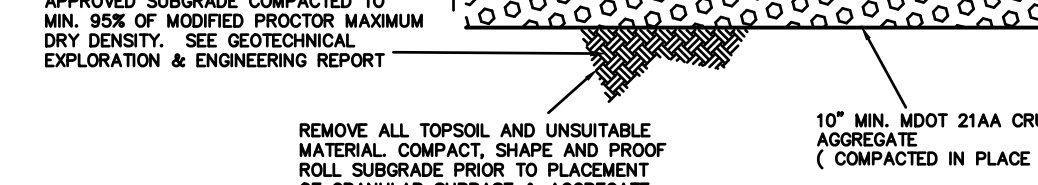
SIDEWALK RAMP TYPE C (COMBINATION RAMP)



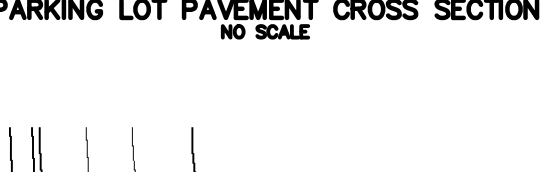
SIDEWALK RAMP TYPE M (MEDIAN ISLAND)



PARKING LOT PAVEMENT CROSS SECTION



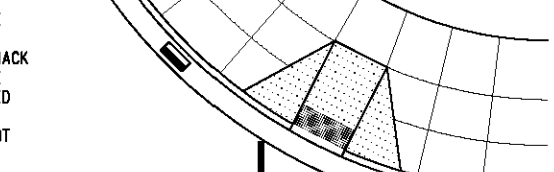
REINFORCED CONC. PAVEMENT DETAIL



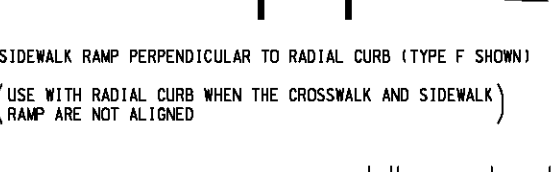
INTEGRAL CURB & WALK DETAIL



DOME SECTION



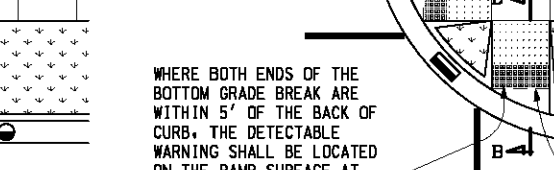
DOME ALIGNMENT



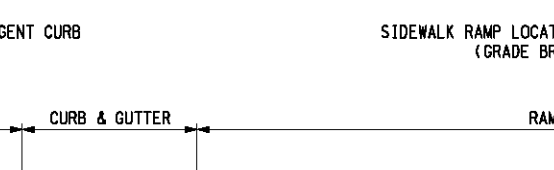
Detectable Warning Details



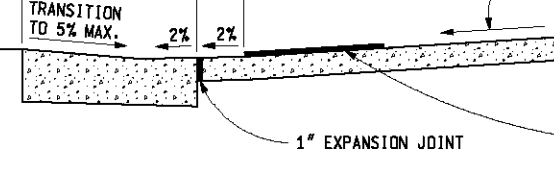
SECTION B-B



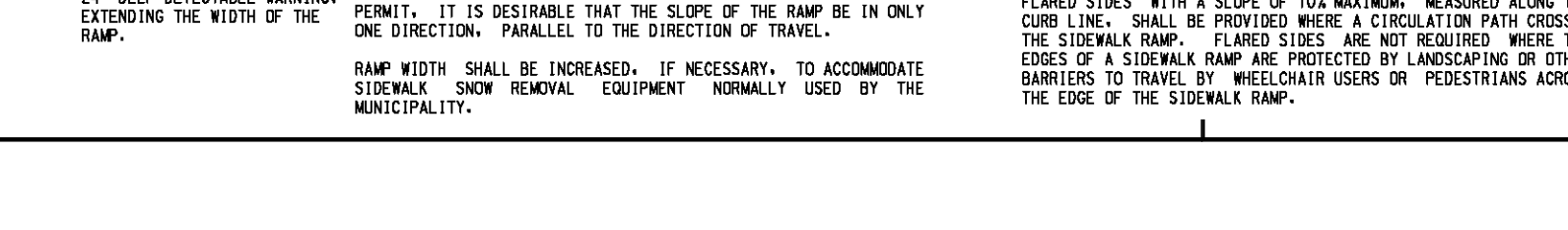
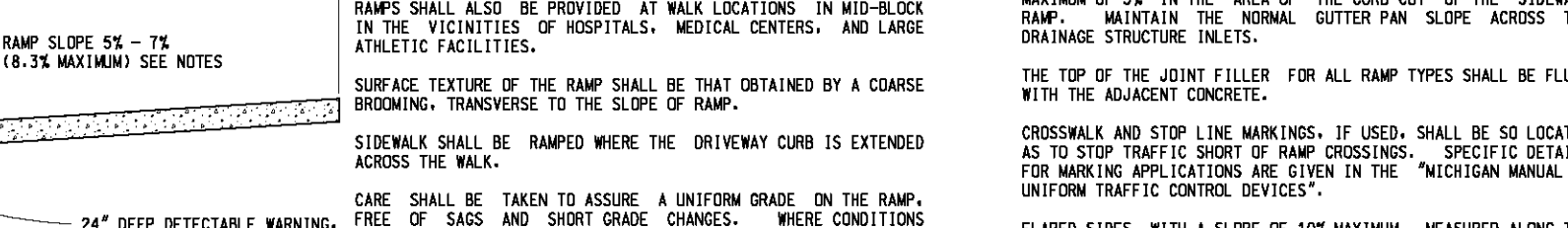
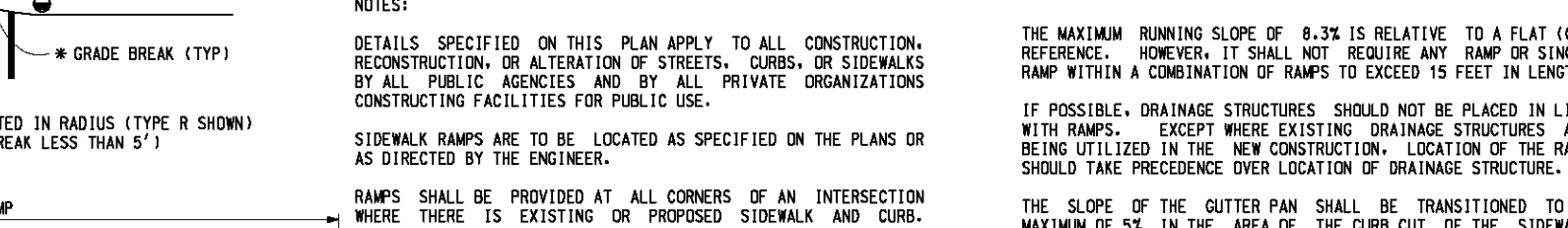
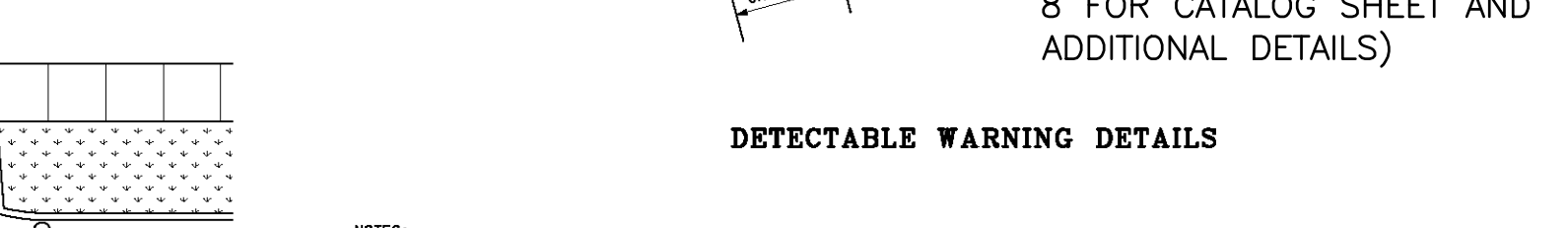
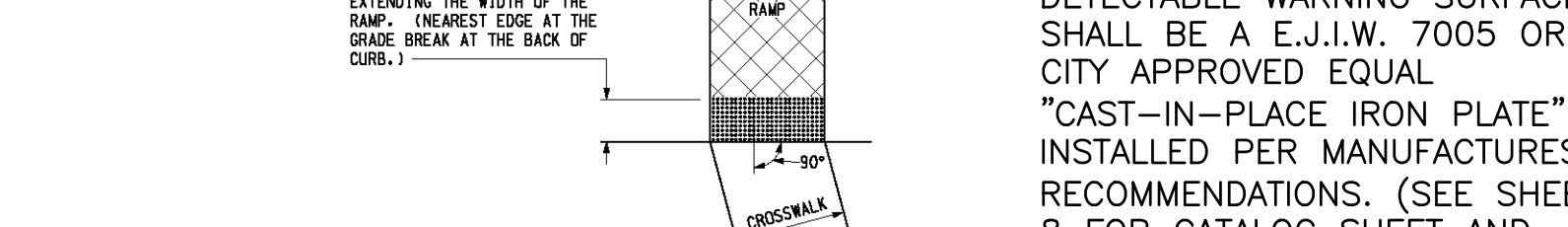
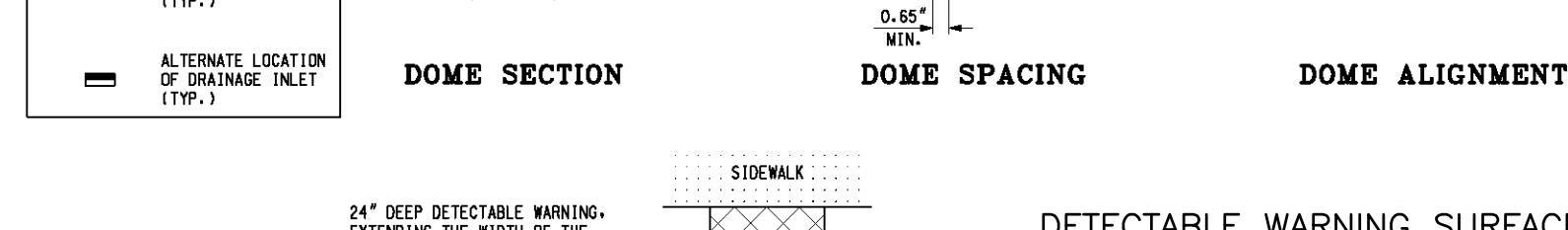
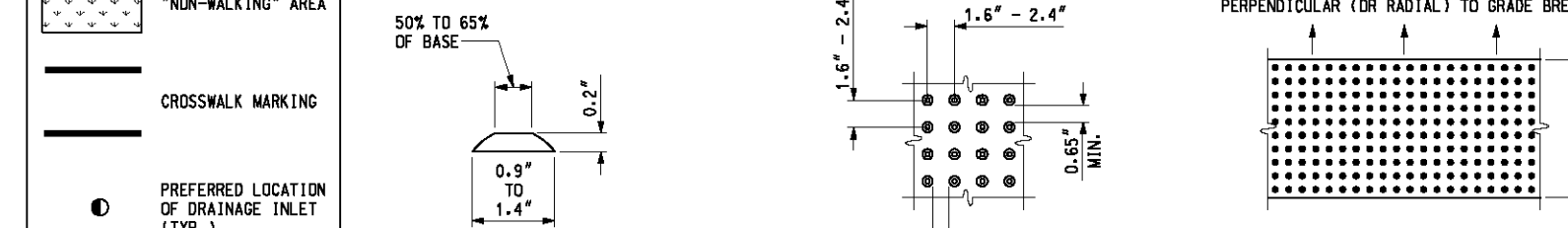
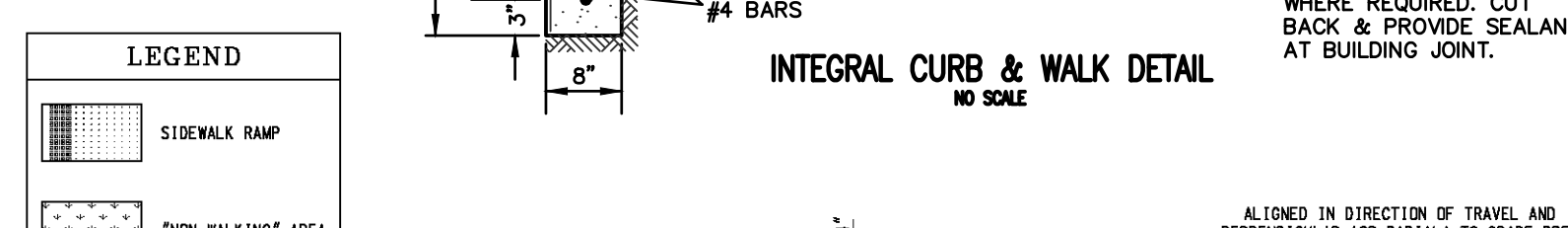
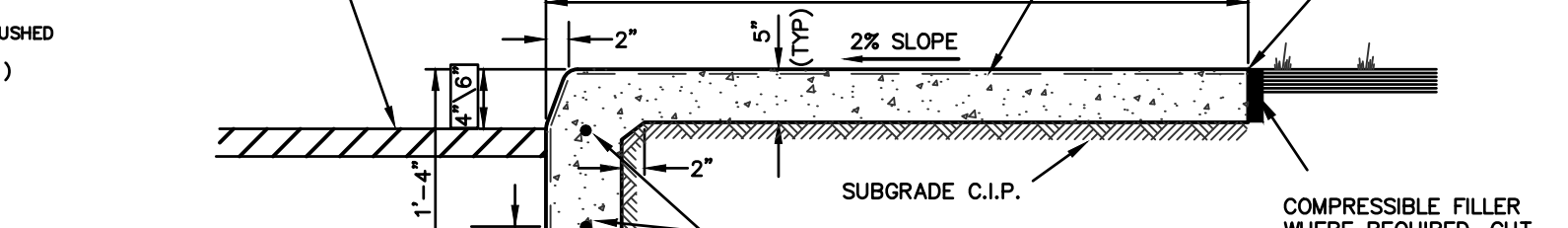
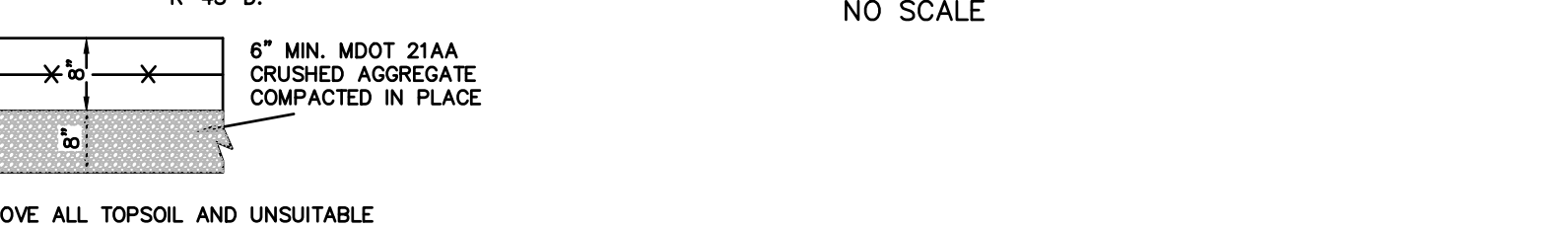
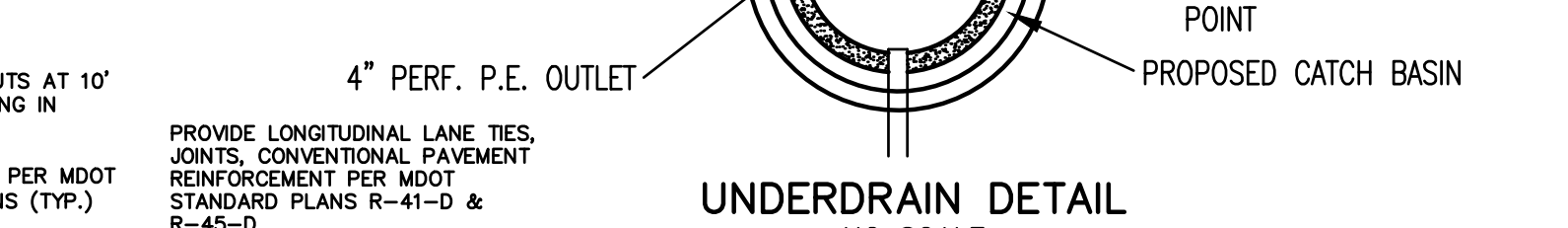
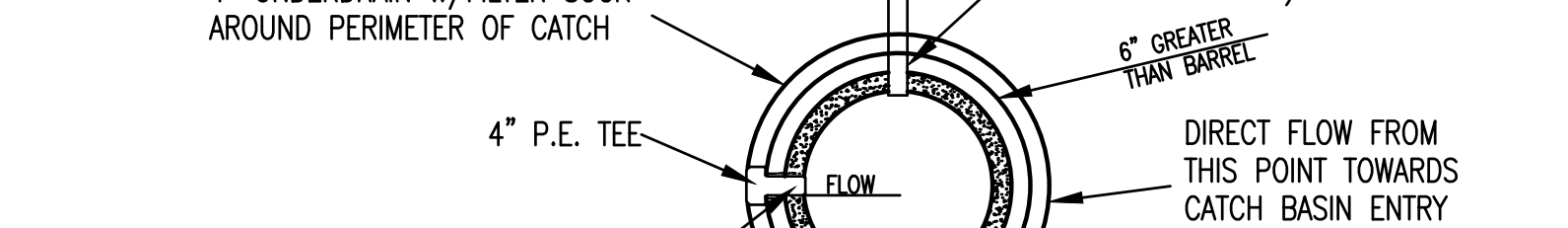
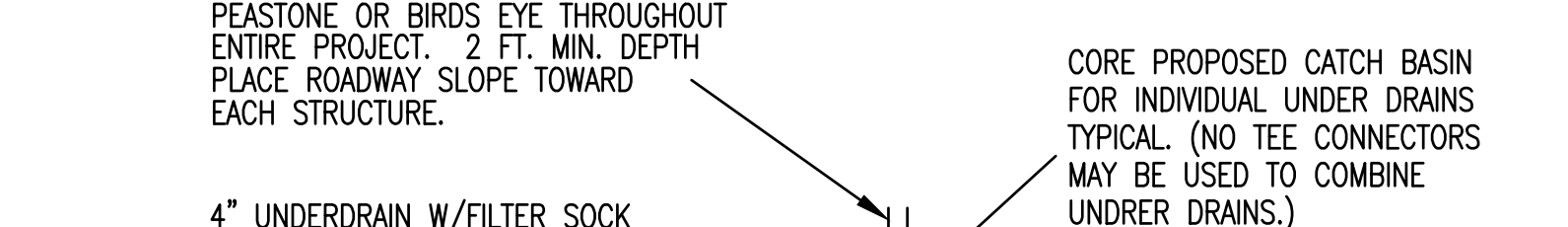
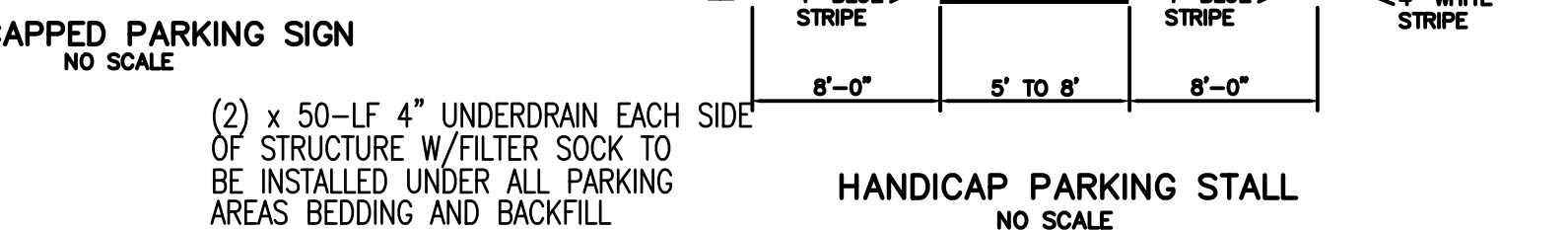
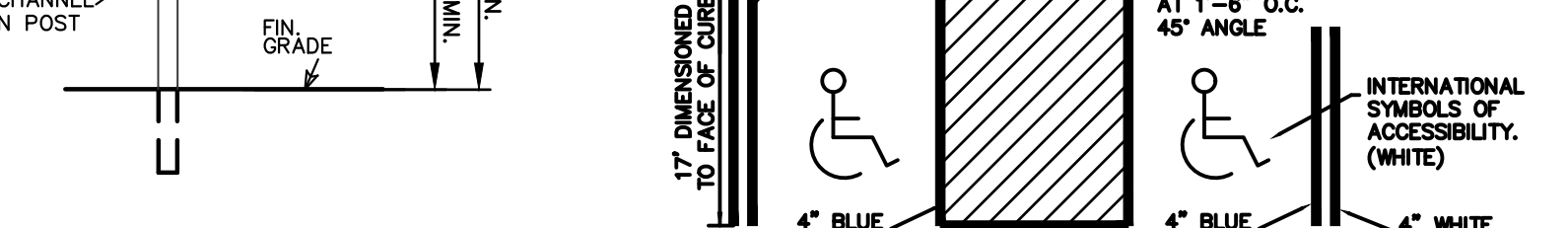
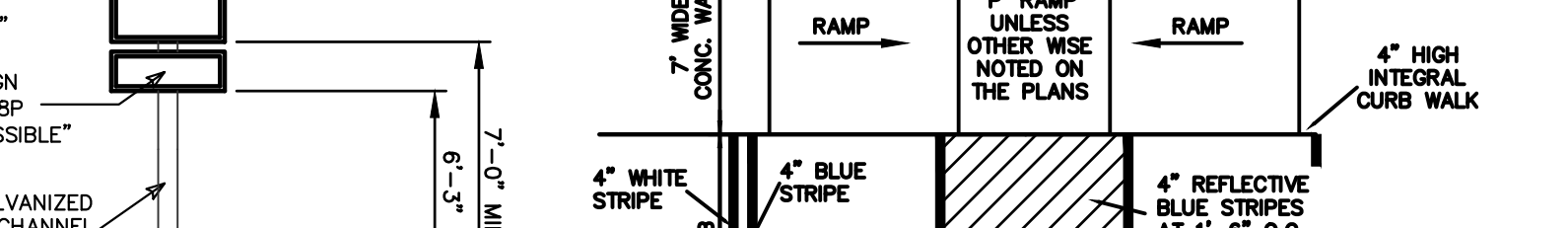
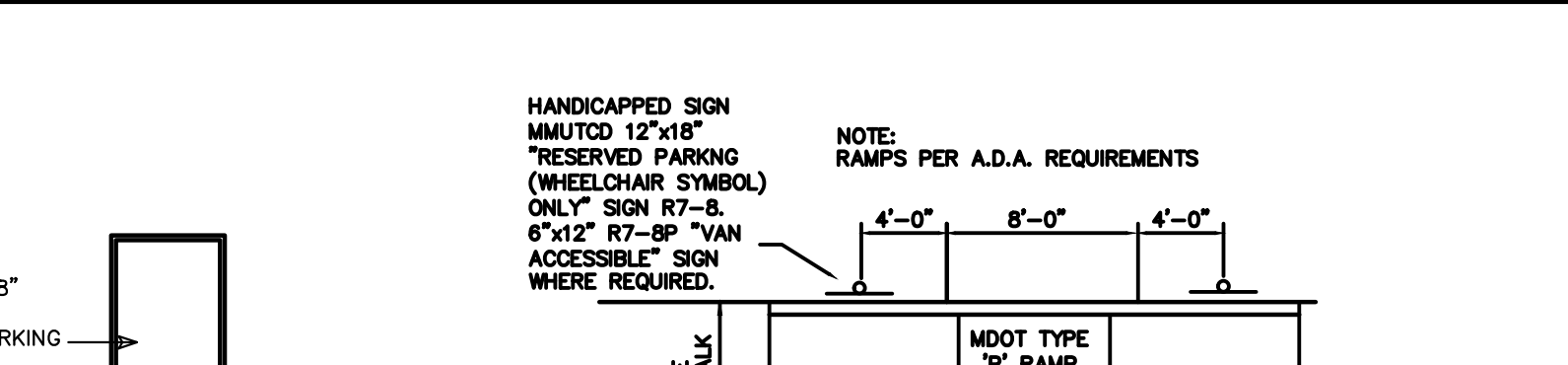
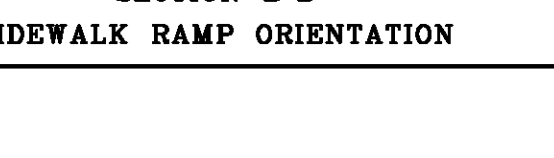
SIDEWALK RAMP ORIENTATION



REINFORCED CONC. PAVEMENT DETAIL



UNDERDRAIN DETAIL



Client information: PANERA BREAD LLC, 3630 S. GEYER ROAD, STE. 100, ST. LOUIS, MO 63127. Project location: NW 1/4 SECTION 28, T.1N, R.9E, CITY OF FARMINGTON, OAKLAND COUNTY, MICHIGAN. Date: 6-14-19. Drawn By: MD. P.E.: AD. Job No.: 180606. Sheet No.: C-6.

LIBER 52183 PAGE 571  
\$21.00 DEED - COMBINED  
\$4.00 REMONUMENTATION  
\$5.00 AUTOMATION  
09/14/2018 05:21:28 PM RECEIPT# 104794  
PAID RECORDED - Oakland County, MI  
Lisa Brown, Clerk/Register of Deeds

### QUIT CLAIM DEED

KNOW ALL BY PERSONS BY THESE PRESENTS: That **PETER J. KALABAT**, a married man, whose address is 30 Cranbrook Lane, Bloomfield Hills Michigan 48304 ("Grantor"), hereby conveys, individually, an undivided 50% interest to Joel E. Garber or his successors, as trustee of the Joel Garber 2012 Trust dated June 20, 2012, and an undivided 50% interest to Daniel B. Garber or his successors, as trustee of the Daniel Garber 2012 Trust dated June 20, 2012, ("Grantees"), the following described property situated in the City of Farmington, County of Oakland, State of Michigan, and as more particularly described as:

Lot 1, VALLEY HILL SUBDIVISION, according to the plat thereof recorded in Liber 100, page 6 of Plats, Oakland County Records.

Commonly known as: 34635 Grand River Ave, Farmington, Michigan

Tax Parcel No. 23-28-128-035

subject to building and use restrictions and easements of record, and real estate taxes which are a lien upon the land, but not yet due and payable, for no (zero) consideration. This deed is exempt from the transfer taxes otherwise imposed pursuant to MCL 207.505(a) and MCL 207.526(a).

Dated this 11<sup>th</sup> day of September, 2018.

*[Signatures on following pages]*

IN WITNESS WHEREOF, Grantor has executed this Deed as of the date first written above.

GRANTOR:

Peter J. Kalabat M.D.  
Peter J. Kalabat

STATE OF MICHIGAN     )  
  ) SS  
COUNTY OF OAKLAND    )

The foregoing was acknowledged before me this 11<sup>th</sup> day of September, 2018, by Peter J. Kalabat, on behalf of himself.

Sandi R. Kolehmainen  
\_\_\_\_\_, Notary Public  
\_\_\_\_\_, County, Michigan  
My Commission Expires: \_\_\_\_\_  
Acting in the County of \_\_\_\_\_

Drafted by and after recording return to:

Andrea S. Todorovic, Paralegal  
Dykema Gossett PLLC  
39577 Woodward Ave., Ste. 300  
Bloomfield Hills, MI 48304

SANDI R. KOLEHMAINEN  
NOTARY PUBLIC, STATE OF MI  
COUNTY OF OAKLAND  
MY COMMISSION EXPIRES Nov 28, 2021  
ACTING IN COUNTY OF Oakland

4836-3442-4432.1  
ID:TODOROVIC, ANDREA - 0871121000003