



**PLANNING COMMISSION MEETING**  
**Monday, February 14, 2022 – 7:00 p.m.**  
**City Council Chambers**  
**23600 Liberty Street**  
**Farmington, MI 48335**

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**AGENDA**

- 1. Roll Call**
- 2. Approval of Agenda**
- 3. Approval of Items on the Consent Agenda**
  - A. January 10, 2022 Minutes**
- 4. Public Hearing for Special Land Use - Proposed Savvy Sliders, 22420 Farmington Road**
- 5. Determination of Similar Use – Proposed DashMart, 22054 Farmington Road**
- 6. Review and Discussion – Zoning Ordinance Audit**
- 7. Discussion of 2023-2028 Capital Improvement Program and Request to Schedule Public Hearing**
- 8. Update - Current Development Projects**
- 9. Public Comment**
- 10. Planning Commission Comment**
- 11. Adjournment**

FARMINGTON PLANNING COMMISSION PROCEEDINGS  
23600 Liberty Street  
Farmington, Michigan  
January 10, 2022

Chairperson Majoros called the meeting to order in Council Chambers, 23600 Liberty Street, Farmington, Michigan, at 7:00 p.m. on Monday, January 10, 2021.

**ROLL CALL**

Present: Crutcher, Kmetzo, Majoros, Perrot, Waun, Westendorf

Absent: Mantey

A quorum of the Commission was present.

**OTHER OFFICIALS PRESENT:** Director Christiansen; Recording Secretary Murphy; Beth Saarela, City Attorney; Brian Golden, Director of Media Services; Brian Belesky, Audiovisual Specialist; Matt Parks, OHM Advisors; Special Guests: Pack 45, Longacre Elementary School.

**APPROVAL OF AGENDA**

MOTION by Crutcher, seconded by Perrot, to approve the agenda.  
Motion carried, all ayes.

**APPROVAL OF ITEMS ON CONSENT AGENDA**

**A. December 13, 2021 Minutes**

MOTION by Kmetzo, seconded by Westendorf, to approve the items on Consent Agenda.  
Motion carried, all ayes.

**ELECTION OF OFFICERS**

Chairperson Majoros introduced this item and turned it over to staff.

Commissioner Crutcher asked if the existing Board can be maintained and Director Christiansen stated it is appropriate if you so choose to maintain the current slate of officers.

**A. Accept Nominations for Chairperson**

Motion by Crutcher, supported by Waun, to nominate Steve Majoros as Chairman of the Planning Commission.

Majoros accepted the nomination.

**B. Accept Nominations for Vice Chairperson**

Motion by Crutcher, supported by Waun, to nominate Geoff Perrot as Vice Chairperson.

Perrot accepted the nomination.

**C. Accept Nominations for Secretary**

Motion by Crutcher, supported by Waun, to nominate Miriam Kmetzo as Secretary of the Planning Commission.

Kmetzo accepted the nomination.

A roll call vote was taken on the foregoing nominations for the entire slate of officers with the following results:

AYES: Crutcher, Kmetzo, Majoros, Perrot, Waun, Westendorf

NAYS: None

Motion carried, all ayes.

**PUBLIC HEARING FOR SPECIAL LAND USE – PROPOSED SAVVY SLIDERS, 22420 FARMINGTON ROAD**

Chairperson Majoros introduced this item and turned it over to staff.

Director Christiansen stated as you indicated, Mr. Chair, this is a Public Hearing for Special Land Use for the proposed Savvy Sliders at 22420 Farmington Road. A little background, the Applicant/Petitioner Steven Bacall from Bacall Group, LLC and Stonefield Engineering on behalf of Savvy Sliders has submitted a Special Land Use Application to renovate and repurpose the former TCF Bank located at 22420 Farmington Road. A copy of the review letter from OHM Advisors is attached with your staff packet. The existing former bank building is currently vacant. The proposed project will result in interior improvements with façade modifications to the existing building and will include a new reconstructed drive-thru. Exterior building site improvements are also proposed. The existing commercial property is zoned C-2, Community Commercial. Drive-thru establishments are a Special Land Use in the C-2 Community Commercial District. A Public Hearing and Special Land Use and site plan review and approval are required. If you recall, the Planning Commission scheduled the required Public Hearing and the site plan review for this evening back at your December 13<sup>th</sup> meeting. Again, the Applicant is here this evening to present the Special Land Use and the proposed site plan to the Commission. The purpose of this item this evening is to review the submitted Special Land Use Application and submitted plans for Savvy Slider, conducting the Public Hearing as required.

Majoros asked Christiansen if the Commission will be making a motion to approve or is this purely the Public Hearing and then there will be a subsequent meeting where we'll go through the Special Land Use just so I'm clear.

Christiansen replied that would be up to the Commission, Mr. Chair. The Public Hearing is required, it's been noticed, and that is what is scheduled this evening. The site plan review accompanies the Special Land Use and the Commission can take whatever action it deems necessary.

Christiansen stated this quickly is the aerial photo for the subject property. The subject property is located on the northeast corner of the intersection of Farmington and Nine Mile Road, the former TCF Bank, you can see that here. The Applicant has submitted information regarding the proposed site plan so we'll scroll to that really quick. There is a review letter from OHM that's in your packet, we're going by that right now, but I want to bring this up on screen, in light of the protocol we have in place this evening, I'm going to move back and forth from here and the table but I wanted to bring this up on screen so everybody can have it. This is the set of plans, site improvement plans for the subject property, for Savvy Sliders Restaurant with a drive-thru. And we'll bring up the site plan itself. This is the site plan, actually this is the existing plan, and you'll note a bank building with a drive-thru for the bank. The drive-thru is intended to be removed and then will be replaced with some parking lot changes, changes in circulation, dumpster enclosures, pads and enclosures. The drive-thru will be a window on the side of the building in approximately the same location as the existing bank drive-thru. But the bank canopy and the pneumatic tube drive-thrus will be removed and its place some reconfiguration of the parking lot and then a window alongside the building and stacking accordingly. And this is that site plan right here. So, if it's okay, Mr. Chair, I'll go ahead and leave this up right now and I'll turn it back over to you.

Chairperson Majoros thanked Christiansen and stated I believe the Applicant is here today so if you would like to come up and provide an overview. And I just want to clarify, Mr. Christiansen, the Applicant has seen the letter from OHM, would that be a correct assumption and Christiansen replied yes.

Majoros called the Applicant to the podium. Mitchell Harvey, Stonefield Engineering, representing Steve Bacall came to the podium. He stated what we're proposing here today is kind of a re-use of the current bank building. The bank is 4,000 square feet and what we're looking to do is tear down the canopy and essentially where there's three drive-thrus, one right next to the building and two for the pneumatic tubes, we'll just put one drive-thru lane and a row of parking with our dumpster enclosure there. Beyond that we're just going to be improving the site from a landscape perspective, we're going to be adding some greenspace to the site, adding some new trees, revitalizing the existing wall

that's out there, I know there's some white staining on it so what we would like to do is have a professional mason come out and look at that and come up with some solutions to avoid that and potentially seal the wall. Regarding the site itself, we will have six stacking spaces from where the menu board is and then we'll have an additional three so a grand total of nine stacking spaces which we believe is more than sufficient for this site. Regarding the use itself, I'm not sure how familiar everybody is with the Savvy Sliders but they're kind of a new slider concept that's been coming up in southeast Michigan recently. They have about ten to fifteen locations, there's some in Troy, Sterling Heights area, Macomb, that kind of stuff. And really what they specialize in is fresh sliders using fresh ingredients, kind of different than what you would see with your typical White Castle. You order a meal, they give you a box and there are two decent sized sliders in there, you can order meals, there's vegetarian options, there's fish options, to kind of service the community. Beyond that, we are in receipt of the OHM letter, we're agreeable to a lot of it. There is one thing that I would like to point out. They recommend shutting down egress from this location here, so working with Mr. Christiansen on this site we identified currently this access drive here and this access drive here are full movement for the current bank. You'll notice the left turn movement out of here may potentially be dangerous because you have so much traffic coming up and down Farmington. So, the review letter from OHM said it would also like to shut down this egress point, the only little heartburn we're getting out of that is essentially that would direct all site traffic leaving the site to head northbound on Farmington, and our concern is there is people leaving that want to head south, east or west would have to go up and go onto someone else's property to make that turn to head southbound and then take a right or a left at the intersection here. So, that is something that we'd like to discuss and potentially work through with OHM on some sort of signage or something but we would like to keep it as a full movement drive if the Planning Commission so wishes.

Director Christiansen stated that Mr. Harvey may not be aware of this, we did have dialogue with Mr. Bacall about that and Stonefield as well. When this letter came out in December, it was actually prepared for the prior meeting where the Public Hearing was scheduled and that item was discussed and OHM did realize that that was something they were not going to require and actually it was a little bit inadvertent I think on their part because there was a series of work session meetings that were held and we did discuss ingress and egress quite at length and the only thing that we were concerned about, the City and the consultants and staff, was that turning movement on the northwest corner. so, the one on the southeast corner is not looking to be modified and will remain.

Harvey then stated he would be happy to answer any questions.

Chairperson Majoros said I'd like to clarify one thing, Kevin, so in the notes that we're reading it does say that to demonstrate compliance with Criteria 5, consider altering the

circulation pattern from Nine Mile to accommodate inbound traffic only; if there were to be a motion this evening, it sounds like the Applicant would be consistent with OHM recommendations but we would want to make sure that if we reference the letter, that sounds like something that has been resolved subsequent in meetings with staff and the Applicant and Christiansen replied that is correct.

Having said that, we will open it up for Commissioner comments and then we'll open up the Public Hearing and then decide on the course of action.

Commissioner Crutcher asked where the front door is located and Harvey replied the front door is currently where the front door is to the bank, those two pillars out front, the ADA spaces are here, here's your main entrance.

Crutcher then said your pedestrian pattern of traffic is going to be coming where and Harvey replied it will be coming here. Crutcher then asked isn't the drive-thru coming right in front of that and Harvey replied the driveway does come through here, but most of the parking is over here, so you go out the door and around.

Crutcher then said so your drive-thru traffic is going to be right at your front door and Harvey replied yes, and those last three spaces for stacking. Crutcher then said so the circulation from the sidewalk to the building and Harvey replied if you have the site plan it's where those ADA spaces are, there's a crosswalk that feeds out into Farmington Road and that's our main source of pedestrian traffic, so no one would have to cross the designated drive-thru lane. This existing sidewalk would come up and wrap around to Farmington.

Crutcher asked in looking at the plans, the floor plan you're looking at, and Harvey replied it's dependent on the interior layout, how they're going to do the kitchen and all that kind of stuff, it's not final yet.

MOTION by Crutcher, supported by Kmetzo, unanimously adopted, to open the Public Hearing.

(Public Hearing opened at 7:18 p.m.)

### **PUBLIC HEARING**

No comments heard.

MOTION by Perrot, supported by Waun, unanimously adopted, to close the Public Hearing.

(Public Hearing closed at 7:18 p.m.)

Director Christiansen stated that certainly there are options available to the Planning Commission, to act, to approve, whatever your pleasure is, but Matt Parks is here from OHM Advisors, our City planning and engineering consultant, if there are any questions to the review letter, specific to any site related items, design, planning issues, engineering issues, he is here to answer them. And other than that, yes, it is up to the Commission as to what you choose to do.

Chairperson Majoros opened the floor for questions from the Commissioners.

Commissioner Westendorf asked if we were to approve this evening, the Special Land Use, that's not necessarily approving the site plan, is it?

Christiansen replied the Special Land Use and the site plan go hand in hand. The Special Land Use has specific considerations related to in this case the element that requires that and that's the drive-thru, so the drive-thru, its location, the stacking and how it's configured and those elements related to the Special Land Use. The site plan is also part of it as well, tied together, so any action related to the Special Land Use also then requires action on the site plan as well, tying them together. So, you have a Special Land Use portion, a site plan portion which implements the Special Land Use and tie them together that way, but it would certainly be your choice on how you want to act.

Attorney Saarela stated you have to have specific findings of fact on the Special Land Use.

Christiansen stated and that's actually in the review comments. So, you have a Special Land Use Application, you have a Special Land Use section, and there's Special Land Use items that are laid out in OHM's letter. And if you look at the planning review comments, there are five items that have to be satisfied that are on pages 1 and 2.

Chairperson Majoros stated it's probably worthwhile to hear from OHM briefly, an overview or anything that might be of significance to hear from.

Matt Parks, OHM Advisors, came to the podium. He stated Kevin did a great intro as well as the Applicant, you have our letter dated December 10<sup>th</sup>. You remember from the last meeting Austin was here to kind of summarize the findings. More or less we reviewed it as a Special Land Use. The Applicant did a good job providing a lot of detail in their packet, so we did supply site plan related comments from a utilities infrastructure, that's kind of my bailiwick as an engineer. There's already existing stormwater management system on site, water and sewer is already existing and as the Applicant referenced and

Kevin did a good job at explaining there is a little bit of confusion in the comments in the planning section, so what we actually discussed is we would want to go ahead and allow left hand turns out onto Farmington Road but actually would permit egress out to Nine Mile, especially heading southbound you could turn left at the light. So, overall I think what they're proposing as far as infrastructure goes meshes in the planning section of the letter. We touch on things such as landscaping and speakers and things-like that, so more detailed in nature. If the Planning Commission should move this forward tonight, there would still be what we would call a detailed engineering review where we really get into the nuts and bolts administratively if everything went off as far as the Building Department and Kevin's staff. So, we're comfortable with the use, the property, a lot of the infrastructure is already there, so it's a good re-use for the most part. If there are any questions specific to the letter, I'd be happy to address them.

Majoros thanked Parks and opened the floor up to questions from the Commissioners.

Hearing none, Chairperson Majoros stated this seems like a pretty good re-use, you know, this is unlike some of the things we've seen before where perhaps drive-thrus have neighboring residentials, etc., the traffic flow, the matter seems to have been addressed, it sure feels like we could entertain a motion to perhaps move forward both the Special Land Use for the drive-thru as well as the site plan as noted with some of the things that have been talked about this evening. But I will turn it over to Commissioners for any particular action.

MOTION by Kmetzo, supported by Waun, to approve the Special Land Use for the proposed Savvy Sliders location at 22420 Farmington Road, Farmington, Michigan, with the condition that the comments offered in the letter by OHM dated 12-10-2021 are addressed prior to the submission of the site plan.

Majoros said one question for staff, I believe the motion said Special Land Use, do we need to note Special Land Use and site plan in that motion and as such, would it be so amended?

Christiansen stated I think it would be appropriate then for Commissioner Kmetzo would consider adding to her motion that the proposed Savvy Sliders meets the Special Land Use requirements of Section 35-158 of the City's Zoning Ordinance as outlined in the original letter from OHM and then the site plan requirements that she also alluded to when she made her motion, then that would be inclusive of Special Land Use and site plan.

Kmetzo accepted the Friendly Amendment.



Waun asked if the motion needed to be amended to address the southbound traffic using the Nine Mile entrance?

Christiansen replied what I think you had said and it was noted earlier unless I'm incorrect, is that Item 5 is actually not applicable because that access is going to remain and it's going to be a two-way and the site plan shows that the north access is only going to be one way.

Majoros said we just want to make sure we're in compliance with OHM, that that was noted in there. So, we had an original motion, we had some revisions to that as noted, motion made and supported.

A roll call vote was taken on the foregoing motion and amendment with the following result:

AYES: Crutcher, Kmetzo, Majoros, Perrot, Waun and Westendorf

NAYS: None.

Motion carried, all ayes.

Majoros stated it looks like a good addition to the town, we'll look forward as noted to the detailed engineering and work with the City staff to move along that property.

### **REVIEW AND DISCUSSION – ZONING ORDINANCE AUDIT**

Chairperson Majoros introduced this item and turned it over to staff.

Director Christiansen stated as you indicated, this item is a continuation of the Planning Commission's review of the City's Zoning Ordinance and Zoning Audit that has been underway for a number of months to this point. Tonight we're going to take a look at Article 6 which are the City's Office District provisions and also Article 7 which are Commercial District regulations. I did distribute to everyone prior to the meeting, Article 6 and a copy of Article 7. Also included with your staff packets is a review memorandum of these two articles from the City Attorney's office. City Attorney Beth Saarela is here this evening and certainly can take us through that. And as we've done in the preceding meetings to date, we can go through these two sections or handle it in any way that you would like. The Office District provisions aren't too lengthy, the Commercial District article is a little more lengthy, but certainly whatever your pleasure, Mr. Chair.

Majoros stated it might be helpful for the City Attorney to provide an overview, that might be a good place to start and we'll take it from there.

City Attorney Saarela stated we have a memo from my office in your packet basically focusing on Article 6 and 7, the Office and Commercial Districts. You do have areas of focus in your Master Plan, there is Focus Areas 1, 2, 3, 4 and 5, all have elements of these districts, all have these districts within their purview, so what I did is go through and summarize what the goals, the Master Plan goals of those focus areas were as pertaining to the Commercial and Office Zoning Districts within the Focus Areas of the City. So, with respect to Focus Area 1, looking at establishing a gateway to the City and promoting commercial rehabilitation. On Focus Area 2 you're looking to establish another gateway to the City, refurbish existing structures and ensure desired development types are permitted and that's the Drake and Grand River Focus Area. Focus Area 3 which is Orchard Lake and Grand River, the focus for that area is redevelopment of existing structures and increase in mixed use and retail residential uses. Focus Area 4 is East Grand River Avenue and the goal is increase residential and mixed use buildings and to incorporate cohesive building design material that is set by standards. Focus Area 5 which is downtown, the goal is to permit promote infill developments, keep existing buildings productive, and to increase floor densities, promote mixed use retail and residential development. As you look to address all of these focus area issues in these zoning districts, what you're really looking to is do your current uses as listed permit what is needed to address these future goals. So, as we go through the standards you want to look at the uses in those areas to make sure that they adjust the goals and for some of them you're looking at building design materials and whether those need to be adjusted in those focus areas and districts. So, if you have any questions, I'm here to answer them.

Majoros thanked Saarela and turned it back over to staff for a quick overview, are there areas from your expertise, Mr. Christiansen, are there things that should be pointed out and this may be an opportunity for us probably more as we get into Article 7, referring back to the meeting of last week, is this an opportunity to provide some clarity in some of our standards and some of our rules and so probably touch on that if that's a specific example but there may be other things we'll take your guidance as well. A quicky on Article 6 from Kevin and then we'll turn it over to the Commissioners for any comments and then we'll go to number 7.

Christiansen stated the Office and Office Service Districts are individual districts but under the same article. The Office District is more of a standard, traditional, typical office district with office type uses as permitted uses throughout. And you can see that in the list of uses. The Office Service District is intended to be a little broader, it's intended to allow for uses that then kind of require a little more consideration maybe if you want to look at it that way, Special Land Use is more akin to Office Service than in Office and you can see that in the list of uses. Most of the uses, again, you're going to find in both districts, the Office District itself, the O District, is a little more traditional, straightforward, again,

encouraging office uses of a business and professional nature, where the Office Service District generally serves as a transition area between residential and commercial. So, that's why you see the Special Land Use with those uses in the OS when you don't see it in the O. And both districts serve the City well, we've not had any issues, any questions, anything unique, anything proposed to be addressed within either district. Again, you'll note in your working with the City Master Plan that the City Attorney referenced, and also the City Zoning Ordinance, you'll note around our Commercial areas, particularly the downtown, between the residential and then the Central Business District, you find the O and the OS Districts, because again they serve as that transition, particularly OS, it's a buffer type district. So, that's pretty much the City's current situation, scenario, with our Office and Office Service Districts, any questions I'll be happy to answer them.

Majoros said as noted, Kevin, with your position and experience and expertise, do you feel what we've got here has been a great asset to the City, allows us to assess applicants and uses; is there anything in here that you would say would be an area of special note that we should pay attention to or a certain area that we should consider. Again, I go back to last meeting's note about some clarity between the Commercial and Industrial use of a particular use; is there anything like that with your expertise that you want to point out in either Article 6 or Article 7 that we should probably consider.

Christiansen replied no, not specific in Article 6, Mr. Chair, I think the Office and the Office Service Districts both serve the City well as they are currently put together and implemented. We did have one unique circumstance that did come about and I think if you just visualize for a minute the downtown again, and here we are at City Hall, and Liberty Street, and on Liberty Street we have institutional uses here on this east side where we're at, and then the downtown of course on the west side you have office uses, and right behind those uses are residential. And that area across the street on Liberty is an OS and it serves well as a buffer. We did have one single family home in the OS that years ago had actually been converted from a residential use to an office use and there was interest in converting it back to a residential use and in order to do that it did have to go through a special process and it did have to receive approval from the Zoning Board of Appeals in order to do that and I think Mr. Crutcher remembers that. But that was unique and I think based upon the structure here it did work out well because it really protected, safeguarded the City in its current structure. So that was a unique circumstance. Other than that I think both districts serve the City well as they're currently existing in the Ordinance.

Majoros thanked Christiansen and opened the floor for questions from the Commissioners on Article 6. Hearing none, he asked Christiansen to give a brief overview on Article 7 and asked if there are things he'd like to point out or that the Commission should pay particular attention to.

Christiansen replied similarly to the process that we've been going through to date and then the review of the residential districts which we've completed and now the review of the office districts which we've been through this evening, this portion of the Ordinance is very significant with respect to the details in this article and its applicability because Article 7 includes all of the City's Commercial Districts except for that found in the Grand River Corridor which is the Grand River Overlay District. So, we have under Article 7 the CBD, Central Business District, downtown, C-2 Community Commercial, C-3 General Commercial and RO, Redevelopment Overlay districts. And you'll see there's specificity and uniqueness to each one of those areas, each one of those zoning districts within Article 7 and that's laid out in the intent statement and you can see that here on the first page. Then as you go through your list of uses, CBD, C-2, C-3, you'll see permitted and Special Land Use, depending upon where it's located. If it's in downtown CBD or if it's in C-2 which is our Community Commercial or the more intense, more general C-3, and those run along our major thoroughfares for the most part, Grand River, Farmington Road, Orchard Lake, etc. And so you'll see that as you go through the various use types and then you'll see special provisions and this is the unique part of this article is there are unique circumstances relating to types of activities with businesses. The first one here if you happen to look at page 7 at the packet I gave to you is Outdoor Display, the second is Outdoor Storage and then the third one if you go through this and after Outdoor Storage and Display is Outdoor Seating. And you know these are all areas that you as a Commission have had quite an involvement in fairly routinely, particularly most recently the outdoor seating provisions. And so that's something that I just want to point out to you in case there's any issues or concerns because you may recall we just went through a review of a proposed amendment to the outdoor seating provisions to allow for enclosures and allow for the use of outdoor seating more than in season. And our current outdoor seating regulations allow for use of that outdoor seating from April until the end of October every year. And again, you just went through a review of proposed amendments to that section and didn't take any action. You made a determination that you were satisfied with the current provisions as is. So, that's just a point of information. You'll note, too, as you go through, other requirements in here, one of the things we dealt with this evening on page 11, is stacking spaces and other items related to drive-thrus and those specific criteria are here and you actually referenced them this evening. And then if you go through, you get to the lot and yard requirements, there have not really been any issues there, Mr. Chair. And then you'll get to what's very unique and that is page 15, you'll have the Central Business District, nonresidential and mixed use development regulations that you'll have some residential development regulations in the Central Business District and you'll note that in the Central Business District it allows that district quite an array of uses, both commercial and residential but there are specific requirements for that. And then if you go through this section, what you'll see is design criteria. The design criteria relate to the downtown and buildings, in fact, if you look at page 21 of 30, you'll see design standards, architectural standards, that relate to the

fascia of buildings, building design, both façade and also treatments, elements, roof lines, windows, ingress/egress points; these are all standards in the Zoning Ordinance that the City follows when it looks at architecture, construction, and proposed development of the downtown. And we really have not had any concerns, they've actually served the City really well and continue to do so. These are standards that I know that the Downtown Development Authority, the Downtown Development Authority Design Committee, and those that certainly look at development and buildings and repurpose, enhancements, etc., in downtown, take a look at. In fact, you were very much a part of this, whether you might realize it or not, is the Farmington States Savings Bank and the GLP Financial and how all that came about. And the DDA looked at it, the Design Committee, and you as a Planning Commission when there were some façade modifications that were proposed of which is certainly ongoing right now. So, this is a very, very, very important section of this portion of the Ordinance. Other than that, you can continue to go through. You get into parking lot design, like I said the residential design standards in your CBD and there's a little bit of site development in the end but it's a pretty thorough section, Mr. Chair, it's very complete. Those items that I referenced are ones that really have been served well by the current Commercial District's regulations, particularly those in the downtown, so if there's any questions, I'm happy to answer them.

Majoros thanked Christiansen and opened the floor for questions from the Commissioners on Article 7. Hearing none, he stated we've had a chance to look at these in advance and just again as you flip through and reorient, there's nothing in here we haven't seen before and I think they have been very useful. Farmington State Savings Bank is a great example, many others as well and I think that they're very useful guides as we go through the great work that you and the City is doing in developments and in redevelopment. So, I think we feel pretty comfortable. So, I'll be looking for a motion for these and we're just done with this topic and we move on to the next.

Christiansen stated I think as you've done in the past, Mr. Chair, just a comment that you've made and if we have an indication from the Commission really affirming that the current regulations are serving the City well and are certainly satisfactory and doesn't necessitate any amendments or modifications, changes to take place, we can move on.

Commissioner Westendorf stated if memory serves me completely, last month we reviewed a project that wanted to put a questionable use in a C-2, is that something we should address today or is that something that will go down the line, what is the process?

Christiansen replied that's a great question and what you may recall that Commissioner Westendorf is referring to, is the proposed DashMart business that was proposing to locate in Farmington Crossroads Shopping Center that as defined and as they were proposing, fit within our Commercial District, but also based upon what they were

proposing didn't completely fit within the Industrial District either. You might recall we indicated when we were talking about it, and as we went through that review process, that one of the things that could be considered is an amendment to the Ordinance to define that type of use and put together standards for that type of use, whether it would be just general standards or potential consideration of a Special Land Use that would have Special Land Use type standards and so we made note of that and it's something that we will look to come back to you with as we had discussion on it with the Zoning Ordinance Amendment. That at this time certainly we'll get through this audit, but something in the short term but I'm glad you brought that up because it was as a result of what happened last time and it's most likely something that probably needs to be put together and brought into the Ordinance in this section, in this Article.

Chairperson Majoros stated I always appreciate all of the work that you do, Kevin, and the entire City staff do, it makes our jobs up here a little easier and we appreciate the guidance and the counsel and the hard work there.

#### **DISCUSSION OF 2021 PLANNING COMMISSION WORK ITEMS/PROGRAM**

Chairperson Majoros introduced this item and turned it over to staff.

Director Christiansen stated I did distribute prior to the meeting a copy of the Planning Commission minutes, I believe it was from your January 11, 2021 meeting, which was a meeting one year ago from tonight's meeting. And those minutes reflect your discussion with respect to work items, priorities for the 2021 year that we have just completed. So, what we're looking at this evening is to maybe recap a little bit on 2021 and look at 2022 and what kind of things the Planning Commission would like to take a look at this year. You might recall we talked about a number of things, we talked about certain development projects coming online, we also talked about completing the Master Plan Update so we were going to look to remark on the Zoning Audit and here we are now and we've been doing that for quite a while. So, we do have opportunity certainly to embark upon a couple of things depending on what your interest is aside from our typical business which is consideration of applications that come before the City that you're responsible for as stewards of the City's Master Plan, making sure that's in good stead. Also, too, as part of the Master Plan process, you know that annually the City considers, develops and has public hearings that you hold and approve the six-year Capital Improvement Program and we're just embarking on that, in fact that kind of kicked off for you last month and in fact, the first Steering Committee Meeting was today and so that's moving forward. I anticipate and you might recall with the schedule that you'll have a Public Hearing request in February to schedule the annual Public Hearing for the Capital Improvement Program in March, and you'll consider that then. Subsequent to that our planning tools right now, the City Master Plan last updated in 2020, the other plans that the City has are fairly current

for the most part and that includes the Downtown Master Plan and the Recreation Master Plan, the Grand River Corridor Improvement Authority is and has been working on an update for the Grand River Corridor Vision Plan. I anticipate that once they complete their draft which I anticipate this Thursday, then it will come to you for your consideration and a request for inclusion as part of the City's overall Master Plan, that's an update to that Vision Plan. So, I anticipate that coming before you, certainly the items that we are aware at the forefront of your consideration, one of the most significant is what's going to be the Planned Unit Development consideration and review for the redevelopment of the Maxfield Training Center. There was another follow-up meeting on the status today with the developer/investor Robertson Brothers Homes as to where they're at right now in their due diligence, they did receive an extension of their purchase agreement for four months to continue some much needed additional due diligence and if we get to the point where that's been completed and we're going to continue to move on, they're going to continue their interest going forward, it should be then likely to come before you sometime this spring, so that will certainly be a very, very significant project in this year's program for you. Aside from that, if you take a look around the City, you can see quite a bit and that's very encouraging in light of everything we've been going through for the past while, and the impacts that the City has certainly been having to deal with on a daily basis with respect to the impacts of the Covid pandemic, the impact on businesses, the impact on the community as a whole, all the protocol and everything else, we've really, really worked hard, this community has, this City has, just trying to stay the course and make it through this time and a lot of that has included making sure that our businesses in the community stays strong and so we have a lot of interest in Farmington now and there are proposals I anticipate for redevelopment in the downtown and out of the downtown, aside from the Maxfield Training Center, coming before you, so that's encouraging as well in the coming year. So, those are the kind of things that we anticipate other than some amendments to the Zoning Ordinance that we just finished talking about and after we complete our Audit, there might be a few more things we want to take a look at. I anticipate as a Commission you'll certainly be busy this year with those kind of items.

Chairperson Majoros thanked Christiansen and opened the floor for comments from the Commissioners. Hearing none, he stated we can move on to Item 8 on the agenda.

#### **UPDATE – CURRENT DEVELOPMENT PROJECTS**

Chairperson Majoros introduced this item and turned it over to staff.

Majoros stated we've seen the Amoco Station at Nine and Farmington really come to fruition here, the work we did on the small four unit plaza, that facade work seems to be almost done and we've seen that, just a lot of goodness happening. But are there any

specific projects or initiatives that you'd like to note, then we'll turn it over to Commissioners as well.

Christiansen thanked Majoros and the efforts of the Planning Commission and their continuing commitment to the community as volunteers, as residents and as stewards of the community's planning and zoning, economic community development, and in particular right now redevelopment in the process, so I can't tell you how much I appreciate all of the hard work that you do individually and collectively as well. It certainly is a pleasure to be able to do that together. And what's very exciting, Mr. Chair, for those in attendance this evening, I know that sometimes public meetings may not be the most interesting or the most entertaining or the most dynamic, but we certainly try to keep it on the positive side and keep things moving forward. Did everybody see that site plan that was on the board earlier? Does everyone know where Ollie's is at, True Value Hardware, the bank across the street that's been vacant for a little bit. It's going to be, if approved this evening, if we get through the process of construction and engineering and building plans and permits, and that's where our consultants come in handy here and Mr. Clarkson is here this evening. But it's going to be a new hamburger, French fries and chicken fingers place, Savvy Sliders, a new place to have food and beverage here in Farmington and that's always pretty exciting, isn't it? So, I hope you guys took a look at that and you got to see what they were doing and that's what the Planning Commission does, it looks at plans like that and consider whether they fit with the City's plan and fit within the rules of the Ordinance we're reading, and if it does, we try to find a way to make it work, so that's pretty exciting. The other stuff, maybe not so much, right, sometimes the ordinance changes and all the rules, but you know what, you have to have good rules, right, in order to make sure that we can do the things we want to do. Good plans and good rules, so it was a pleasure having you guys here tonight, you know, watching what's going on and maybe one day you'll get to be up here or up there or be helping us all out.

Christiansen thanked Troop 345 from Alameda for attending the meeting. He went on to say what's going on in town, everybody can kind of see a lot of things that are taking place. I mentioned the bank, I mentioned this project certainly. You can see the outdoor area, the pergola enclosure for Crazy Crab is going up now and that's very exciting. The landscape area outside which has been set up, certainly that will be completed once the cold weather transitions, I have to believe it's going to be pretty cold the next couple of days. We have that going on. We talked about the Maxfield Training Center, we also have had a lot of involvement with the courthouse property on Ten Mile Road and those homes right now, going from six to eight permits out of the fourteen, that's very encouraging. So that continues on. We do have some work west of downtown, so go down Grand River, you might see old Panera Bread, they've actually been in there now, they have their permits in hand, Panera Bread is going to be repurposed as the New Farmington Grill, so it's going to be kind of a coney island grill, so that is in process right



now. You'll note Tropical Smoothie and that whole shopping center which underwent quite a bit of renovation, that's the World Wide Center, it's now complete and done and they did a really nice job there. And moving down, we see a little bit of activity at Drakeshire Plaza, you're starting to see tenancy beyond what tenant has been in place for the last round, so that's a development update for you, at least re-occupancy going on. And if we go out from there, there's been some activity behind the Comerica Bank, there's some properties there, the old Realtor's Association Building, there's a new center for autism that's coming in there, Sparks Center, and they're repurposing a building back in there, that's for your edification. And then down the way you can see a pretty good almost completion from the basement and the three floors of the retail building, at Freedom Plaza, which is very encouraging. And I can tell you we've had quite a bit of interest recently and dialogue with the owner of the Shell Gas Station and similar

to the Nine Mile Gas Station and the old Clark/Citgo, now Amoco, they are considering demolishing the structures on that site and rebuilding that service station with a brand new building, mixed use building, and new gasoline pumps there as well, so that's pretty encouraging as well. East, we have some interest along Grand River, on a couple properties, the CIA, Grand River Corridor Improvement Authority, is finishing their plan update and you should see re-investment on a parcel by parcel basis, I've had some dialogue with the owners of Uptown Plaza, about redevelopment of that center so that's in process and we have had some new inquiries about The Winery.

Chairperson Majoros opened the floor for comments and questions from the Commissioners.

Commissioner Kmetzo commented that Kevin and his team need to be commended for all the hard work that you do to try to promote Farmington for either residents to move in or businesses to come in.

Christiansen stated he appreciates the comment and it is their pleasure and it's what we're here to do. So, anything that anybody needs or has questions, please don't hesitate to contact us.

### **PUBLIC COMMENT**

Dave Allen, 23724 Warren, inquired if there is a specific sign ordinance related to businesses and also about the Brown Dog.

Christiansen stated that the Brown Dog is a business in downtown Farmington that shut down during the pandemic but have indicated that they are coming back, that they are going to reopen this summer, fall. In their absence, there is a chocolatier using the space.

He went on to address the sign ordinance and stated there is a specific chapter, Chapter 25, in the Code of Ordinances, that relates to signs throughout the City and regulations by Zoning Districts and by type of signs, whether it's a wall sign, whether it is a ground sign, a window sign, a projecting sign, a temporary sign, all of those regulations are in that document. I would encourage you if you haven't to go to the City website, [www.farmgov.com](http://www.farmgov.com) and go to the Code of Ordinances and go to Chapter 25 and take a look and see what those regulations include and if you have any questions, you can certainly contact me, my contact information is available on the website in the Economic Development and Planning Department, we have very specific regulations for all of those sign types, in particular for the downtown, both size and location, again, type of sign, number of signs, etc., and what's required. So, take a look and then certainly give me a call and I'll be happy to discuss it.

Mark Pouliot, 23973 Farmington Road, thanked the Commission for allowing Troop Pack 45 to attend the meeting and see how government works firsthand.

#### **PLANNING COMMISSION COMMENT**

None heard.

#### **ADJOURNMENT**

MOTION by Waun, supported by Crutcher, to adjourn the meeting.  
Motion carried, all ayes.

The meeting was adjourned at 8:04 p.m.

Respectfully submitted,

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Secretary

<b>Farmington Planning Commission Staff Report</b>	<b>Planning Commission Date:</b> February 14, 2022	<b>Reference Number 4</b>
<b>Submitted by:</b> Kevin Christiansen, Economic and Community Development Director		
<b>Description</b> Public Hearing for Special Land Use for Proposed Savvy Sliders, 22420 Farmington Road		
<p><b>Background</b></p> <p>The applicant/petitioner, Steven Bacall with Bacall Group, LLC, and Stonefield Engineering and Design, have submitted a Special Land Use Application on behalf of Savvy Sliders to renovate and repurpose the former TCF Bank located at 22420 Farmington Road (see attached 12/10/21 review letter from OHM Advisors). The existing former bank building is currently vacant. The proposed project would result in interior improvements and façade modifications to the existing building, and includes a new/reconstructed drive-thru. Exterior building and site improvements are also proposed. The existing commercial property is zoned C-2, Community Commercial. Drive-thru establishments are a Special Land Use in the C-2, Community Commercial District. A public hearing, and special land use and site plan review and approval are required. At the 1/10/21 Planning Commission meeting, the Commission held the required public hearing and site plan review for Savvy Sliders and approved the special land use and site plan (see attached copy of minutes). However, due to some modifications/adjustments necessary to the public notice, a 2<sup>nd</sup> public hearing is required to be held.</p> <p>The applicant/petitioner will be at the February 14, 2022 meeting to again present the special land use and proposed site plan to the Commission. The purpose of this item this evening is to review the submitted Special Land Use Application and submitted plans for Savvy Sliders.</p> <p>Attachments</p>		

Motion by Crutcher, supported by Waun, to nominate Geoff Perrot as Vice Chairperson.

Perrot accepted the nomination.

### **C. Accept Nominations for Secretary**

Motion by Crutcher, supported by Waun, to nominate Miriam Kmetzo as Secretary of the Planning Commission.

Kmetzo accepted the nomination.

A roll call vote was taken on the foregoing nominations for the entire slate of officers with the following results:

AYES: Crutcher, Kmetzo, Majoros, Perrot, Waun, Westendorf

NAYS: None

Motion carried, all ayes.



## **PUBLIC HEARING FOR SPECIAL LAND USE – PROPOSED SAVVY SLIDERS, 22420 FARMINGTON ROAD**

Chairperson Majoros introduced this item and turned it over to staff.

Director Christiansen stated as you indicated, Mr. Chair, this is a Public Hearing for Special Land Use for the proposed Savvy Sliders at 22420 Farmington Road. A little background, the Applicant/Petitioner Steven Bacall from Bacall Group, LLC and Stonefield Engineering on behalf of Savvy Sliders has submitted a Special Land Use Application to renovate and repurpose the former TCF Bank located at 22420 Farmington Road. A copy of the review letter from OHM Advisors is attached with your staff packet. The existing former bank building is currently vacant. The proposed project will result in interior improvements with façade modifications to the existing building and will include a new reconstructed drive-thru. Exterior building site improvements are also proposed. The existing commercial property is zoned C-2, Community Commercial. Drive-thru establishments are a Special Land Use in the C-2 Community Commercial District. A Public Hearing and Special Land Use and site plan review and approval are required. If you recall, the Planning Commission scheduled the required Public Hearing and the site plan review for this evening back at your December 13<sup>th</sup> meeting. Again, the Applicant is here this evening to present the Special Land Use and the proposed site plan to the Commission. The purpose of this item this evening is to review the submitted Special Land Use Application and submitted plans for Savvy Slider, conducting the Public Hearing as required.

Majoros asked Christiansen if the Commission will be making a motion to approve or is this purely the Public Hearing and then there will be a subsequent meeting where we'll go through the Special Land Use just so I'm clear.

Christiansen replied that would be up to the Commission, Mr. Chair. The Public Hearing is required, it's been noticed, and that is what is scheduled this evening. The site plan review accompanies the Special Land Use and the Commission can take whatever action it deems necessary.

Christiansen stated this quickly is the aerial photo for the subject property. The subject property is located on the northeast corner of the intersection of Farmington and Nine Mile Road, the former TCF Bank, you can see that here. The Applicant has submitted information regarding the proposed site plan so we'll scroll to that really quick. There is a review letter from OHM that's in your packet, we're going by that right now, but I want to bring this up on screen, in light of the protocol we have in place this evening, I'm going to move back and forth from here and the table but I wanted to bring this up on screen so everybody can have it. This is the set of plans, site improvement plans for the subject property, for Savvy Sliders Restaurant with a drive-thru. And we'll bring up the site plan itself. This is the site plan, actually this is the existing plan, and you'll note a bank building with a drive-thru for the bank. The drive-thru is intended to be removed and then will be replaced with some parking lot changes, changes in circulation, dumpster enclosures, pads and enclosures. The drive-thru will be a window on the side of the building in approximately the same location as the existing bank drive-thru. But the bank canopy and the pneumatic tube drive-thrus will be removed and its place some reconfiguration of the parking lot and then a window alongside the building and stacking accordingly. And this is that site plan right here. So, if it's okay, Mr. Chair, I'll go ahead and leave this up right now and I'll turn it back over to you.

Chairperson Majoros thanked Christiansen and stated I believe the Applicant is here today so if you would like to come up and provide an overview. And I just want to clarify, Mr. Christiansen, the Applicant has seen the letter from OHM, would that be a correct assumption and Christiansen replied yes.

Majoros called the Applicant to the podium. Mitchell Harvey, Stonefield Engineering, representing Steve Bacall came to the podium. He stated what we're proposing here today is kind of a re-use of the current bank building. The bank is 4,000 square feet and what we're looking to do is tear down the canopy and essentially where there's three drive-thrus, one right next to the building and two for the pneumatic tubes, we'll just put one drive-thru lane and a row of parking with our dumpster enclosure there. Beyond that we're just going to be improving the site from a landscape perspective, we're going to be adding some greenspace to the site, adding some new trees, revitalizing the existing wall

that's out there, I know there's some white staining on it so what we would like to do is have a professional mason come out and look at that and come up with some solutions to avoid that and potentially seal the wall. Regarding the site itself, we will have six stacking spaces from where the menu board is and then we'll have an additional three so a grand total of nine stacking spaces which we believe is more than sufficient for this site. Regarding the use itself, I'm not sure how familiar everybody is with the Savvy Sliders but they're kind of a new slider concept that's been coming up in southeast Michigan recently. They have about ten to fifteen locations, there's some in Troy, Sterling Heights area, Macomb, that kind of stuff. And really what they specialize in is fresh sliders using fresh ingredients, kind of different than what you would see with your typical White Castle. You order a meal, they give you a box and there are two decent sized sliders in there, you can order meals, there's vegetarian options, there's fish options, to kind of service the community. Beyond that, we are in receipt of the OHM letter, we're agreeable to a lot of it. There is one thing that I would like to point out. They recommend shutting down egress from this location here, so working with Mr. Christiansen on this site we identified currently this access drive here and this access drive here are full movement for the current bank. You'll notice the left turn movement out of here may potentially be dangerous because you have so much traffic coming up and down Farmington. So, the review letter from OHM said it would also like to shut down this egress point, the only little heartburn we're getting out of that is essentially that would direct all site traffic leaving the site to head northbound on Farmington, and our concern is there is people leaving that want to head south, east or west would have to go up and go onto someone else's property to make that turn to head southbound and then take a right or a left at the intersection here. So, that is something that we'd like to discuss and potentially work through with OHM on some sort of signage or something but we would like to keep it as a full movement drive if the Planning Commission so wishes.

Director Christiansen stated that Mr. Harvey may not be aware of this, we did have dialogue with Mr. Bacall about that and Stonefield as well. When this letter came out in December, it was actually prepared for the prior meeting where the Public Hearing was scheduled and that item was discussed and OHM did realize that that was something they were not going to require and actually it was a little bit inadvertent I think on their part because there was a series of work session meetings that were held and we did discuss ingress and egress quite at length and the only thing that we were concerned about, the City and the consultants and staff, was that turning movement on the northwest corner. so, the one on the southeast corner is not looking to be modified and will remain.

Harvey then stated he would be happy to answer any questions.

Chairperson Majoros said I'd like to clarify one thing, Kevin, so in the notes that we're reading it does say that to demonstrate compliance with Criteria 5, consider altering the

circulation pattern from Nine Mile to accommodate inbound traffic only; if there were to be a motion this evening, it sounds like the Applicant would be consistent with OHM recommendations but we would want to make sure that if we reference the letter, that sounds like something that has been resolved subsequent in meetings with staff and the Applicant and Christiansen replied that is correct.

Having said that, we will open it up for Commissioner comments and then we'll open up the Public Hearing and then decide on the course of action.

Commissioner Crutcher asked where the front door is located and Harvey replied the front door is currently where the front door is to the bank, those two pillars out front, the ADA spaces are here, here's your main entrance.

Crutcher then said your pedestrian pattern of traffic is going to be coming where and Harvey replied it will be coming here. Crutcher then asked isn't the drive-thru coming right in front of that and Harvey replied the driveway does come through here, but most of the parking is over here, so you go out the door and around.

Crutcher then said so your drive-thru traffic is going to be right at your front door and Harvey replied yes, and those last three spaces for stacking. Crutcher then said so the circulation from the sidewalk to the building and Harvey replied if you have the site plan it's where those ADA spaces are, there's a crosswalk that feeds out into Farmington Road and that's our main source of pedestrian traffic, so no one would have to cross the designated drive-thru lane. This existing sidewalk would come up and wrap around to Farmington.

Crutcher asked in looking at the plans, the floor plan you're looking at, and Harvey replied it's dependent on the interior layout, how they're going to do the kitchen and all that kind of stuff, it's not final yet.

MOTION by Crutcher, supported by Kmetzo, unanimously adopted, to open the Public Hearing.

(Public Hearing opened at 7:18 p.m.)

### **PUBLIC HEARING**

No comments heard.

MOTION by Perrot, supported by Waun, unanimously adopted, to close the Public Hearing.

(Public Hearing closed at 7:18 p.m.)

Director Christiansen stated that certainly there are options available to the Planning Commission, to act, to approve, whatever your pleasure is, but Matt Parks is here from OHM Advisors, our City planning and engineering consultant, if there are any questions to the review letter, specific to any site related items, design, planning issues, engineering issues, he is here to answer them. And other than that, yes, it is up to the Commission as to what you choose to do.

Chairperson Majoros opened the floor for questions from the Commissioners.

Commissioner Westendorf asked if we were to approve this evening, the Special Land Use, that's not necessarily approving the site plan, is it?

Christiansen replied the Special Land Use and the site plan go hand in hand. The Special Land Use has specific considerations related to in this case the element that requires that and that's the drive-thru, so the drive-thru, its location, the stacking and how it's configured and those elements related to the Special Land Use. The site plan is also part of it as well, tied together, so any action related to the Special Land Use also then requires action on the site plan as well, tying them together. So, you have a Special Land Use portion, a site plan portion which implements the Special Land Use and tie them together that way, but it would certainly be your choice on how you want to act.

Attorney Saarela stated you have to have specific findings of fact on the Special Land Use.

Christiansen stated and that's actually in the review comments. So, you have a Special Land Use Application, you have a Special Land Use section, and there's Special Land Use items that are laid out in OHM's letter. And if you look at the planning review comments, there are five items that have to be satisfied that are on pages 1 and 2.

Chairperson Majoros stated it's probably worthwhile to hear from OHM briefly, an overview or anything that might be of significance to hear from.

Matt Parks, OHM Advisors, came to the podium. He stated Kevin did a great intro as well as the Applicant, you have our letter dated December 10<sup>th</sup>. You remember from the last meeting Austin was here to kind of summarize the findings. More or less we reviewed it as a Special Land Use. The Applicant did a good job providing a lot of detail in their packet, so we did supply site plan related comments from a utilities infrastructure, that's kind of my bailiwick as an engineer. There's already existing stormwater management system on site, water and sewer is already existing and as the Applicant referenced and



Kevin did a good job at explaining there is a little bit of confusion in the comments in the planning section, so what we actually discussed is we would want to go ahead and allow left hand turns out onto Farmington Road but actually would permit egress out to Nine Mile, especially heading southbound you could turn left at the light. So, overall I think what they're proposing as far as infrastructure goes meshes in the planning section of the letter. We touch on things such as landscaping and speakers and things like that, so more detailed in nature. If the Planning Commission should move this forward tonight, there would still be what we would call a detailed engineering review where we really get into the nuts and bolts administratively if everything went off as far as the Building Department and Kevin's staff. So, we're comfortable with the use, the property, a lot of the infrastructure is already there, so it's a good re-use for the most part. If there are any questions specific to the letter, I'd be happy to address them.

Majoros thanked Parks and opened the floor up to questions from the Commissioners.

Hearing none, Chairperson Majoros stated this seems like a pretty good re-use, you know, this is unlike some of the things we've seen before where perhaps drive-thrus have neighboring residentials, etc., the traffic flow, the matter seems to have been addressed, it sure feels like we could entertain a motion to perhaps move forward both the Special Land Use for the drive-thru as well as the site plan as noted with some of the things that have been talked about this evening. But I will turn it over to Commissioners for any particular action.

MOTION by Kmetzo, supported by Waun, to approve the Special Land Use for the proposed Savvy Sliders location at 22420 Farmington Road, Farmington, Michigan, with the condition that the comments offered in the letter by OHM dated 12-10-2021 are addressed prior to the submission of the site plan.

Majoros said one question for staff, I believe the motion said Special Land Use, do we need to note Special Land Use and site plan in that motion and as such, would it be so amended?

Christiansen stated I think it would be appropriate then for Commissioner Kmetzo would consider adding to her motion that the proposed Savvy Sliders meets the Special Land Use requirements of Section 35-158 of the City's Zoning Ordinance as outlined in the original letter from OHM and then the site plan requirements that she also alluded to when she made her motion, then that would be inclusive of Special Land Use and site plan.

Kmetzo accepted the Friendly Amendment.

Waun asked if the motion needed to be amended to address the southbound traffic using the Nine Mile entrance?

Christiansen replied what I think you had said and it was noted earlier unless I'm incorrect, is that Item 5 is actually not applicable because that access is going to remain and it's going to be a two-way and the site plan shows that the north access is only going to be one way.

Majoros said we just want to make sure we're in compliance with OHM, that that was noted in there. So, we had an original motion, we had some revisions to that as noted, motion made and supported.

A roll call vote was taken on the foregoing motion and amendment with the following result:

AYES: Crutcher, Kmetzo, Majoros, Perrot, Waun and Westendorf

NAYS: None.

Motion carried, all ayes.

Majoros stated it looks like a good addition to the town, we'll look forward as noted to the detailed engineering and work with the City staff to move along that property.

### **REVIEW AND DISCUSSION – ZONING ORDINANCE AUDIT**

Chairperson Majoros introduced this item and turned it over to staff.

Director Christiansen stated as you indicated, this item is a continuation of the Planning Commission's review of the City's Zoning Ordinance and Zoning Audit that has been underway for a number of months to this point. Tonight we're going to take a look at Article 6 which are the City's Office District provisions and also Article 7 which are Commercial District regulations. I did distribute to everyone prior to the meeting, Article 6 and a copy of Article 7. Also included with your staff packets is a review memorandum of these two articles from the City Attorney's office. City Attorney Beth Saarela is here this evening and certainly can take us through that. And as we've done in the preceding meetings to date, we can go through these two sections or handle it in any way that you would like. The Office District provisions aren't too lengthy, the Commercial District article is a little more lengthy, but certainly whatever your pleasure, Mr. Chair.

Majoros stated it might be helpful for the City Attorney to provide an overview, that might be a good place to start and we'll take it from there.



City of Farmington  
CivicSight Map

MAP LEGEND:

- CITY BOUNDARY
- RIVERS-STREAMS
- MULTITENANTBUILDING (Type)
  - BUILT
  - PROPOSED
  - COMM\_INDUST BLDGS
  - RAPHAEL STREET(POLY)2
  - RAPHAEL STREET(POLY)1
  - PARCELS
- ROADS OUTSIDE FARMINGTON
- RIGHTOFWAY
- MULTITENANTPAVING
  - ROW EXTEND
  - LOT HISTORY
- OPEN WATER (FEATURETYPE)
  - DetentionPond
  - StreamRiver
  - LakePond
  - Channel
  - SwampMarsh

2017 AERIAL PHOTOS (Image)

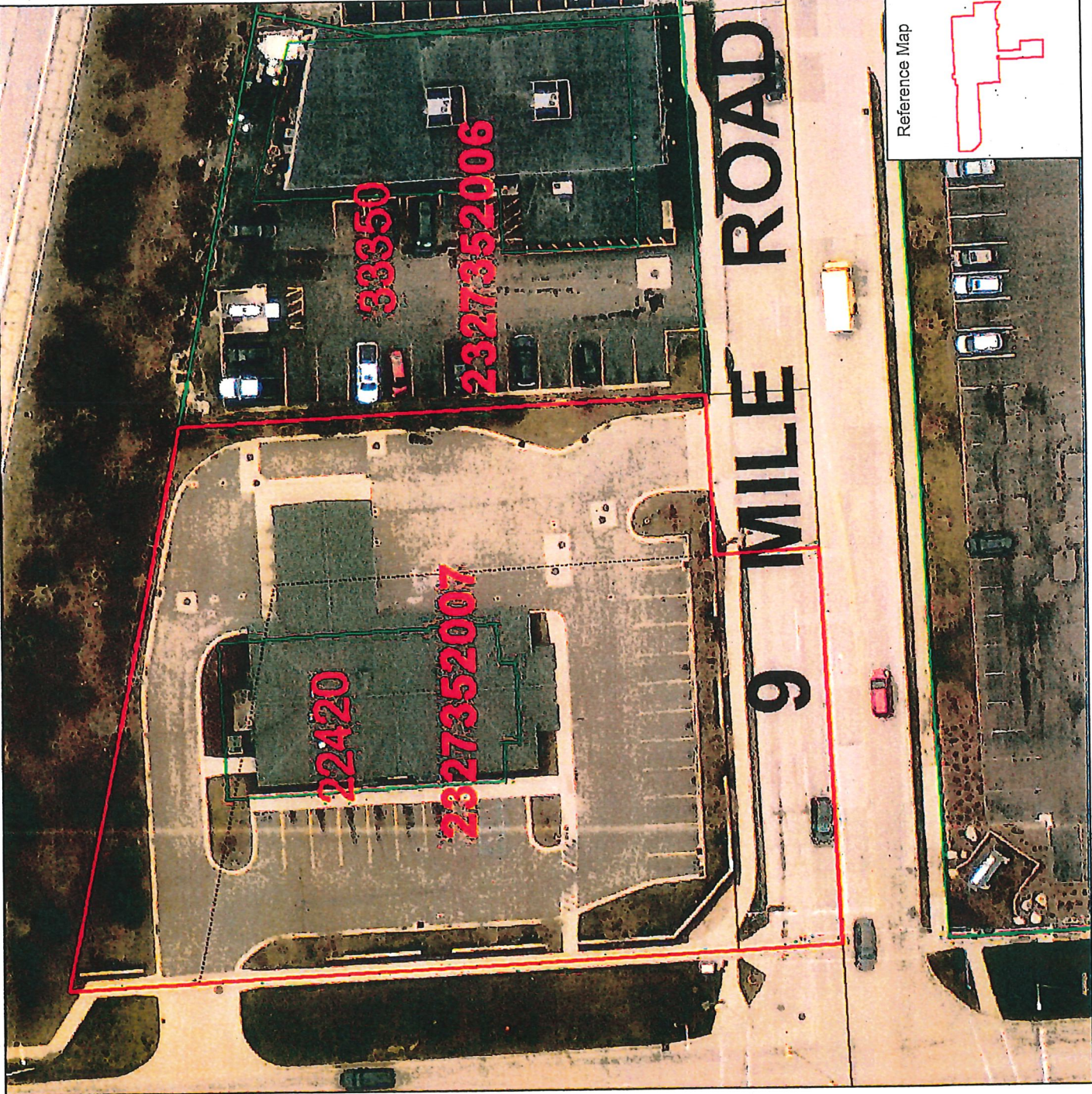
Map Scale: 1 inch = 47 feet

Map Date: 7/20/2021

Data Date: October 30, 2020

Sources: City of Farmington, Oakland County GIS Utility, River's Edge GIS, LLC.

Disclaimer: No liability is assumed for the information provided by this program has been compiled from recorded deeds, plats, taxmaps, surveys, and other public records and data. It is not a legally recorded map or survey and is not intended to be used as one. Users of this data are hereby notified that the information sources mentioned above should be consulted for verification of the information. Once again, USE AT YOUR OWN RISK !!!



Reference Map

www.farmgov.com

23600 Liberty Street  
Farmington, Michigan 48335



Telephone 248-474-5500  
Fax 248-473-7261

## **NOTICE OF PUBLIC HEARING**

NOTICE IS HEREBY GIVEN THAT THE FARMINGTON PLANNING COMMISSION WILL HOLD A PUBLIC HEARING AT THE FARMINGTON CITY HALL, 23600 LIBERTY STREET, FARMINGTON, MICHIGAN 48335 ON MONDAY, FEBRUARY 14, 2022 AT 7:00 P.M; ALL PROPERTY OWNERS WITHIN 300 FEET OF THE SITE IN QUESTION ARE NOTIFIED.

LOCATION: 22420 Farmington Road

PARCEL NO.: 20-23-27-352-007

REVIEW: Consideration of a special land use for the renovation and repurpose of an existing vacant commercial building and construction of a new drive-thru located in the C-2, Community Commercial District

APPLICANT: Steven Bacall, Bacall Group, LLC (on behalf of Savvy Sliders)

Kevin P. Christiansen, AICP, PCP, Economic and Community Development Director

Publish: January 30, 2022 in the Farmington Observer  
Mail: January, 27, 2022



December 10, 2021

Kevin Christiansen  
Economic & Community Development Director  
City of Farmington  
23600 Liberty Street  
Farmington, MI 48335

RE: Savvy Sliders – Special/Conditional Land Use Review  
22420 Farmington Road

Dear Mr. Christiansen:

Our office has completed the first special land use review of the plans, dated November 23, 2021, for the proposed Savvy Sliders restaurant. The plans were prepared by Stonefield Engineering & Design, were received by OHM Advisors on November 30, 2021, and reviewed with respect to the City of Farmington Engineering Standards and Design Specifications as well as the City's Master Plan and other planning documents.

We would recommend approval with the condition that the comments we offered in this letter are addressed prior to submitting for site plan. We included these comments primarily for the courtesy of the applicant to help facilitate future submittals. These comments do not impact our recommendation as it pertains the special/conditional use.

A brief description of the project has been provided below, followed by our comments and a list of required permits/approvals.

### **PROJECT AND SITE DESCRIPTION**

The applicant is proposing to renovate the existing bank building into a restaurant which will include a single lane drive-thru. The existing canopy will be removed, and the drive-thru window is proposed to be reconstructed in the northeast corner of the building. All existing site utilities and stormwater infrastructure will remain and continue to be used. Additionally, no grading will be necessary and minor improvements to the curbs, signage, and sidewalk are proposed to be made to work in conjunction with the new traffic circulation pattern.

### **PLANNING REVIEW COMMENTS**

The applicant shall reference and consider Section 35-152 - Special Land Use Application procedure while reviewing this letter:

Prior to approving a special land use application the planning commission shall require that the following general standards, in addition to the specific standards noted for individual uses in [section 35-158](#), special land use specific requirements, be satisfied. The proposed use or activity shall:

1. Be compatible and in accordance with the goals, objectives and policies of the City of Farmington Master Plan.
2. Promote the intent of the zoning district in which the use is proposed.



3. Be constructed, operated, and maintained so as to be compatible with the existing or intended character of the general vicinity and so as not to change the essential character of the area in which it is proposed.
4. Be served adequately by public facilities and services, such as traffic operations along streets, police and fire protection, drainage structures, water and sewage facilities and primary and secondary schools.
5. Not involve uses, activities, processes, materials and equipment or conditions of operation that, in comparison to permitted uses in the district, will be detrimental to the natural environment, public health, safety or welfare by reason of excessive production of traffic, noise, smoke, odors or other such nuisance.

Properties for which application for special land use approval is made shall also be subject to site plan review in accordance with the requirements of [Article 13](#), Site Plan Review. Failure to obtain site plan approval will constitute denial of the approved special land use.

#### Land Use Compliance Comments:

- The property in question is currently zoned Community Commercial (C2) within which a Special Land Use permit is required for a drive-thru restaurant. The following bullets outline further requirements of Special Land Uses:
  - C2 requirements for a drive-through must meet the following items:
    1. Drive-through uses shall be designed to minimize conflicts with pedestrian or vehicular circulation and shall meet the following standards:
    2. The number of drive-through lanes shall be limited to the following:
      - a. Drive-through banks and car washes shall have a maximum of three (3) drive-through lanes, including any that are devoted to ATM(s).
      - b. All other drive-through uses shall have a maximum of one (1) drive-through lane.
    3. Stacking Spaces shall be provided as required in Article 14, Off-Street Parking and Loading Standards and Access Design.
    4. Communication and speaker boxes shall meet the following requirements:
      - a. Speakers shall be placed as close as safely possible from the edge of the drive-through lane; in no case may speakers be more than three (3) feet from the drive-through lane.
      - b. Where feasible, speakers shall face away from residential neighborhoods.
      - c. Noise from communication speakers shall not exceed fifty (50) decibels at a nonresidential property line and thirty (30) decibels at any residential property line. Where a screening wall is provided, the noise level shall be measured on the residential side of the screening wall.
    5. Site design for drive-through uses shall use the minimum number of driveways possible. Use of two (2) directional driveways may only be allowed if there are no other reasonable alternatives, such as access to a side street, rear alley, cross-access easement or shared driveway.
    6. Circulation patterns shall separate pedestrian and vehicular traffic where possible. Clear delineation of pedestrian crossings shall be provided in the form of textured concrete or asphalt, striping or other method that clearly draws attention.

#### Plan Compliance

- The Master Plan's Future Land Use Map identifies the subject site as Focus Area 1, within which the development goals are to add businesses that complement the light industrial character and promote walkability, transform the gateway appearance to promote the City's identify and create new value through strategic redevelopment. While the aesthetics of the building are presently unknown, a restaurant is consistent with the desired character for the area. The reduction in impervious surface area, coupled with the added



landscaping, helps to transform its appearance, it does not promote walkability. Verify that the designated sidewalk through the site from the Farmington Road sidewalk up to the southern sidewalk is to remain and is ADA compliant. Consider using alternative paving materials through the drive-lane to better designate a pedestrian crossing.

- One of the special land use considerations is related to driveways/circulation. To demonstrate compliance with criteria #5 (see above), consider altering the circulation pattern from 9 Mile Road to accommodate inbound traffic only which will improve flow through the site and further minimize the impervious surface area.
- While the proposed site/structure modifications do not require planning commission review, full compliance still needs to be demonstrated. The details provided for landscaping and lighting were evaluated and require the following modifications:
  - Satisfy the requirements for the requested reduction in parking spaces.
  - Verify that the brick street wall is no less than 3 feet tall and install a landscaped hedgerow in the breaks of the wall along all road fronts. Since the northern setback is already within the required 10 feet additional plantings shall be required and/or another wall.
  - Verify that the existing wall will match the proposed building design and materials.
  - Verify that any loading/unloading will be done during off hours because internal site circulation cannot accommodate truck parking.
  - Verify that a garbage truck and/or delivery vehicle can maneuver through the northeast corner of the site (also referenced below).
  - Because this site is designated as a gateway in the Master Plan, a design element needs to be added to distinguish it as such (i.e. create a visual landmark).
  - Consider removing the turf grass in the interior islands and replace with low growing decorative grass to minimize maintenance issues.
  - Verify that all waste receptacles, mechanical equipment, and utility boxes have adequate screening that matches the building and satisfies the requirements of Sec. 35-51 and Sec. 35-52.
  - Verify whether there is going to be any wall mounted lights or any lighted signs, both of which will need to demonstrate compliance with Sec. 35-48, Exterior Lighting.
- Future submittals will need to include full site plan details as outlined in Sec. 35-165 of Chapter 13 of the City's Code of Ordinances.

### **ENGINEERING SITE PLAN REVIEW COMMENTS**

Overall, the site utilities as they exist will accommodate this type of use and there are no major concerns on this special land use. The following comments are being provided as preliminary site plan comments for the applicant's benefit and do not impact this conditional use letter. These comments shall be addressed by the applicant prior to future site plan submittals:

1. A representation of how a garbage truck will access the proposed dumpster location shall be provided. It is recommended an AutoTurn turning template be added to the plans prior to future submittals.
2. The applicant shall provide a detail of the proposed dumpster enclosure for review as well as details of the proposed concrete pad and other pavement sections being proposed. Modifications and changes to driveway approaches, including the rehabilitation of the approach along Farmington Road, will require the review and approval of the Road Commission for Oakland County (RCOC).

### **PERMITS/APPROVALS**

The following outside agency reviews and permits may be required for the project. Copies of any correspondence between the applicant and the review agencies, as well as the permit or waiver, shall be sent to both the City and this office.

- ▼ A building permit will be required by the City Building Department.



- ▶ Any proposed work within the Farmington Road right-of-way will require an RCOC permit as Farmington Road is under RCOC jurisdiction.
- ▶ An OCWRC soil erosion and sedimentation control permit will be required if the total site disturbance is greater than 1 acre.
- ▶ A preconstruction meeting shall be held prior to the start of construction. A preconstruction requirements letter will be sent under separate cover and will outline provisions for insurance, bonds and inspection deposits necessary prior to scheduling the preconstruction meeting.
- ▶ Any other permits necessary (through the City or other agency) shall be obtained prior to starting construction.

It shall be noted that additional comments may be generated from information presented in future submittals. If you have any questions, please feel free to contact us by phone at (734) 522-6711 or by email at [austin.downie@ohm-advisors.com](mailto:austin.downie@ohm-advisors.com).

Sincerely,  
OHM Advisors

Matthew D. Parks, P.E.

Jennifer Morris, AICP

MP/JM/ad

cc: Jeff Bowdell, City of Farmington  
Chuck Eudy, City of Farmington  
Austin Downie, OHM Advisors  
Mitchell Harvey, P.E., Stonefield Engineering & Design  
File

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# CITY OF FARMINGTON

*For office use only*  
 Date Filed: \_\_\_\_\_  
 Fee Paid: \_\_\_\_\_

## Special Land Use Application

1. Project Name 22420 Farmington Road

2. Location of Property  
 Address 22420 Farmington Road Farmington MI 48336  
 Cross Streets W 9 Mile & Farmington Road

3. Identification

Applicant Steven Bacall  
 Address 7091 Orchard Lake Rd. - Ste. 260  
 City/State/Zip West Bloomfield, MI 48322  
 Phone (248) 755-9939 Fax \_\_\_\_\_  
 Interest in the Property (e.g. fee simple, land option, etc.)  
 Property Owner  Other (Specify) \_\_\_\_\_

Property Owner TCF Bank - PCC-00-PD  
 Address 1045 Xenium Lane N  
 City/State/Zip Plymouth, Minnesota 55441  
 Phone \_\_\_\_\_ Fax \_\_\_\_\_

Preparer of Site Plan Stonefield Engineering & Design  
 Address 607 Shelby Street Suite 200  
 City/State/Zip Detroit MI 48226  
 Phone 248-247-1115 Fax \_\_\_\_\_

4. Property Information

Zoning District C-2 Area 37,325 SF  
Width 210.0 FT Depth 170.0 FT  
Current Use Bank W/ Drive thru  
Zoning District of Adjacent Properties to the  
North M-5 ROW South C-2 East C-2 West C-3

5. Proposed Use

- Residential Number of Units \_\_\_\_\_
- Office Gross Floor Area \_\_\_\_\_
- Commercial Gross Floor Area 4,605 SF
- Industrial Gross Floor Area \_\_\_\_\_
- Institutional Gross Floor Area \_\_\_\_\_
- Other \_\_\_\_\_ Gross Floor Area \_\_\_\_\_

6. Special Land Use Criteria. The applicant must provide written responses to the special land use criteria as noted on page 3 of this application.

A copy of the complete legal description of the property and proof of property ownership should accompany this application.

I, [Signature] (applicant), do hereby swear that the above statements are true.

[Signature] Date 11/21/21

\_\_\_\_\_  
Signature of Property Owner Date

I, \_\_\_\_\_ (property owner), hereby give permission for City of Farmington officials, staff, and consultants to go on the property for which the above referenced site plan is proposed for purposes of verifying information provided on the submitted application.

City Action

Approved/Denied: \_\_\_\_\_

Date: \_\_\_\_\_

By: \_\_\_\_\_

Conditions of Approval: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

- a. The proposed special land use shall be compatible with and in accordance with the general goals, objectives and policies of the City of Farmington Master Plan.

The site is master planned for Focus Area 1 "Farmington Road & Nine Mile Road" The vision so this area is to provide a mix of office and retail option to service the surrounding residential. The proposed restaurant will fit in with this future designation by providing a new dining option in the area.

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- b. The special land use shall promote the intent of the zoning district in which the use is proposed.

The site is currently zoned C2 (Community Commercial District). The district is intended to create a mixed-use neighborhood centers with retail servicing that provide convenient shopping for person residing in the nearby residential area. The proposed drive-thru restaurant will service the surrounding residents by adaptively reusing an existing site on a commercial corner of 9 Mile & Farmington.

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- c. The special land use shall be compatible with the existing or intended character of the general vicinity and shall not change the essential character of the area in which it is proposed.

The proposed special land use of restaurant will drive-thru will be compatible with the surrounding area as the site is located on a commercial corner. Near by uses are largely commercial (gas station, restaurants, dollar stores) that are complementary uses & commonly located near drive-thru restaurants.

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- d. The special land use shall be served adequately by public facilities and services such as traffic operations, police and fire protection, drainage structures, water and sewer facilities and schools.

Drive-thru restaurants will not have a detriment to the surrounding traffic operations as a large portion of the customer base is generated by pass-by-traffic that is already present along Farmington & 9 Mile. The site is already serviced by sufficient drainage & utilities that will be re-utilized as part of this development.

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- e. The proposed special land use shall not involve uses, activities, processes, materials, equipment or conditions of operation that in comparison to the uses permitted in the district, will be detrimental to the natural environment, public health, safety or welfare.

The proposed use will not have any detriment to the natural environment, public health, safety or welfare. The site traffic circulation & ADA accessibility will be improved as part of this development that will be a benefit to public health and safety

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*\* The special land use criteria included above is not the only requirement for special land use applications. For additional information please refer to ARTICLE 12 SPECIAL LAND USES of the City of Farmington Zoning Ordinance.*

# STONEFIELD

November 23, 2021

Kevin P. Christiansen  
Economic & Community Development Director  
City of Farmington  
23600 Liberty Street  
Farmington, MI 48335

**RE: Special Land Use Approval  
Proposed Restaurant with Drive-Thru  
PARCEL ID: 23-27-352-007  
2240 Farmington Road  
City of Farmington, Oakland County Michigan**

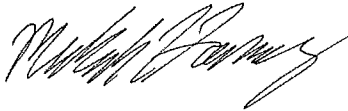
Kevin:

Stonefield Engineering & Design, LLC is pleased to submit documents for Special Land Use Approval for the above referenced property. Please find the following items enclosed for review:

ITEM DESCRIPTION	DATED	COPIES	PREPARED BY
Site Development Plans	11-23-2021	5	Stonefield Engineering & Design

Should you have any questions, please do not hesitate to contact our office.

Best regards,



Mitchell Harvey, PE  
mharvey@stonefieldeng.com  
**Stonefield Engineering and Design, LLC**

V:\DET\2021\DET-210182-Happy's Pizza-22420 Farmington Road, Farmington, MI\Correspondence\Outgoing\Municipal\2021-11-23 Special Land Use Approval Submission Letter.docx

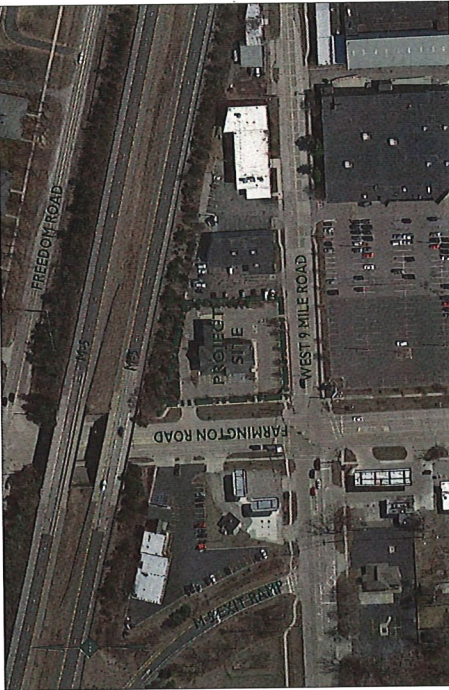
# SITE IMPROVEMENT PLANS FOR 22420 FARMINGTON ROAD PROPOSED RESTAURANT WITH DRIVE-THRU

PID: 23-27-352-007

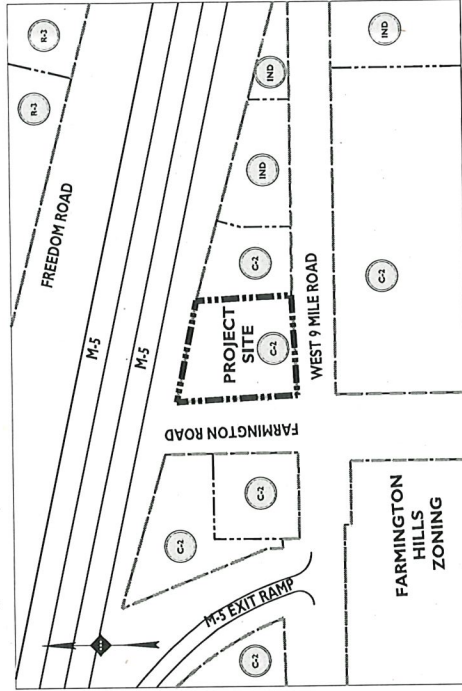
2240 FARMINGTON ROAD  
CITY OF FARMINGTON, OAKLAND COUNTY, MICHIGAN



**LOCATION MAP**  
SCALE: 1" = 2,000'



**AERIAL MAP**  
SCALE: 1" = 100'



**ZONING MAP**  
SCALE: 1" = 100'



Detroit, MI • New York, NY • Rutherford, NJ  
Princeton, NJ • Tampa, FL • Boston, MA  
www.stonefieldeng.com

607 Shelby Suite 200, Detroit, MI 48226  
Phone 248.247.1115



Know what's below  
Call before you dig.

PLANS PREPARED BY:

- PLAN REFERENCE MATERIALS:**
1. THIS PLAN SET REFERENCE THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
    - SURVEY TECH. DATED 01/17/2021
    - ENVIRONMENTAL REPORT DATED 01/17/2021
    - ENVIRONMENTAL REPORT DATED 01/17/2021
    - LOCATION MAP OBTAINED FROM USGS NATIONAL LOCATION MAP OBTAINED FROM USGS NATIONAL LOCATION MAP
    - ZONING MAP
  2. ALL REFERENCE MATERIALS LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED HEREIN IS FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION THROUGHOUT THE PROJECT PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX	
DRAWING TITLE	SHEET #
COVER SHEET	C-1
DEPOSITION PLAN	C-2
UTIL PLAN	C-3
LANDSCAPING PLAN	C-4
LIGHTING PLAN	C-5

ADDITIONAL SHEETS	
DRAWING TITLE	SHEET #
ALTA TOPOGRAPHIC SURVEY	TOPT

**STONEFIELD**  
engineering & design

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Princeton, NJ • Rutherford, NJ • New York, NY

**22420 FARMINGTON ROAD**  
SITE IMPROVEMENT PLANS

**PROPOSED RESTAURANT**  
WITH DRIVE-THRU

PROJECT NO. 23-27-352-007  
2240 FARMINGTON ROAD  
CITY OF FARMINGTON  
OAKLAND COUNTY, MICHIGAN 48326

NOT APPROVED FOR CONSTRUCTION

ISSUE	DATE	BY	DESCRIPTION
1	10/23/21	ASH/PSM	FOR CLIENT REVIEW

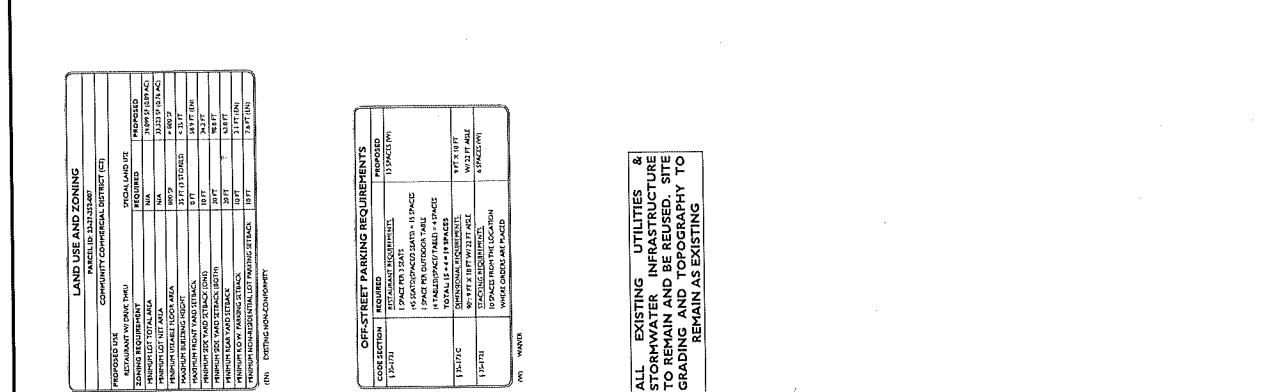
COVER SHEET  
DRAWING: **C-1**



**NOT APPROVED FOR CONSTRUCTION**

**GENERAL NOTES**

1. THE CONTRACTOR SHALL VERIFY AND MAINTAIN THE EXISTING UTILITIES AND RECORD THE LOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FARMINGTON AND THE STATE OF MICHIGAN. THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES AND SHALL BE RESPONSIBLE FOR REPAIRING ANY UTILITIES DAMAGED DURING CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AT ALL TIMES.
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**LAND USE AND ZONING**  
 PARCEL ID: 231237500  
 COMMUNITY DEVELOPMENT DISTRICT (CD):

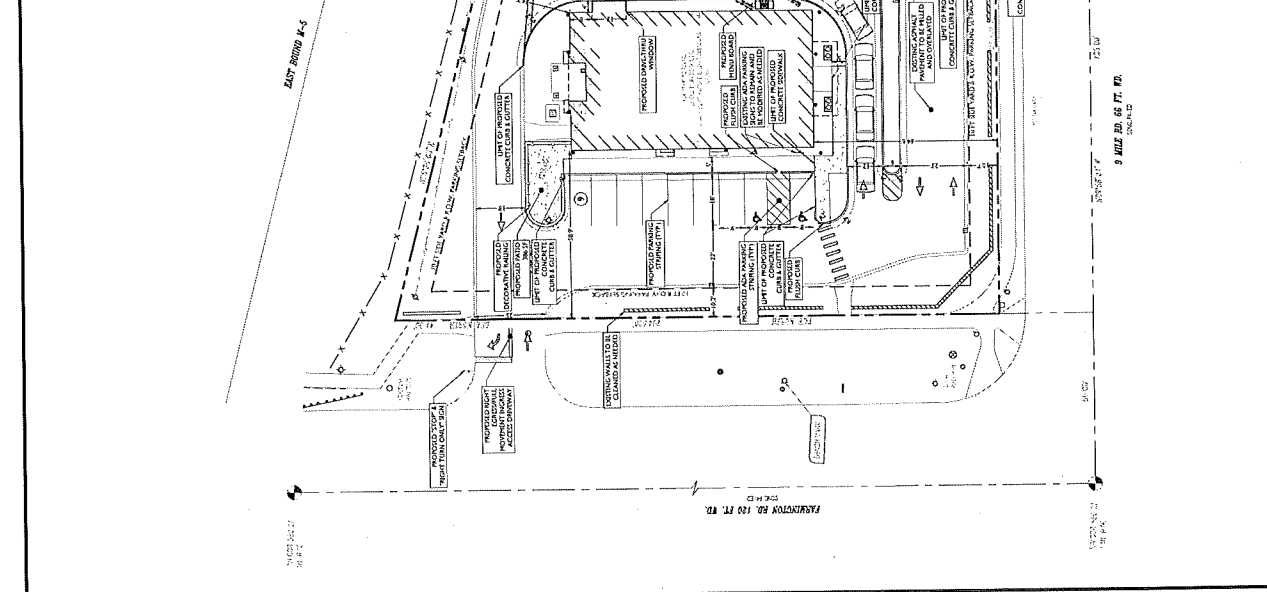
PROPOSED USE	SPECIAL LAND USE
RESTAURANT WITH DRIVE THRU	RESERVED
ZONING REQUIREMENT	2000 (S) 2000 (S)
MINIMUM LOT AREA	10,000 SQ FT
MINIMUM LOT WIDTH	40 FT
MINIMUM LOT DEPTH	100 FT
MINIMUM FRONT YARD SETBACK	25 FT
MINIMUM SIDE YARD SETBACK	5 FT
MINIMUM REAR YARD SETBACK	5 FT
MINIMUM FRONT PORCH DEPTH	5 FT
MINIMUM SIDE PORCH DEPTH	5 FT
MINIMUM REAR PORCH DEPTH	5 FT
MINIMUM FRONT SETBACK	25 FT
MINIMUM SIDE SETBACK	5 FT
MINIMUM REAR SETBACK	5 FT
MINIMUM FRONT SETBACK	25 FT
MINIMUM SIDE SETBACK	5 FT
MINIMUM REAR SETBACK	5 FT
MINIMUM FRONT SETBACK	25 FT
MINIMUM SIDE SETBACK	5 FT
MINIMUM REAR SETBACK	5 FT

(R) EXISTING NONCONFORMING

**OFF-STREET PARKING REQUIREMENTS**

CODE SECTION	REQUIRED	PROPOSED
131.111	1 SPACE PER 200 SQ FT	10 SPACES
131.112	1 SPACE PER 200 SQ FT	10 SPACES
131.113	1 SPACE PER 200 SQ FT	10 SPACES
131.114	1 SPACE PER 200 SQ FT	10 SPACES
131.115	1 SPACE PER 200 SQ FT	10 SPACES
131.116	1 SPACE PER 200 SQ FT	10 SPACES
131.117	1 SPACE PER 200 SQ FT	10 SPACES
131.118	1 SPACE PER 200 SQ FT	10 SPACES
131.119	1 SPACE PER 200 SQ FT	10 SPACES
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131.124	1 SPACE PER 200 SQ FT	10 SPACES
131.125	1 SPACE PER 200 SQ FT	10 SPACES
131.126	1 SPACE PER 200 SQ FT	10 SPACES
131.127	1 SPACE PER 200 SQ FT	10 SPACES
131.128	1 SPACE PER 200 SQ FT	10 SPACES
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131.142	1 SPACE PER 200 SQ FT	10 SPACES
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131.144	1 SPACE PER 200 SQ FT	10 SPACES
131.145	1 SPACE PER 200 SQ FT	10 SPACES
131.146	1 SPACE PER 200 SQ FT	10 SPACES
131.147	1 SPACE PER 200 SQ FT	10 SPACES
131.148	1 SPACE PER 200 SQ FT	10 SPACES
131.149	1 SPACE PER 200 SQ FT	10 SPACES
131.150	1 SPACE PER 200 SQ FT	10 SPACES

**ALL EXISTING UTILITIES & STORMWATER INFRASTRUCTURE TO REMAIN AND BE REUSED. SITE TO GRADING AND TOPOGRAPHY TO REMAIN AS EXISTING.**





ISSUE	DATE	BY	DESCRIPTION
1	11/19/2011	AHS/PM	FOR CURRENT REVIEW

NOT APPROVED FOR CONSTRUCTION

**STONEFIELD**  
 engineering & design  
 607 Shady Side Blvd, Dayton, OH 45426  
 Phone 248.247.1115  
 www.stonfield.com  
 Princeton, NJ - Tampa, FL - Boston, MA  
 Denver, CO - Philadelphia, PA - New York, NY

**22420 FARMINGTON ROAD**  
**PROPOSED RESTAURANT**  
**WITH DRIVE-THRU**  
 SITE IMPROVEMENT PLANS

PARCEL ID: 22420-001  
 22420 FARMINGTON ROAD  
 OAKLAND COUNTY, MICHIGAN 48835

**STONEFIELD**  
 engineering & design  
 TITLE: 1"=20' PROJECT NO. 083018  
 LANDSCAPING PLAN  
 DRAWING: C-4

**PLANT SCHEDULE**

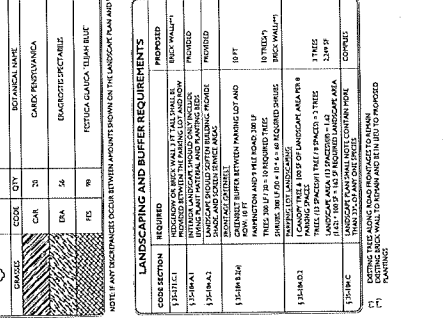
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	PLACING
	ACE	2	ACER RUBRUM	RED MAPLE	2 1/2" x 7' GAL	505	AS SHOWN
	BDP	1	BETULA PENDULA	BIRCH	1 1/2" x 7' GAL	505	AS SHOWN
	HPD	9	HYDRANGEA HYDRANGEA	DOGWOOD	3/4" x 3"	505	AS SHOWN
	ICD	21	IRIS GAMBIA	COMPACT IRIS	1 1/2" x 3"	505	AS SHOWN
	IPU	15	IRIS PURPUREA	COMPACT IRIS	1 1/2" x 3"	505	AS SHOWN
	OPN	15	OPUNTIA ENGELMANNI	CACTUS	4" x 4"	505	AS SHOWN
	PAR	21	PARROTULIA PARROTULIA	PARROTULIA	1 GAL	505	AS SHOWN
	EDM	24	ERIGONUM SPECIOSUM	ERIGONUM	1 GAL	505	AS SHOWN
	REB	90	REUTHERIA GALEA	REUTHERIA	1 GAL	505	AS SHOWN

**LANDSCAPING AND BUFFER REQUIREMENTS**

CODE SECTION	REQUIRED	PROPOSED
1-15-101	RECEIVING DRIVE	RECEIVING DRIVE
1-15-102	RECEIVING DRIVE	RECEIVING DRIVE
1-15-103	RECEIVING DRIVE	RECEIVING DRIVE
1-15-104	RECEIVING DRIVE	RECEIVING DRIVE
1-15-105	RECEIVING DRIVE	RECEIVING DRIVE
1-15-106	RECEIVING DRIVE	RECEIVING DRIVE
1-15-107	RECEIVING DRIVE	RECEIVING DRIVE
1-15-108	RECEIVING DRIVE	RECEIVING DRIVE
1-15-109	RECEIVING DRIVE	RECEIVING DRIVE
1-15-110	RECEIVING DRIVE	RECEIVING DRIVE
1-15-111	RECEIVING DRIVE	RECEIVING DRIVE
1-15-112	RECEIVING DRIVE	RECEIVING DRIVE
1-15-113	RECEIVING DRIVE	RECEIVING DRIVE
1-15-114	RECEIVING DRIVE	RECEIVING DRIVE
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1-15-121	RECEIVING DRIVE	RECEIVING DRIVE
1-15-122	RECEIVING DRIVE	RECEIVING DRIVE
1-15-123	RECEIVING DRIVE	RECEIVING DRIVE
1-15-124	RECEIVING DRIVE	RECEIVING DRIVE
1-15-125	RECEIVING DRIVE	RECEIVING DRIVE
1-15-126	RECEIVING DRIVE	RECEIVING DRIVE
1-15-127	RECEIVING DRIVE	RECEIVING DRIVE
1-15-128	RECEIVING DRIVE	RECEIVING DRIVE
1-15-129	RECEIVING DRIVE	RECEIVING DRIVE
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**LANDSCAPING NOTES**

1. LANDSCAPING SHALL BE INSTALLED WITHIN THE SPECIFIED TIME FRAME AND SHALL BE SUBJECT TO THE APPROVAL OF THE LOCAL HEALTH DEPARTMENT.
2. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING LAWN AREAS AND SHALL REPAIR ANY DAMAGE TO EXISTING LAWN AREAS WITH A PERMANENT TURF PATCH.
3. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITY LINES AND SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES WITH A PERMANENT PATCH.
4. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRIVEWAYS AND SHALL REPAIR ANY DAMAGE TO EXISTING DRIVEWAYS WITH A PERMANENT PATCH.
5. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING SIDEWALKS AND SHALL REPAIR ANY DAMAGE TO EXISTING SIDEWALKS WITH A PERMANENT PATCH.
6. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING CURBS AND SHALL REPAIR ANY DAMAGE TO EXISTING CURBS WITH A PERMANENT PATCH.
7. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING FENCES AND SHALL REPAIR ANY DAMAGE TO EXISTING FENCES WITH A PERMANENT PATCH.
8. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING LIGHT FIXTURES AND SHALL REPAIR ANY DAMAGE TO EXISTING LIGHT FIXTURES WITH A PERMANENT PATCH.
9. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING SIGNAGE AND SHALL REPAIR ANY DAMAGE TO EXISTING SIGNAGE WITH A PERMANENT PATCH.
10. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING LANDSCAPING AND SHALL REPAIR ANY DAMAGE TO EXISTING LANDSCAPING WITH A PERMANENT PATCH.



**811**  
 Know what's below  
 Call before you dig.

SCALE: 1"=20'  
 PROJECT NO. 083018  
 LANDSCAPING PLAN  
 DRAWING: C-4

PARCEL ID: 22420-001  
 22420 FARMINGTON ROAD  
 OAKLAND COUNTY, MICHIGAN 48835

**STONEFIELD**  
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 607 Shady Side Blvd, Dayton, OH 45426  
 Phone 248.247.1115  
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**22420 FARMINGTON ROAD**  
**PROPOSED RESTAURANT**  
**WITH DRIVE-THRU**  
 SITE IMPROVEMENT PLANS

PARCEL ID: 22420-001  
 22420 FARMINGTON ROAD  
 OAKLAND COUNTY, MICHIGAN 48835

**STONEFIELD**  
 engineering & design  
 TITLE: 1"=20' PROJECT NO. 083018  
 LANDSCAPING PLAN  
 DRAWING: C-4

SCALE: 1"=20'  
 PROJECT NO. 083018  
 LANDSCAPING PLAN  
 DRAWING: C-4

PARCEL ID: 22420-001  
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ISSUE	DATE	DESCRIPTION
1	11/23/21	FOR CLIENT REVIEW

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 engineering & design  
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**22420 FARMINGTON ROAD**  
**PROPOSED RESTAURANT**  
**WITH DRIVE-THRU**  
 SITE IMPROVEMENT PLANS  
 PARCEL ID: 21327-13-007  
 22420 FARMINGTON ROAD  
 OAKLAND COUNTY, MICHIGAN 48333

**STONEFIELD**  
 engineering & design

TITLE: LIGHTING PLAN  
 DRAWING: C-5

SCALE: 1" = 20'  
 PROJECT ID: 21327-13-007



**SYMBOL**  
 A (DC)

DESCRIPTION  
 PROPOSED LIGHTING FIXTURE (ROUNDING LIGHT)  
 PROPOSED LIGHTING FIXTURE (POST MOUNTED)  
 PROPOSED AREA LIGHT  
 PROPOSED BUILDING MOUNTED LIGHT

**PROPOSED LUMINAIRES SCHEDULE**

SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING
A	3	MAIDA MEDIUM SHIELDED AREA LIGHT - 7A PACKAGE DOUBLE END	
B	5	MAIDA MEDIUM SHIELDED AREA LIGHT - 7A PACKAGE	

**LIGHTING REQUIREMENTS**

CODE	SECTION	REQUIRED	PROPOSED
1	EXTERIOR LIGHTING (EQUIPMENT)	30 FC	30 FC
2	WORK AREA ILLUMINATION	30 FC	30 FC
3	DRIVE DRIVE ILLUMINATION AT PROPERTY	10 FC	10 FC
4	POST MOUNTED	30 FT	30 FT

**Micardo Medium - MRM Outdoor LED Area Light**

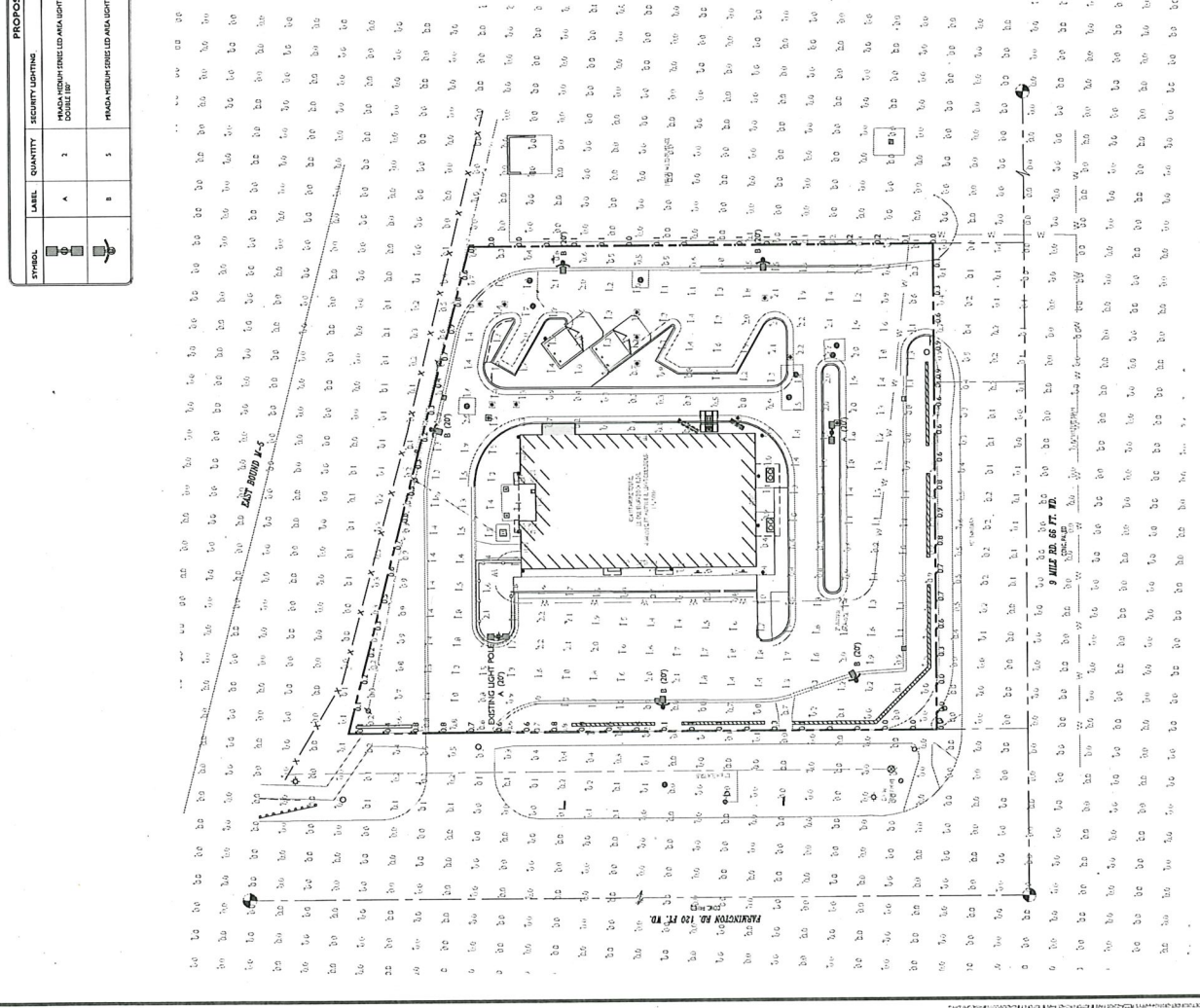
The Micardo series design makes it the most effective outdoor lighting solution for your project. With its compact design, it is easy to install and maintain. The Micardo series offers a wide range of options to meet your specific needs. The Micardo series is available in a variety of finishes and colors to match your building's exterior.

**Features & Specifications:**

- High performance LED chips (3000K and 5000K color temperatures per ANSI) - 3000K (2700K-3000K) and 5000K (4000K-5000K)
- High performance LED chips (3000K and 5000K color temperatures per ANSI) - 3000K (2700K-3000K) and 5000K (4000K-5000K)
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- High performance LED chips (3000K and 5000K color temperatures per ANSI) - 3000K (2700K-3000K) and 5000K (4000K-5000K)

**GENERAL LIGHTING NOTES:**

- THE LIGHTING PLAN IS BASED ON THE ASSUMPTIONS LISTED BELOW. ANY CHANGES TO THESE ASSUMPTIONS WILL BE THE RESPONSIBILITY OF THE CLIENT.
- THE LIGHTING PLAN IS BASED ON THE ASSUMPTIONS LISTED BELOW. ANY CHANGES TO THESE ASSUMPTIONS WILL BE THE RESPONSIBILITY OF THE CLIENT.
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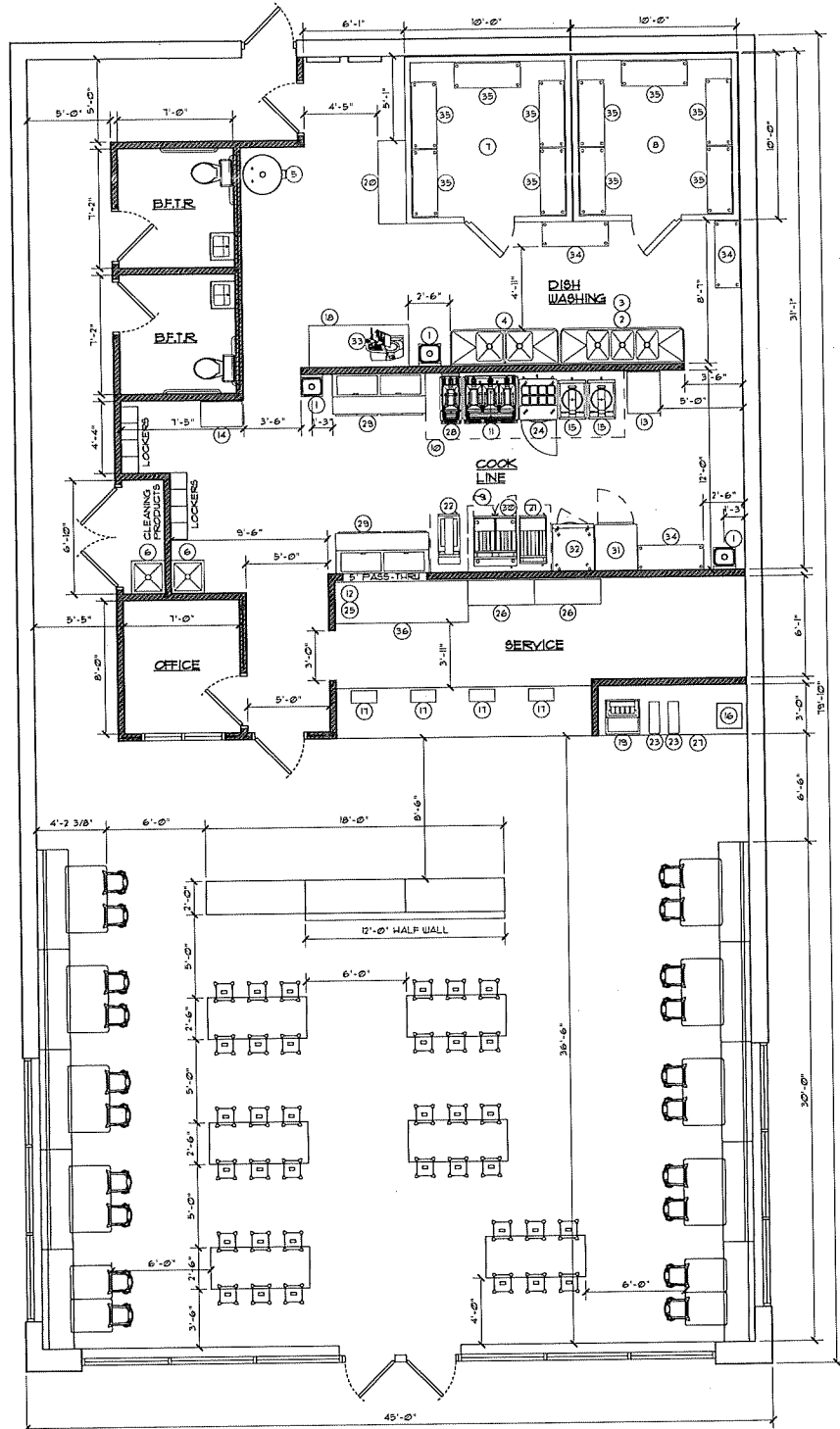




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NO.	QTY.	DESCRIPTION
1	3	S.S. HAND SINK
2	1	9" S.S. 3 COMPARTMENT SINK
3	1	GREASE RECEPACLE
4	1	79" S.S. 2 COMPARTMENT SINK
5	1	WATER HEATER
6	2	WOP SINK
7	1	10'-0"X10'-0" WALK IN COOLER
8	1	10'-0"X10'-0" WALK IN FREEZER
9	1	4'X5' HOOD
10	1	4'X12' HOOD
11	11	41" CLAM SHELL
12	1	PICK UP AND GO
13	1	30"X24" S.S. TABLE
14	1	FOUNTAIN BGL IN BOX
15	2	20" BROADCASTERS
16	1	TRASH CAN
17	4	P.O.S.
18	1	30"X72" MAPLE TABLE
19	2	24" SODA WITH ICE MACHINE
20	1	20"X60" STORAGE RACK
21	1	20" 75# FRYER
22	1	DUMP STATION
23	2	COFFEE
24	1	27.5' REFRIGERATED WORK TABLE
25	1	DRIVER STATION
26	2	18"X48" HEAT RACK
27	1	30"X168" TRLA. C
28	1	18" CLAM SHELL
29	2	67" REF. PREP TABLE
30	1	31" FILTER FRYER
31	1	30" WINSTON WARMER
32	1	30" 13 DOOR FREEZER
33	1	SLICER
34	3	18"X48" METRO RACK
35	9	18"X48" METRO RACK V/ EPDXY FINISH
36	1	30"X96" S.S. EXPD TABLE

NOTE: CONTRACTORS TO REVIEW EQUIPMENT LIST BY OWNER TO ENSURE PLANS ARE ACCURATE AND MEET ALL REQUIREMENTS WITH MECHANICAL, PLUMBING AND ELECTRICAL



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option 6

<b>Farmington Planning Commission Staff Report</b>	<b>Planning Commission</b> <b>Date:</b> February 14, 2021	<b>Reference Number</b> <b>5</b>
<b>Submitted by:</b> Kevin Christiansen, Economic and Community Development Director		
<b>Description</b> Determination of Similar Use – Proposed DashMart, 22054 Farmington Road		
<p><b><u>Background</u></b></p> <p>This item is 2<sup>nd</sup> review and consideration of a proposed DashMart business/use intended to be located at 22054 Farmington Road in the Farmington Crossroads Shopping Center. As proposed, this business/use is currently not permitted in the zoning district and location in which it is proposed. As such, the applicant/petitioner is requesting a Determination of Similar Use by the Planning Commission in accordance with Section 35-30 of the City of Farmington Zoning Ordinance (see attached). The subject property is zoned C-2, Community Commercial. The existing shopping center commercial unit proposed to be used by DashMart is currently occupied by Brixmor Properties, property manager of Farmington Crossroads, for their offices. At the 12/13/21 Planning Commission meeting, the Commission tabled this item for future consideration (see attached copy of minutes). A proposed floor plan layout for the interior of the unit has been submitted for DashMart. No exterior building modifications or site improvements are proposed.</p> <p>The applicant has submitted a Site Plan Application and support materials (including a new executive summary/presentation) for the proposed DashMart business/use. They will be at the January 14, 2022 meeting to again review the proposed DashMart business/use with the Commission.</p> <p>Attachments</p>		

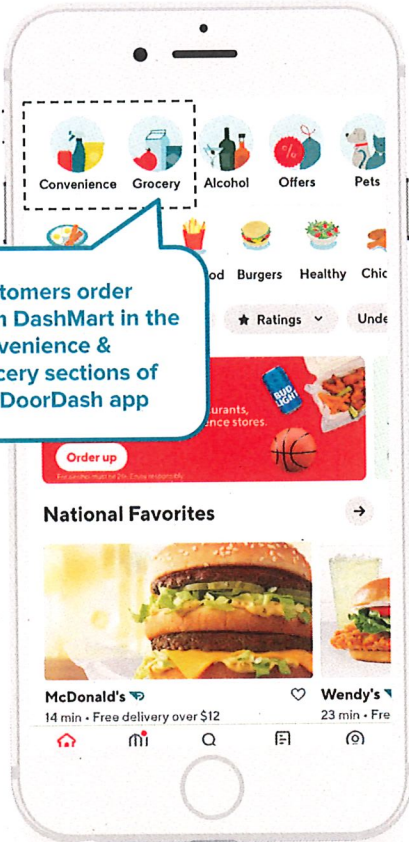
## DASHMART EXECUTIVE SUMMARY

DashMart is a rapidly growing business line of DoorDash, Inc. (NYSE: DASH). DashMart is launching grocery & convenience micro retail centers across the country that stock and deliver everyday essential items ranging from ice cream, candy, and frozen foods to personal care, household items, and cleaning supplies as well as an unparalleled assortment of restaurant products from local merchants.

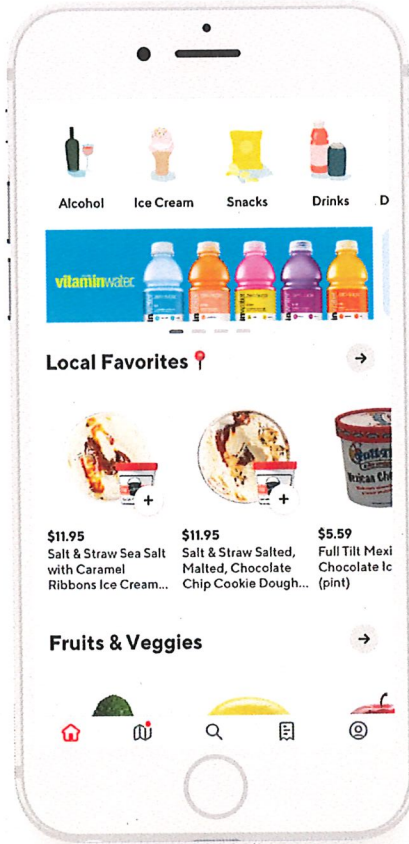
Customers can order snacks and essential household items 24/7 through [DashMart](#) on the DoorDash app – each order is sent to the store where associates pick then pack the order for Dashers to deliver to the customer or for customers to pick up their orders themselves.



## HOW DOES DASHMART WORK?



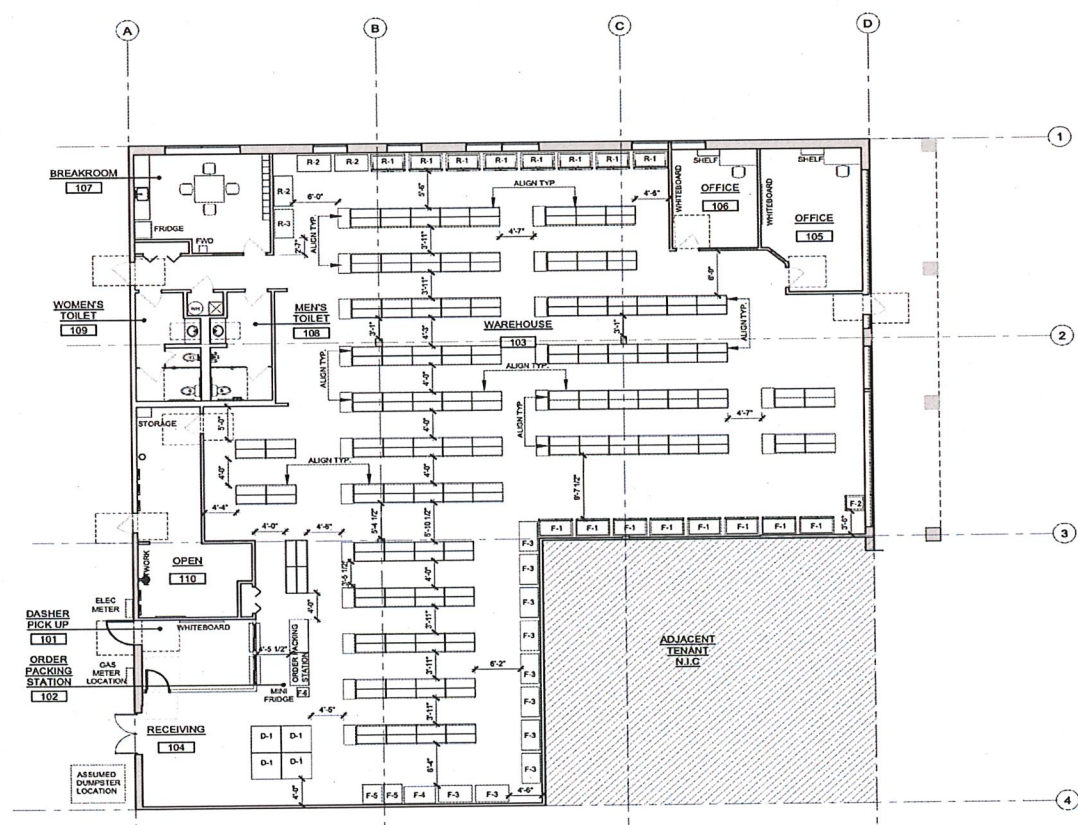
Customers order from DashMart in the convenience & grocery sections of the DoorDash app



At each DashMart location, we store inventory from our vendor partners

## THE DASHMART MODEL

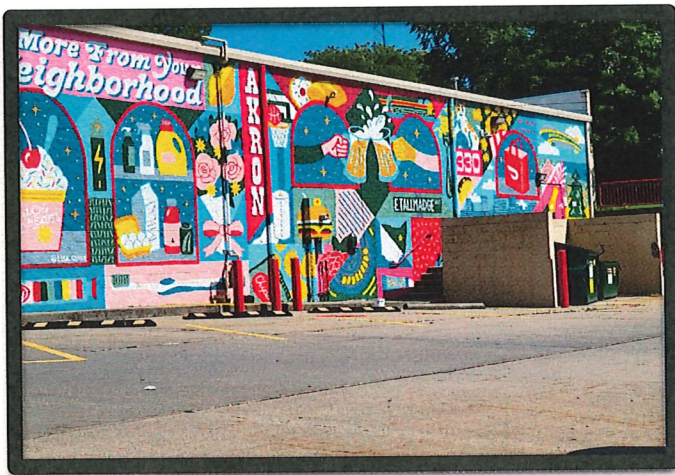
- DashMart purchases wholesale items from distributors that include typical groceries and household essentials commonly found in grocery and convenience stores (e.g., ice cream, dairy products, fruits & vegetables, soda, paper products, over the counter medicine, etc.) We sell these items via the business's online website and app.
- The inventory will occupy the primary space and there will be ancillary functions including office space used for computer work and a break room for onsite employees to utilize.
- Customer orders are delivered by Dashers who arrive at the retail center via bike, scooter or car to pick up the completed orders and deliver to customers.
- DashMart's highly efficient logistics network aims to have a Dasher at a center for no more than 3 minutes and there are rarely more than 1-2 Dashers at a DashMart at one time.
- DashMart will employ 15-20 local employees per store, not including Dashers, and we expect to have 6-7 employees on site per shift.





## DASHMART OPERATING HOURS

- We prefer to always operate 24/7 for many reasons
- Data across of all our locations shows that a smaller percentage of our orders happen between midnight and 6am
  - At 300 orders a day, we would anticipate ~ 10 dashers picking up orders in this time frame
  - While order volume is low, on site staff takes care of cleaning, organizing and preparing for the next business day.
- Being 24/7 allows for more shifts and more local Job opportunities
- Since most retail operations are closed at these hours, customers that need essentials at odd hours can utilize our service to get those items that may otherwise be unavailable elsewhere until regular business hours



Mural at an Ohio location



Dasher and Customer pickup area example

## TAKE A LOOK

Currently there are more than 90 DashMarts throughout North America and we are continuing to expand rapidly.

DOWNTOWN SEATTLE, WASHINGTON



AKRON, OHIO



TORONTO, CANADA



LAS VEGAS, NEVADA



### What DashMart Is:

- A virtual store, operated on the DoorDash platform, selling only **pre-packaged goods**
- Available for delivery and limited pick-up, as customers do not shop the shelves
- Requiring each order to be placed on the DoorDash platform

### What DashMart Is Not:

- A restaurant – no food preparation or production
- A “ghost” kitchen; only pre-packaged goods are sold
- A store where customers walk and shop the shelves – the model is similar to the catalog merchants back in the day; customers have the ability to pick-up orders or have them delivered

# DashMart

by



**DOORDASH**

City of Farmington Planning Commission

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Bacall stated like Mike said, this is just a conceptual plan to give you an idea of what to expect and Gold stated it doesn't have a drive-thru either on the plans.

Christiansen put up the most current and accurate plans on the screen and stated these are supplemental.

Majoros said I do have a couple questions and one is I don't know Savvy Sliders as a business so is this the first, is it the tenth of ten, or is there 100 of them? And the second thing is when we consider a lot of drive-thrus we often go through, I remember doing this for Panera, how much business is going to be drive-thru? I mean obviously that's going to be one of the biggest items here, I mean the rest of it looks relatively good, of course the engineering drawings, etc., will go through their site plan approval. But when we do that will probably an area that will be addressed in January, is this 50% drive-thru, is it 10%? I know it's hard to predict but if there is any metrics or data from other establishments.

Crutcher asked for clarification, is this a carry-out that you can sit down at or a sit down that you can carry out?

Bacall replied it's going to be more of a sit down with carry-out, family style sit down dining with carry out.

Chairperson Majoros opened the floor for a motion from the Commissioners.

MOTION by Crutcher, supported by Perrot, to approve the request to schedule a public hearing for Special Land Use for proposed Savvy Sliders, 22420 Farmington Road, for the January 10, 2022 Planning Commission meeting.

Motion carried, all ayes.

**DETERMINATION OF SIMILAR USE – PROPOSED DASHMART, 22054 FARMINGTON ROAD**

Chairperson Majoros introduced this item and turned it over to staff.

Director Christiansen stated this item is a review and consideration of a proposed DashMart business intended to be located at 22054 Farmington Road in the Farmington Crossroads Shopping Center as proposed. The business is currently not permitted in the Zoning District and location which is proposed. As such, the Applicant is requesting a determination of similar use by the Planning Commission in accordance with Zoning Ordinance Section 35-30, a copy of which is attached with your staff packet. The subject property is zoned C-2, Community Commercial. The existing shopping center commercial unit at the shopping center proposed to be used by DashMart is currently occupied by

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Brixmore Properties, property manager of the Farmington Crossroads Shopping Center for their offices. A proposed floor plan, a layout for the interior of the unit has been submitted for DashMart. No exterior building modifications or site improvements are proposed. The Applicant has submitted the site plan application for this item and support material for the proposed DashMart business. Mr. Jason Nesler, representing Brixmore Properties on behalf of DashMart, is here in attendance this evening to review the proposed DashMart business with the Commission. This is somewhat of a unique situation, Mr. Chairman, this is not something typically that is engaged with respect to uses that don't fit specifically within a particular zoning district for various reasons. As such, this section of the Zoning Ordinance allows for Applicants to petition the Planning Commission for the Commission's determination, in this case as to whether the use being proposed is a use similar to ours and can enjoy the same sort of opportunities in that Zoning District. I will tell you and in attendance this evening as well, is Mr. Jeff Bowdell, the City Building Official Code Enforcement Officer. Mr. Bowdell and myself and the Economic and Community Development Department were engaged by Mr. Nesler and the interest to locate this use a while back. We've had several engagements, meetings, discussions, the interesting thing about the use as proposed and there's a lot of detail in the materials here that didn't fit within the C-2 District based upon how the use functions and operates. And it also, though, didn't fit within another Zoning District, the Industrial Zoning District, where initially it was really most appropriate to be situated but because it had some commercial elements to it, it doesn't fit within that Zoning District as well. What I will tell you and Mr. Bowdell can certainly make some comments, too, from his perspective and in his capacity as Building Official, that what's being proposed is to establish a DashMart operation at Farmington Crossroads in an existing commercial unit where the unit will be used as it would be a grocery store; however, it's not customer based, parking in the parking lot, coming in the front door, and shopping for your groceries. It is more akin to a warehouse type operation where the grocery store provides opportunity for items to be packaged together via online ordering and then instead of an individual consumer yourself, myself, coming into the front door, those items are delivered to those purchasers, those customers. So, it was more akin to a warehouse with a distribution and in so it did not fit within the context of the definition of commercial retail within the C-2 and so it most appropriately after review looked to fit within an Industrial designation, however, there is a commercial customer element to this. So, I'll let Mr. Nesler expound upon that, that's really the overview I'm giving to you. After all of this, Mr. Bowdell and I had a meeting with Mr. Nesler and having dialogue back and forth it was decided that this was the course of action to be taken in accordance with this section of the Zoning Ordinance. The City Attorney then has been engaged and provided you with an overview of the circumstances here that we did send to you in a separate correspondence for this evening so that's something to consider as well and the City Attorney is here to help guide us through this as well and help answer any questions. so, with that, Mr. Chair, I'll turn this back over to you. One thing I will ask is that Mr. Nesler,

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again here with Mr. Brixmor, who just had hip surgery and we're glad to see him here this evening and if it's okay, Mr. Chair, to allow him to speak from his chair.

Majoros thanked Christiansen for the overview and welcomed Mr. Nesler.

Jason Nesler, Brix more Properties, addressed the Commission. He stated basically at this point Door Dash provides a service of delivering foods from restaurants or from groceries, they'll basically pick up almost anything and take it to a place when it's ordered online. They came across a problem, they weren't always able to get the items from the stores or from the restaurants that they wanted when orders came in. They would get to a drugstore and there wouldn't be anything and then that would cause a problem because you've got somebody who is spending a lot of money for it. so, somebody in the company came up with a plan to create DashMart, this is basically set up like the back stock room of a grocer, everything is up on shelves, everything is ready to go. You come in and you say I want some Hostess Cupcakes and a jug of this milk, the order comes in to DashMart, somebody in the front goes and picks a couple things off the shelves, brings them to the front. Door Dash would then come in, grabs it, and is on their way. It's a pretty simple operation but I think somethings that's really going to be seen a lot in the future. We actually put one into our shopping center in Ypsilanti and it's been up and running now for about four months and is doing very well, hasn't caused us any problems, it gets a lot of use, DashMart has been very happy with it.

Majoros asked Christiansen if it would be proper to get a perspective from City legal or ask questions of the Petitioner first and Christiansen replied I think I would ask through the Chair to the City Attorney what she things the appropriate next steps are here in light of those items.

Majoros stated there will probably be a lot of dialogue and discussion, I would probably recommend we get the City Attorney's perspective now and we can hear that and direct questions accordingly.

City Attorney Saarela stated due to the fact that we don't have any particular use for this in our Zoning District, we have to try and figure out what Zoning District it fits into. What you're really doing is you're looking for a Zoning District that supports similar types of uses of the Zone and comparing the characteristics of the type of use with the types of uses in the District. So, in this case, there's two possible districts it may fit into, the C-2 and the Industrial Districts. So, what you're going to be looking at is it more like a C-2 retail drug store commercial type use or is it more like an industrial warehousing type use. and the types of things you're going to be looking at is visual similarity, does it look like a warehouse, does it look like a retail store; you're looking at traffic, does it have the type of traffic you're going to see with a retail store or is this the type of truck traffic or in and out traffic in a warehouse. Again, you can look at things like type of product that they're

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going to have on site, is it more of a retail product or is this something you will see in a more industrial warehouse setting. Is there outside storage, what is the visual impact of how they're keeping the products on site. You can look at the noise that can be generated and compare it to noise generated similar to a retail store use or similar to a warehouse type use, hours of operation, lighting, size and use, these are the types of factors you're going to want to look at, maybe ask questions about it or ask the Applicant for more detail so they can plan. And once you pick a district for this type of use, all future applications for this type of use in the future will go in there.

Majoros thanked Saarela for the information and he then opened the floor up to questions and comments from the Commissioners.

Commissioner Westendorf asked just to clarify, is the general public a shopper, if you will, and be able to access this store or is the building really just for employees and dashers.

Nesler replied they actually have a model set up that people can walk into the front area which is a little vestibule reception area, order on an I-pad, pick-up at that time, but the largest percentage is definitely for Door Dashers.

Westendorf stated so there's no register, check-out area, if someone wanted to come and shop like at a regular grocery store and Nesler replied no, it's not like a regular cash register line-up like that, it will be like an I-pad, a tablet, credit card only. Westendorf said so no long lines and by far the bulk of the people here are going to be the employees and Nesler replied the Door Dashers, yes. Westendorf asked roughly how many employees are we talking about and how many Dashers, how big of an operation is this?

Nesler replied right now we're seeing about four or five employees at any given time at the current DashMart, and I really don't have any numbers on the number of cars that it would produce. The one thing that is good to note about that, though, because that area they're going to be taking over is my office right now and we have great access on the back side with parking stalls and everything, so we wouldn't be tying up traffic in the front. You know certainly people would be able to come to the front if they needed to, but the back will be the main access, the doors, Door Dash would be able to park back there.

Westendorf stated so the Dashers would line up on the back and the front of the building would really be the occasional walk-in and Nesler replied correct.

Director Christiansen stated to help Commissioner Westendorf, there is an overview that is in your staff packet dated November 18<sup>th</sup>, 2021, submitted by Door Dash as part of this application and it does indicate a little about Door Dash. they do talk about that Dashers are independent contractors and utilize personal vehicles to complete the deliveries from the facility on average. they expect to see between 75 and 150 independent contractor

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delivery drivers arriving throughout the day with order volumes spread across all their operating hours. and then they indicate here that a typical DashMart facility employs between 15 and 20 employees, with four to six employees on site simultaneously. Now, this is a very general summary so there are probably some variations depending upon this particular location or level of operation, but just an FYI to maybe help answer your question.

Majoros asked can an individual consumer come in as if they were going to any other of the facilities in your property or anywhere else and walk around the facility and choose individual items and the answer to that question is no and Nesler replied that's correct.

Majoros stated I think that's a pretty critical distinction.

Commissioner Crutcher stated that's not unusual in grocery stores in some places, you walk in and you can't walk and pick up stuff off the shelf, you have to go to a counter and ask someone to give it to you, that's not unusual for that to happen in a store.

Majoros stated but I would say I can walk into about 98.9% of Farmington businesses and if it's an individual retail establishment, granted pharmacy, understood, right, special use case, but in most instances, I can walk into a retail establishment in Farmington and pick the items I'm going to be choosing and pay for them.

Commissioner Mantey stated what stood out to me when I read the letter that was provided is that the main access would be in the rear and Nesler replied correct. Mantey went on to say I also noticed that it had peak hours for the traffic they would expect would be from 7:30 to 11:00, later at night, which I know would overlap with the time of the close of the restaurants at the center and would be taking trash out to the one dumpster, so I was a little worried about Dashers who are in a rush at peak time, that being a little bit dangerous for them to use those back drives while people are trying to take trash out at the restaurants. so, I was curious, I did look at DashMart and I notice there's one in Ferndale but the other operations in that shopping center were closed before those peak hours. So, I'm curious at the Ypsilanti location are there any restaurants or anything open late or does it kind of shut down and then it kind of builds up with the Dash runners.

Nesler replied in Ypsilanti they have a restaurant next door to them, I believe they close at 9:00, there's a Planet Fitness, Dollar Tree, Big Lots, all close at 9:00, too.

Mantey asked is it a similar layout with kind of traffic flow in the back and Nesler replied it's very similar.

Crutcher asked if the Door Dash people have to get out of their vehicle or is it sent to their car window and Nesler replied no, they get out of their vehicle and walk in, and they let



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the person at the desk know that they're there and then they get their order. Crutcher asked why don't they enter through the parking lot instead of the alley and Nesler replied because if we put them in the back, there wouldn't be any traffic congestion. This particular space is in the elbow of the center and it's just high traffic anyway, so this will push them to the back out of everybody's way.

Director Christiansen stated Mr. Chairman, if I might be able to provide you with some information, up on screen right now, this is the aerial view of the Farmington Crossroads Shopping Center and as Mr. Nesler is indicating, the unit proposed to be occupied by DashMart is 22054, which is right at the elbow, and what is unique about this center in its construction and configuration you'll see that pretty substantial parking area that's in that southeast corner that's directly behind this unit and so there's access to the rear of the unit, there's significant parking, there's circulation, there's means of ingress and egress that then is pretty much restricted from Farmington Road and back out to Nine Mile Road, a little bit of constriction as you get past the larger buildings on the north end of the center. but this is just the conditions for your information which has also been part of our discussion between Mr. Bowdell, Mr. Nesler and myself, they were certainly very much concerned about the impact on the existing tenant while trying to blend in together. and to answer Mr. Crutcher's question, they did present then this as their desired needs facilitating their drivers choosing not to use the front parking lot because it does get very heavily used, this is informational for you.

Crutcher then said other than the fact that they're Door Dash going into this building, it doesn't look any different than a shopper going to pick something up from the store and Nesler replied right. Crutcher then stated you said someone could using an online app, go in, order something, and pick it up and Nesler replied if the item is available, yes. Crutcher then asked if they paid at the door or on the app and Nesler replied they can pay with a credit card on the app.

Majoros stated it's a pick and pack operation. A consumer is not going to be walking the aisle, picking up purchases. other companies can do it, right, but your cost structure would go through the roof.

Commissioner Perrot asked if Door Dash's corporate give any kind of guidance as to what is preferred, a stand-alone versus a strip mall, you talk about the Ypsi location being in a strip mall, do they give any kind of governance or advisement of what they prefer to see?

Nesler replied not that I've seen so far, this being the second store that we're looking at with them, I haven't seen a preference anywhere, I think they're just tightening the demographics, this is where we want to be and they want to be here in Farmington.

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Perrot stated the glaring concern for me is, and shame on me for not driving through here, but are these alleys, do they have dedicated traffic flows, are they one way in? Christiansen replied they're two-way and in my earlier comment I made there is a little constriction between the wells that are adjacent to the rear of the bigger box on the north end. but most of it is two-way flow, it's not restricted egress and ingress so it's two-way ingress and egress and flows the whole south and then east side of the shopping center. Perrot said there's entrances to Farmington Road, there's entrances to Nine Mile, so if everybody decided to use the alleyway staying out of the traffic flow, sushi House is wildly popular, that parking field immediately right in front of there is always full. So, adding to that there are a lot of people that will sit and wait for people that are in the dollar store and the hardware store, so there's a lot of traffic that flows through this one corner of town but I'm just looking at the utilization of the alley and like I said having a dedicated traffic flow, Kevin said it's a two-way flow, so that can handle it in the back although it does look pretty cozy, that's the only concern I have with this. It's great there are dedicated entrance points to the two main roads, Farmington Road and Nine Mile, just it would be lovely if seeing this come to light being able to basically keep the business in the back versus out front.

Crutcher stated this looks like a grocery store other than you don't pick groceries yourself, you order stuff on line and have shoppers go in and get your stuff and walk out.

Majoros stated I have a couple questions. How do the Dasher delivery people know to go in the back, are there instructions to pick up in the back? Nesler replied there are pick-up instructions when they're headed to the facility. Majoros then said it's not like 25 new people a day, these are people's means of employment, they're going to figure out this is where I go. But do you know what percent of the business, of the volume, comes from walk-up consumer versus ordering online and Nesler replied the percentage of walk-in would be very low. Majoros then asked what the desired hours they're proposing are and Nesler replied they are looking for a 24-hour operation. Majoros then stated if you look at the one thing, 24-hour operation, traffic, etc., especially on the back side, alexander is what borders this. and if you look at this, at least on the parallel to Alexander and then Dollar Tree, you know there's no residential bordering that site there, I'm not sure what exactly is sharing the alley there and Christiansen replied it's industrial, a combination of use. there's no single family residential, there's a multiple family complex there, an apartment complex and then there is the office complex.

Majoros asked what would happen if they were not 24/7, if there were hours placed on it; would the company that is looking for this not want to do this, is 24/7 a mandatory? Nesler replied I can't say it would be breaking the deal but they push very hard to be able to do that.

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Crutcher asked if there were any 24-hour businesses in Farmington now and Christiansen replied I guess you know if you were to take a look at the retail or the commercial, typically not; however, you do have some operational type businesses, you may have some industrial that has some overnight work depending on which business it is and which location it is. It's not necessarily typical but it's not unprecedented for that. Crutcher then asked but no retail or commercial and Christiansen replied not typically. Crutcher then asked and no restaurant is 24 hours, or is Greene's? Christiansen replied sometimes, it just depends on the circumstances, time of year, the day of the week, whatever it might be. So, again, all that together. But it's not typical, but it's not unprecedented, it does happen.

Crutcher then said if anything, probably gas stations, and Christiansen replied that's true and gas stations have typically been 24/7, although that is changing, too. But what I can tell you is the City has a very strong Code of Ordinances and certainly an excellent Public Safety Department implementing those ordinances with respect to activity and to impact, delays, those kinds of things. And those businesses are very cognizant of their operation and mindful of that, Public Safety is pretty much on top of it. so, we have those rules and regulations in place, procedures, practices, if there's concern about that for those that do operate during the nighttime hours.

Perrot asked if the Petitioner had spoken to any of the surrounding businesses and Nesler replied I've had a couple of conversations with a couple of the tenants, nothing too deep. No one really had an opinion about it other than they want more people in the plaza so they want to make sure it stays occupied, you know, those people will go over and frequent the restaurant hopefully and everything, so there really hasn't been any questioning of what do you think about this.

Majoros asked if the type of inventory they carry is relatively fixed or is it based on availability or market conditions, is it basically dish soap, and as the Farmington demography dictates, they'll say hey, that's not moving, we're going to go to this, is it perishable, nonperishable, is it low cost items that are \$1.00, are there \$25.00; what is the composition of what they desire to be in the mix that's sold? Nesler replied from what I've seen in Ypsilanti, they come in with a set, okay, this is what they put in and as they go along just like any business that wants to grow, they're moving and changing their product, then they adjust as they go along, and they create probably within six months what's moving and what's not. Majoros asked if there is fresh fruit and vegetables and Nesler said yes, there are perishables, I've seen dairy and fruit in Ypsilanti. Majoros said so perishables, and household goods, and canned goods, and cleaning supplies and paper towel and all of that and Nesler replied correct.

Chairperson Majoros opened the floor for comments and/or questions from the Commission or staff. Hearing none, he stated what you had noted here is this could be a

pivotal moment here as we look at this determination of similar use, with to your point kind of a changing economic model for businesses, that what we do here today could kind of be a forward looking determination as subsequent businesses come in, and this may help set the precedent for whether this goes into C-2 or Industrial District and Attorney Saarela replied correct.

Crutcher stated I have a question related to that. As an example, what they're trying to do here now is to start a business, start a thing to do, a business like that, like the Dollar Tree down the street, could they do the same thing?

Saarela responded are you talking about opening a different location and Crutcher replied if Dollar Tree decided to do a similar thing, have Door Dash come and pick up stuff? Saarela stated I think they can do that right now; I don't think there's anything in the Zoning Ordinance prohibiting online orders, I think places that we have in town already under the current retail structure has Door Dash coming, delivering from there.

Crutcher then asked so a neighboring business could start doing a curbside business and Saarela replied a lot of them already do. Crutcher asked how does that change moving forward and Saarela replied if you have any use coming in or you frequent a restaurant or a clothing store, if you have something coming in with online ordering only, this is the type of Zoning District you're going to be looking to put it in, so I think what you're looking at is the type of items they're selling, too. If you have online orders for large landscape materials or something of course, you're looking at something different.

Majoros stated you're right, the reality today is any business that's not looking to conduct business online, a convenience for consumers, right, there's only three ways to go here. One way to go is consumers can order online, the existing business can pick and pack, you can pay, you can come in and say just like you go to Panera, there's my order, I can pay, walk in, grab it and I'm out, very similar model. I'm the end consumer, not the Door Dasher. Then there's I'm sure what's called a pick and pack operation where 95% is much more of a --- let's not call it a direct consumer engagement, but businesses today you can pick up and you can order online and you can come get it, you can do the same thing and that's why the Ubers and everybody else is saying look, we have to fill up capacity so when Uber rides are down, I'll go deliver groceries or what have you. So, it's changing for sure. I think the fundamental question for this one is it's pretty much exclusively that. Whereas everyone at Dollar Tree today if they don't do online ordering, they're 100% direct consumer. Now that business model may change but they will always have that offering. This one does not have that offering.

Crutcher stated my question is what if they decided to change their model, Dollar Tree says they're going to go totally online ordering and no customers in the store and only pick-up would that now fall under this and Majoros replied would they get booted out, I

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don't know what would happen in a situation where an individual business that exists starts reframing and reshaping their business model to a what I'll call ---

Saarela stated you can have the Dollar Tree all of a sudden wanting outdoor items, you have to look how it fits into the current Zoning District and what's permitted. But if they start doing something at some of these other businesses that is not currently permitted, Jeff would write them a ticket and they would have to come into compliance or get some kind of variance or a site plan, so that's how it would work if there's something that is outside of what's permitted.

Christiansen stated another approach that is probably worth our discussion and consideration in light of our efforts currently with respect to the Zoning audit, is when we get to the Commercial portion of the Zoning Ordinance, Commercial District, we may have some dialogue about the changing nature of uses and how they function and operate and it may be that you might consider amending the Ordinance to provide standards. Maybe it's a Special Land Use, then there has to be Special Land Use statements and have certain criteria that it has to comply with in order to operate. I'm just saying this now in our discussion quickly but I think those things are worth consideration if you have an interest in doing that and that's what we're finding, quite a bit of change, in how things are operating and being conducted. Whether it is commercial, food and beverage, whether it is residential and we're going to talk a little bit about that tonight, the nature of how our uses are functioning to change current need, current demand. So, that's just an alternative, an approach like that. But this is unique, it's something we don't right now have in place and this situation tonight is specific to this situation which is what's before you. And I know there's been quite a bit of again, engagement with the Applicant on behalf of staff and back and forth and with the City Attorney, and correspondence with the City Attorney, and other information provided. So it is specific to this circumstance, to this application, at least this evening's consideration before you, and this location. And so you as a Commission in this session and I would defer back to the City Attorney, maybe there's some clarification needed, or more direction, you have the ability to put into place any standards or any requirements that you would feel would be necessary if you were to explore something like this, whatever the findings that need to be made to do that and whatever those standards are to be. Or you know whatever you choose as a Commission, depending upon if you feel there is some similarity or not. But I know that the attorney has prepared information to both those instances for you.

Westendorf asked just to clarify we said that if we approve this, the determination of similar use, then it would kind of be always available in the C-2 in the future; would we have to say tonight that it would be a Special Land Use in a C-2, how do we lay out those requirements in there?

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Saarela replied well, I think if you're going to start going in that direction, I think for C-2, next month in our review of C-2, at that time seek to have some more considerations, it will take some time to consider what standards, what Special Land Use standards would be appropriate other than just trying to come up with those right now.

Westendorf asked if the Applicant would have to put their project on hold because we can't determine until we amend the Ordinance or we can do a determination of similar use for the time being and Saarela replied you could, then you can amend the Ordinance. If anywhere it would fall under their site plan review process, so you could slot them in there but you don't have Special Land Use standards now unless you want to try and determine all that right now. But they would still be subject to go through site plan review, I don't know where they would be in their process depending on how long it takes to go through that review, if you're going to decide to amend that section, the typical time it takes to amend the Zoning Ordinance is at least a few months depending on how it goes with the recommending body, Council.

Christiansen stated the circumstance that is before you this evening as proposed for this use, their interest is in occupying an existing unit in an existing shopping center, with no exterior modifications, with interior changes only necessary for their operations and using an existing outside parking area with no improvements because you know the condition it needs to be in to operate and utilizing the rear for the ingress and egress for service so they're not really changing anything but the use itself is something that the City has not experienced, hence it doesn't have an approach for it currently.

Crutcher stated the only difference between this and if it were a true warehousing type facility is the fact that it's passenger vehicles coming up there, not trucks, for the drop off.

Saarela replied and it's the type of product and the visual aspect of it. I think Kevin is talking about the fact that the whole set up.

Christiansen said the other element is that they have indicated there will be some level of potential customer traffic to come in and whatever the percentage is and so if you look at the ordinance regulations in the Industrial District for warehouses, there's no commercial operation provided for in that warehouse which is why it didn't fit within the Industrial District as currently defined and it doesn't fit in the Commercial District either.

Majoros stated you can say the same thing, industrial use is probably a limited number of employees or whatever, heavy truck delivery and not this constant turn.

Crutcher asked how this would be different from an Amazon center?

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Christiansen replied if we were to look at that specifically and we don't have all the details on that but just generally and Mr. Bowdell is here, too, we would look at that kind of use as a warehouse distribution operation and that fits within the Industrial. and it depends on products, too and Mr. Bowdell and I have had this conversation about what is being transferred from warehouse and what type of product and the service of those products are.

Crutcher stated the point that is setting the precedent here the online retail delivery type center for what Door Dash is selling, to pick up and take somewhere. that's kind of the same thing that Amazon does with its contractors, they're not Amazon employees, they're going to drive up in a vehicle and pick stuff up and take it somewhere. I think in the language we have, we probably would not want to have that kind of thing in this district.

Saarela replied they're limited by size of operation, too, so we're not talking about a huge Amazon facility.

Majoros said it's the notion that Amazon has massive distribution facilities but you never know, they may want to take over Cowley's and have a micro distribution center.

Crutcher said but to do this type of thing, we could wind up with multiple.

Majoros stated it's not overnight, it's give this to me in three hours.

Christiansen stated in what we do in our capacity here at the City and what we're charged with and responsible for is the economic and community development department as a staff and our review of all proposals that come before the community, this one didn't fit. and there are others and the nature of things are changing and evolving and we expect and anticipate more of this in some sense if and when so it's very likely we need to take a hard look at what you as a Commission may want to do to prepare, and others, too, because there are a couple other nuances that are coming up as well. I mentioned some of the use types earlier and also things like conversion of commercial space just to open box assemblage type uses or gathering uses, older facilities that were never structured or equipped for that but that's a different conversation and we'll get there. So, we may have to look at amending our ordinance to certainly address this situation and derivatives thereof or however that turns out to be.

Majoros stated I don't know which way this will go but let's say hypothetically this is denied and we clarify ordinance language, the Petitioner has the ability to come back at a subsequent time, is that a fair statement?

Christiansen replied if they had not been through a particular process, let's just speculate for a minute that that is what transpires and if there were to be an amendment to the

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Zoning Ordinance that would provide for this type of use or something similar with Special Land Use consideration, having not gone through a Special Land Use process, that would be available. But again, in light of that it may be a period of time before that happens.

Perrot stated I have one last question for the Petitioner just because this comes up pretty regularly for us. and I might have missed it but there's no outdoor storage of any kind of product in the back, nothing like that, and Nesler replied that's correct. Perrot asked everything is contained within the confines and Nesler replied correct.

Westendorf said I don't know how important this is but I'm curious and I don't see it in the application, how many square feet is this space roughly and Christiansen replied in the packet there is a floor plan layout after application, I'm scrolling down to it, here it is right here, I don't know if it's in there, I'm having trouble reading it on screen and Nesler replied I believe it's around 4,500 and Christiansen replied something like that, give or take.

Mantey asked if there will be signage that will be marked as a DashMart and Nesler replied the location we have now does have a DashMart sign up.

Chairperson Majoros stated there's some thought to be put into it but I would call for a motion.

Further discussion was held regarding the contents of the motion.

MOTION by Crutcher, supported by Perrot, to move to approve the request of Door Dash Essentials, LLC, with respect to the property located at 22054 Farmington Road, I move to approve Applicant's request to find that the proposed use as an online retail and delivery center is most similar to a permitted use in the C-2, Community Commercial District. Although an online retail and delivery center is not specifically permitted in any zoning district currently established under the city of Farmington Zoning Ordinance, the proposed use is most closely resembles a general commercial/retail business or shopping center with 50,000 square feet of floor area or less, or a wholesale establishment because the delivery of fast serve grocery and fast food items and snacks is a retail service that provides convenience shopping of persons residing in nearby residential areas. the use is similar to a grocery store or restaurant use to the extent nearby residents are able to shop its food selections for delivery to the surrounding area for immediate consumption. The snack food selection is similar to the type of product found in a grocery store, convenience store, baker or restaurant. These types of uses typically also now have online order and delivery options. The use is consistent for placement near adjacent multiple-family residential, such as apartments, and surrounding residential neighborhoods because the users will be seeking to use the service for immediate delivery of food items for consumption. Long distance commutes for this type of item are not warranted as they are typically required for immediate consumptions and a delay in



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commute would impact the usefulness of the service. Additionally, because the use will have limited patrons shopping at the delivery center in person, traffic will be limited to delivery trucks and contract delivery driver pick-up and the parking around the back delivery area is adequate for these purposes. Furthermore, the use appears similar to the surrounding retail and restaurant establishments as there will be no outdoor storage of products and the products for sale are similar to a restaurant or grocery store establishment. The use will not result in odor, glare or other exterior impacts that would disturb adjacent or surrounding retail users or residential uses and to include compliance with all Building Code requirements and the Zoning Ordinance, including rubbish and trash operations and disposal.

Director Christiansen stated within the context of that motion there are findings and there's also some specific considerations or items that have to be complied with in terms of its operations and I think that relates to the plans, too, so that seems to make sense and the only thing you need to do is get support for your motion, Mr. Chair.

Building Official Bowdell stated I don't know if this is appropriate but this is a business office presently going to go to a more grocery store type use, they don't create a lot of cardboard, they don't have the same trash needs, they're completely different, most grocery stores have cardboard bailers and a place to store that cardboard and things of that nature, as long as we can take care of that administratively as part of the motion, I think it's very necessary that something like that happen so I'd like to get that under control.

Crutcher amended his motion to include compliance with all Building Code Requirements and the Zoning Ordinance, including rubbish and trash operations and disposal.

A roll call vote was taken on the foregoing motion with the following result:

AYES: Crutcher, Perrot

NAYS: Majoros, Mantey, Westendorf

Motion failed for lack of support.

Attorney Saarela stated there are two options at this point, a motion to deny for whatever reasons you're seeking to deny, or a motion to table the request.

MOTION by Westendorf, supported by Crutcher, to move to table the request for Determination of Similar Use – Proposed DashMart, 22054 Farmington Road, for consideration at a future date and allow for time to amend the Ordinance accordingly.

Director Christiansen stated that the Petitioner should be consulted as to the desired action they wish to take.

Nesler stated he would like to table it for future consideration.

A roll call vote was taken on the foregoing motion with the following result:

AYES: Crutcher, Majoros, Mantey, Perrot, Westendorf

NAYS: None

Motion carried, all ayes.

### **REVIEW AND DISCUSSION – ZONING ORDINANCE AUDIT**

Chairperson Majoros introduced this item and turned it over to staff.

Director Christiansen stated this item is a review and discussion of the audit of the City of Farmington's Zoning Ordinance. Attached is a link to Chapter 35 – Zoning, City of Farmington, Code of Ordinances, and that link is listed here below. Attachments with this staff report and as the Commission is aware, this is an ongoing activity of the Planning Commission that we have undertaken for the last several months since summer. We were not able to continue with that at our November meeting as we were not able to convene in November, so we moved all the materials from the scheduled November meeting that was cancelled to this evening. So, what you have with your packet is a memorandum from the Assistant City Attorney, Ms. Saarela, and this letter which again is an October date prepared for the November meeting but certainly it is carried over this evening is Zoning Audit, Ordinance Audit Articles 4 and 5. Mr. Chair, I'm going to turn this back over to you and you certainly may wish to engage the Assistant City Attorney here with respect to the memorandum and what we're looking to achieve this evening.

Majoros stated with that I'll turn it over to Ms. Saarela for any help, consultation.

Attorney Saarela stated generally the dialogue just goes through, we went through the Master Plan, what the goals were in residential areas and highlighted each one of the Zoning Districts, there are goals in the Master Plan for each one of the Zoning Districts. So what I did is I went through and just pulled out the Master Plan to highlight the goals and the range of areas where we have residential zoning. And go through general topics of how the goals, what type of housing, what do we think in the future for types of housing, walkability, housing value, what the marketing locations are for the future, what are the main goals to support medium intensity growth and for development and redevelopment in key areas throughout the City. So, really with respect to, you'll be looking at each one of these types of zonings, residential zoning districts, low density residential, medium density and mixed use, so for each one of these you have focus areas in the City and the Master Plan talks about what the hope for the residential focus here is trying to determine whether you need to amend any of the regulations to meet the type of goals for long term.

City of Farmington  
Civicsight Map



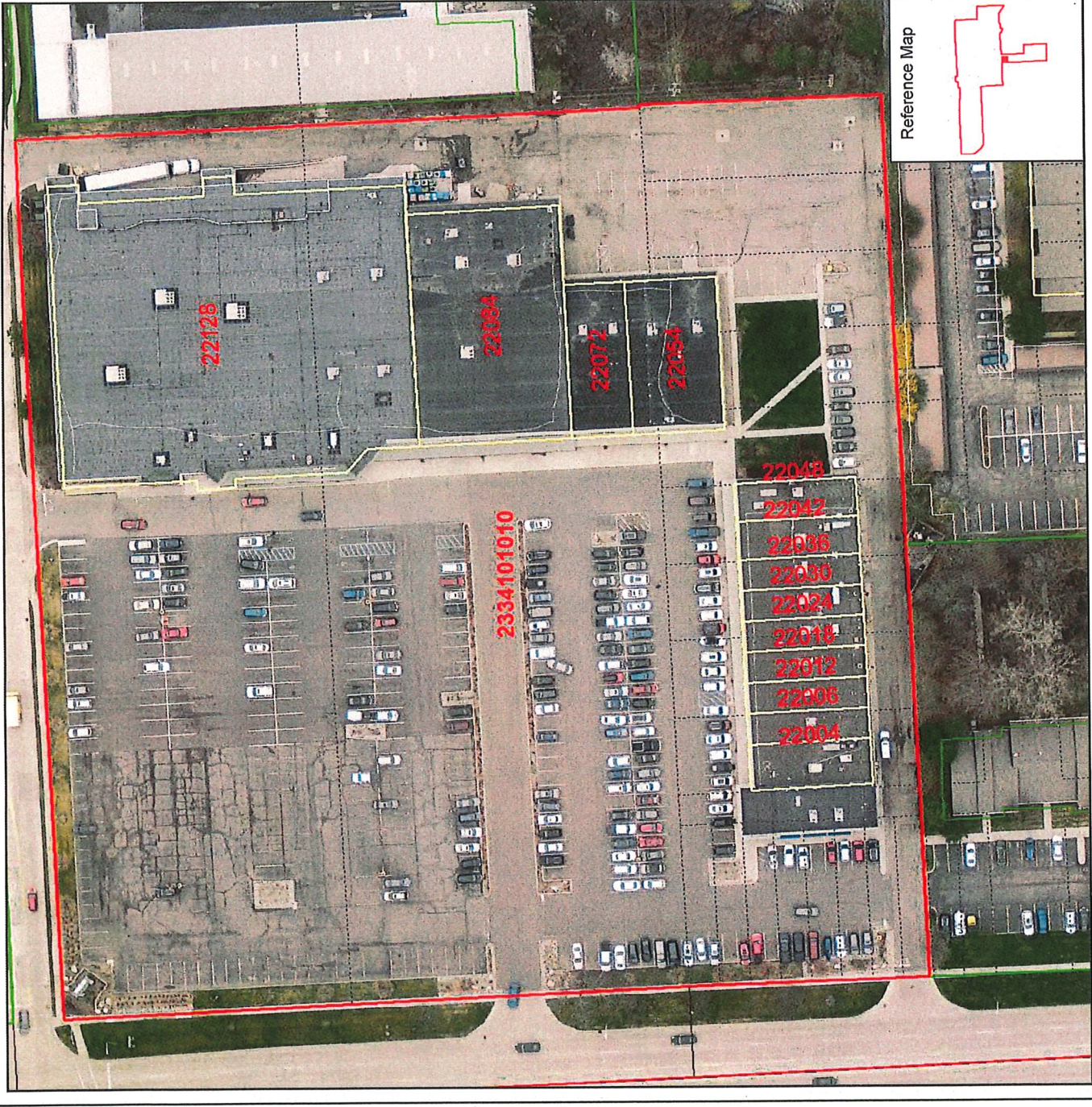
MAP LEGEND:

- CITY BOUNDARY
- / RIVERS-STREAMS
- MULTITENANTBUILDING (Type)
- BUILT
- PROPOSED
- COMM\_INDUST BLDGS
- RAPHAEL STREET (POLY)2
- RAPHAEL STREET (POLY)1
- PARCELS
- ROADS OUTSIDE FARMINGTON
- RIGHTORWAY
- MULTITENANTPAVING
- ROW EXTEND
- LOT HISTORY
- OPEN WATER (FEATURETYPE)
- DetentionPond
- StreamRiver
- LakePond
- Channel
- SwampMarsh
- 2017 AERIAL PHOTOS (Image)

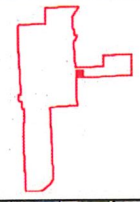
Map Scale: 1 inch = 97 feet  
 Map Date: 12/03/2021  
 Data Date: October 30, 2020  
 Sources: City of Farmington, Oakland County GIS Utility, River's Edge GIS, LLC.



Disclaimer:  
 Note: The information provided by this program has been compiled from recorded deeds, plats, taxmaps, surveys, and other public records and is not intended to be used as one. Users of this data are hereby notified that the information sources mentioned above should be consulted for verification of the information. Once again, USE AT YOUR OWN RISK !!!



Reference Map





# CITY OF FARMINGTON

*For office use only*

Date Filed: \_\_\_\_\_  
Fee Paid: \_\_\_\_\_

## Site Plan Application

1. Project Name DashMart

2. Location of Property

Address 22054 Farmington Road, Farmington, MI 48336

Cross Streets Farmington Road & W 9 Mile Rd

Tax ID Number 20-99-00-004-044

3. Identification

Applicant Anthony Aceves- DoorDash Essentials LLC

Address 303 2nd Street, Suite 800 South

City/State/Zip San Francisco, CA 94107

Phone 480-226-5424 Fax N/A

Interest In the Property (e.g. fee simple, land option, etc.)

Property Owner  Other (Specify) Rental Tenant

Property Owner Brixmor Holdings 3 SPE, LLC, c/o Brixmor Property Group

Address 450 Lexington Avenue, Floor 13

City/State/Zip New York, NY 10017

Phone 847-562-4148 Fax 847-480-1893

Preparer of Site Plan Cortland Morgan Architect

Address 711 N. Fielder Rd.

City/State/Zip Arlington, TX 76012

Phone 817-635-5696 Fax N/A

4. Property Information

Total Acres 7.5 Acres  
Lot Width 573.17' E to W Lot Depth 567.00' N to S  
Zoning District C2  
Zoning District of Adjacent Properties to the  
North C2 South O East IND West N/A

5. Use

Current Use of Property Retail

Proposed Use

<input type="checkbox"/>	Residential	Number of Units	_____
<input type="checkbox"/>	Office	Gross Floor Area	_____
<input type="checkbox"/>	Commercial	Gross Floor Area	_____
<input type="checkbox"/>	Industrial	Gross Floor Area	_____
<input type="checkbox"/>	Institutional	Gross Floor Area	_____
<input checked="" type="checkbox"/>	Other <u>Online Retail &amp; Delivery</u>	Gross Floor Area	_____

Proposed Number of Employees 10-15

A copy of the complete legal description of the property and proof of property ownership should accompany this application.

I, Anthony Aceves (applicant), do hereby swear that the above statements are true.

[Signature] 11-18-21  
Signature of Applicant Date

[Signature] 11-18-21  
Signature of Property Owner Agent Date

I, Dana Meadowcroft (property owner), hereby give permission for City of Farmington officials, staff, and consultants to go on the property for which the above referenced site plan is proposed for purposes of verifying information provided on the submitted application.

<p>City Action</p> <p>Approved/Denied: _____</p> <p>Date: _____</p> <p>By: _____</p> <p>Conditions of Approval: _____</p> <p>_____</p> <p>_____</p>
---



# CITY OF FARMINGTON

## Site Plan Review Checklist

a. Site Plan Descriptive and Identification Data	Provided	Not Provided
Site plans shall consist of an overall plan for the entire development, drawn to an engineer's scale of not less than 1 inch = 50 feet for property less than three acres, or one inch = 100 feet for property 3 acres or more in size	<input type="checkbox"/>	N/A
Sheet size shall be at least 24 x 36 inches	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If a large development is shown in sections on multiple sheets, then one overall composite sheet shall be included	<input type="checkbox"/>	N/A
Title block with sheet number/title; name, address and telephone number of the applicant and firm or individual who prepared the plans; and date(s) of submission and any revisions (month, day, year)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Scale and north-point	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location map drawn to a separate scale with north-point, showing surrounding land uses, water features and streets within a quarter mile	<input type="checkbox"/>	N/A
"Not to be Used as Construction Drawings" must be noted on the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Legal and common description of property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Identification and seal of registered or licensed architect, civil engineer, land surveyor, landscape architect or community planner who prepared drawings	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Zoning classification of petitioner's parcel and all abutting parcels	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Proximity to section corner and major thoroughfares	<input type="checkbox"/>	N/A
Net acreage (minus rights-of-way) and total acreage	<input type="checkbox"/>	N/A
b. Site Data	Provided	Not Provided
Existing lot lines, building lines, structures, parking areas and other improvements on the site and within 100 feet of the site	<input type="checkbox"/>	N/A

Where grading is proposed, topography on the site and within 100 feet of the site at two-foot contour intervals, referenced to a U.S.G.S. benchmark		N/A
Proposed lot lines, lot dimensions, property lines, setback dimensions, structures and other improvements on the site and within 100 feet of the site		N/A
Location of existing drainage courses, floodplains, rivers and MDEQ regulated wetlands with elevations		N/A
All existing and proposed easements		N/A
Details of exterior lighting including locations, height, fixtures, method of shielding and a photometric grid overlaid on the proposed site plan indicating the overall lighting intensity of the site (in footcandles)		N/A
Location of waste receptacle(s) and mechanical equipment and method of screening		N/A
Location, size, height and lighting of all proposed freestanding and wall signs		N/A
Location, size, height and material of construction for all walls or fences with cross-sections		N/A
Extent of any outdoor sales or display area		N/A
Location, height and outside dimensions of all storage areas and facilities		N/A
<b>c. Access and Circulation</b>	<b>Provided</b>	<b>Not Provided</b>
Dimensions, curve radii and centerlines of existing and proposed access points, roads and road rights-of-way or access easements		N/A
Driveways and intersections within 250 feet of site		N/A
Cross section details of existing and proposed roads, driveways, parking lots, sidewalks and pathways illustrating materials, width and thickness		N/A
Dimensions of acceleration, deceleration and passing lanes		N/A
Dimensions of parking spaces, islands, circulation aisles and loading zones		N/A
Radii for driveways and parking lot islands		N/A

Calculations for required number of parking and loading spaces	_____	_____
Designation of fire lanes	_____	N/A
Traffic regulatory signs and pavement markings	_____	N/A
Shared parking or access easements, where applicable	_____	N/A
<b>d. Landscape Plans (city reserves the right to require plans be prepared and sealed by a registered landscape architect)</b>	<b>Provided</b>	<b>Not Provided</b>
The general location, type and size of all existing plant material, with an identification of materials to be removed and materials to be preserved	_____	N/A
Limits of grading and description of methods to preserve existing landscaping	_____	N/A
The location of proposed lawns and landscaped areas	_____	N/A
Landscape plan, including location, of all proposed shrubs, trees and other plant material	_____	N/A
Planting list for proposed landscape materials with caliper size or height of material, spacing of species, botanical and common names, and quantity	_____	N/A
Calculations for required greenbelts, buffer zones, parking lot trees, detention ponds and interior landscaping	_____	N/A
Method of installation and proposed dates of plant installation	_____	N/A
Landscape maintenance program	_____	N/A
<b>e. Building and Structure Details</b>	<b>Provided</b>	<b>Not Provided</b>
Location, height, and outside dimensions of all proposed buildings or structures	_____	N/A
Building floor plans and total floor area	_____	N/A
Details on accessory structures and any screening	_____	N/A
Building facade elevations for all sides, drawn at an appropriate scale	_____	N/A
Method of screening for all ground-, building- and roof-mounted equipment	_____	N/A



Description of exterior building materials including colors (samples or photographs may be required)

N/A

**f. Information Concerning Utilities, Drainage and Related Issues**

Provided

Not Provided

Location of sanitary sewers and septic systems, existing and proposed

N/A

Location and size of existing and proposed water mains, water service, storm sewers and drains, and fire hydrants

N/A

Storm water retention and detention ponds, including grading, side slopes, depth, high water elevation, volume and outfalls

N/A

Location of above and below ground gas, electric and telephone lines, existing and proposed

N/A

Location of utility boxes

N/A

**g. Additional Information Required for Multiple-family Residential Development**

Provided

Not Provided

The number and location of each type of residential unit (one bedroom units, two bedroom units, etc.)

N/A

Density calculations by type of residential unit (dwelling units per acre)

N/A

Garage and/or carport locations and details, if proposed

N/A

Mailbox clusters

N/A

Location, dimensions, floor plans and elevations of common building(s) (e.g., recreation, laundry, etc.), if applicable

N/A

Swimming pool fencing detail, including height and type of fence, if applicable

N/A

Location and size of recreation and open space areas

N/A

Indication of type of recreation facilities proposed for recreation area

N/A

**h. Miscellaneous**

Provided

Not Provided

A general operations plan including description of the nature of the proposed use or activity, noise impacts, hours of operation, the number of employees, etc

X

Assessment of potential impacts from the use, processing, or movement of hazardous materials or chemicals, if applicable

N/A

For additions and expansions, a clear distinction between existing buildings, structures and impervious surface areas and any proposed development must be made

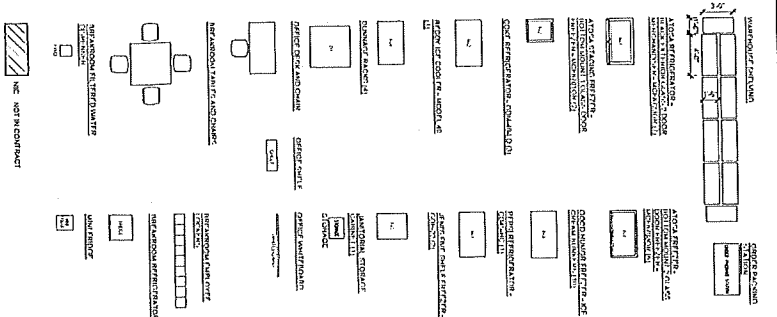
N/A

Any additional graphics or written materials requested by the planning commission to assist in determining the compliance with site plan or special land use standards, such as but not limited to: aerial photography; cross-sections which illustrate impacts on views and relationship to adjacent land uses; photographs; traffic impact studies and parking demand studies; and environmental impact studies; such information shall be prepared by a qualified individual or firm with experience in the specific discipline

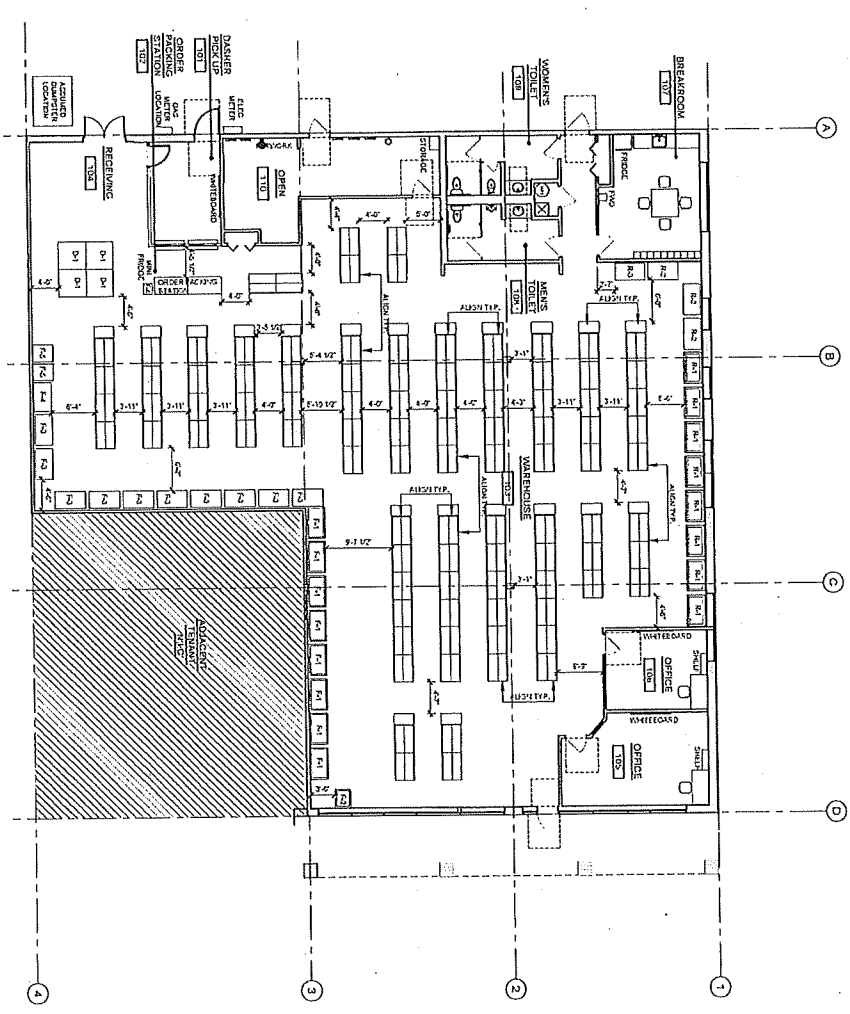
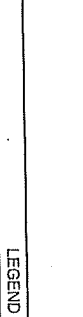
N/A

NO.	DESCRIPTION	QTY
1	OFFICE DESK	1
2	OFFICE CHAIR	1
3	OFFICE FILE CABINET	1
4	OFFICE PHONE	1
5	OFFICE LIGHT FIXTURE	1
6	OFFICE RECEPTION	1
7	OFFICE RECEPTION	1
8	OFFICE RECEPTION	1
9	OFFICE RECEPTION	1
10	OFFICE RECEPTION	1
11	OFFICE RECEPTION	1
12	OFFICE RECEPTION	1
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49	OFFICE RECEPTION	1
50	OFFICE RECEPTION	1

**FIGURE LEGEND**



**LEGEND**



**FIGURE PLAN**  
SCALE 1/8" = 1'-0"



**A102**

FIGURE PLAN  
SHEET NUMBER

REVISED  
DATE

**DOORDASH (DET-5)**  
22054 FARMINGTON RD  
FARMINGTON, MI 48336

**C.M.**  
 CORTLAND  
 MORRILL  
 ARCHITECTS, INC.  
 141 N. HANCOCK ST.  
 ANN ARBOR, MI 48106  
 PH: (313) 963-4444  
 FAX: (313) 963-3885

Not to be used in construction drawings



November 18th., 2021

## DashMart- Project Statement

***A little about us:*** Our business purchases wholesale items from distributors, such as packaged foods and household essentials commonly found in convenience stores (e.g. ice cream, frozen meals, soda, paper products, over the counter medicine, etc). We sell these items via the business's online website and app. Our core focus at DashMart is quick deliveries of these goods. We also like to partner with local merchants to help them expand their reach to customers. In order to achieve that, we often offer local goods as well through our platform. No food will be cooked or processed in the premises. The main floor space of our business will house picking and packing operations for the fast moving product in this new retail concept. The product is often turned over daily with regular vendor deliveries and is packed for delivery to customers in less than 30 minutes. On site we also have a break room for employees, office space for management and a space at the rear entrance where our Dashers pick up customer orders.

***A little about our Dashers:*** Dashers are independent contractors and utilize personal vehicles to complete the deliveries from the facility. On average, we can expect to see between 75 - 150 independent contractor delivery drivers arriving throughout the day with order volume spread across all operating hours. Dashers will arrive and park in a parking space to come inside to collect their order.

***What does a DashMart like in the real world?*** A typical DashMart facility employs between 15-20 employees with 4-6 employees on site simultaneously during some shifts. Preferred hours of operation are 24/7 (We are flexible to comply with local regulations and community concern) with peak order volume taking place later in the day between 7:30 - 11:00 pm.

DoorDash is very excited to be launching our new business model "DashMart" in your community. We believe that we will help empower local businesses by partnering with them to sell their goods on platform as well as provide the community with a quick and convenient shopping experience consisting of those local goods as well as other staples they are familiar with across the country.

**Anthony Aceves**  
New Business Verticals

DOORDASH

303 2ND STREET  
SAN FRANCISCO, CA 94107

@DOORDASH  
DOORDASH.COM

1126

RECEIVED  
OAKLAND COUNTY  
REGISTER OF DEEDS

2012 OCT -1 PM 2: 22

211699  
LIBER 44741 PAGE 712  
\$25.00 MISC RECORDING  
\$4.00 REMONUMENTATION  
10/01/2012 02:31:29 P.M. RECEIPT# 104040  
PAID RECORDED - OAKLAND COUNTY  
BILL BULLARD JR, CLERK/REGISTER OF DEEDS

DOCUMENT TITLE: Certificate of Amendment

1<sup>ST</sup> PARTY Centro NP Holdings 3 SPE, LLC

2<sup>ND</sup> PARTY N/A

DOCUMENT DATE Nov 14, 2011

(LB)

OK - LG

SCANNED  
JC 11/19/12

# Delaware

PAGE 1

*The First State*

I, JEFFREY W. BULLOCK, SECRETARY OF STATE OF THE STATE OF DELAWARE, DO HEREBY CERTIFY THE ATTACHED IS A TRUE AND CORRECT COPY OF THE CERTIFICATE OF AMENDMENT OF "CENTRO NP HOLDINGS 3 SPE, LLC", CHANGING ITS NAME FROM "CENTRO NP HOLDINGS 3 SPE, LLC" TO "BRIXMOR HOLDINGS 3 SPE, LLC", FILED IN THIS OFFICE ON THE FIFTEENTH DAY OF NOVEMBER, A.D. 2011, AT 3:38 O'CLOCK P.M.

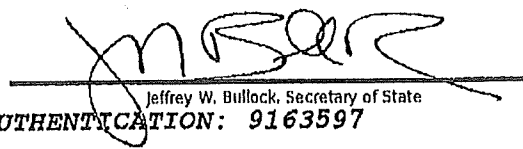
Please Record & Return to:  
Bridge Service Corp. # 383-3003  
800-225-2736  
277 Broadway, #1710  
New York, NY 10007-2001

4448756 8100

111199201

You may verify this certificate online  
at [corp.delaware.gov/authver.shtml](http://corp.delaware.gov/authver.shtml)



  
Jeffrey W. Bullock, Secretary of State  
AUTHENTICATION: 9163597

DATE: 11-17-11

State of Delaware  
Secretary of State  
Division of Corporations  
Delivered 04:25 PM 11/15/2011  
FILED 03:38 PM 11/15/2011  
SRV 111199201 - 4448756 FILE

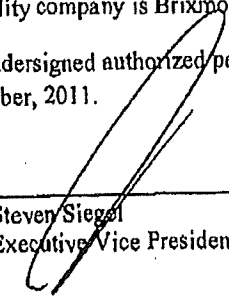
CERTIFICATE OF AMENDMENT  
TO  
CERTIFICATE OF FORMATION  
OF  
CENTRO NP HOLDINGS 3 SPE, LLC

Pursuant to Section 18-202 of the Delaware Limited Liability Company Act

1. The name of the limited liability company is Centro NP Holdings 3 SPE, LLC (the "Company").
2. The Certificate of Formation of the Company is hereby amended to change the name of the Company to Brixmor Holdings 3 SPE, LLC.
3. Accordingly, Article 1 of the Certificate of Formation shall, as amended, read as follows:

"1. The name of the limited liability company is Brixmor Holdings 3 SPE, LLC."

IN WITNESS WHEREOF, the undersigned authorized person has executed this Certificate of Amendment this 14<sup>th</sup> day of November, 2011.

  
\_\_\_\_\_  
Steven Siegel  
Executive Vice President and Secretary

<b>MICHIGAN DEPARTMENT OF ENERGY, LABOR &amp; ECONOMIC GROWTH BUREAU OF COMMERCIAL SERVICES</b>										
Date Received	<p><b>FILED</b></p> <p>DEC 13 2011</p> <p>Administrator Bureau of Commercial Services</p>									
DEC 13 2011										
<p>This document is effective on the date filed, unless a subsequent effective date within 90 days after received date is stated in the document.</p>										
<table border="1" style="width: 100%;"> <tr> <td colspan="3">Name Pelicia A. DiPaola</td> </tr> <tr> <td colspan="3">Address 420 Lexington Avenue, 7th Floor</td> </tr> <tr> <td>City New York</td> <td>State New York</td> <td>ZIP Code 10170</td> </tr> </table>		Name Pelicia A. DiPaola			Address 420 Lexington Avenue, 7th Floor			City New York	State New York	ZIP Code 10170
Name Pelicia A. DiPaola										
Address 420 Lexington Avenue, 7th Floor										
City New York	State New York	ZIP Code 10170								
EFFECTIVE DATE:										

Document will be returned to the name and address you enter above.  
If left blank, document will be returned to the registered office.

**CERTIFICATE AMENDING APPLICATION FOR CERTIFICATE OF  
AUTHORITY TO TRANSACT BUSINESS IN MICHIGAN**  
**For use by Foreign Limited Liability Companies**  
 (Please read information and instructions on the last page)

Pursuant to the provisions of Act 23, Public Acts of 1993, the undersigned limited liability company executes the following Certificate:

1.	The present name of the limited liability company is: <u>CENTRO NP HOLDINGS 3 SPE, LLC</u>
2.	If the name in Item 1 was not available for use in Michigan, the assumed name adopted when obtaining the Certificate of Authority is: _____
3.	The identification number assigned by the Bureau is: <span style="border: 1px solid black; padding: 2px;">B9391M</span>
4.	It is organized under the laws of <u>Delaware</u>
5.	The limited liability company was authorized to transact business in Michigan on the <u>7th</u> day of <u>November</u> , <u>2007</u>
6.	The duration of the limited liability if other than perpetual is: _____

7.	If the name of the limited liability company has changed, its new name is: <u>BRIXMOR HOLDINGS 3 SPE, LLC</u>
	The effective date of the name change was the <u>15th</u> day of <u>November</u> , <u>2011</u> and the name change was made in compliance with the laws of the jurisdiction of its organization.
8.	Complete this item only if the new name in Item 7 is not available for use in Michigan. The assumed name of the limited liability company to be used in all its dealings with the Bureau and in the transaction of its business in Michigan is: _____

9.	If the assumed name in Item 2 has changed, the new name is: _____
----	--

490 \$ 2500 verify 152762





All that certain lot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the City of Farmington, County of Oakland, Michigan.

**Parcel 1:**

Part of Lot(s) 1 and 2, "Farmington Little Farms Subdivision", as recorded in Liber 26, Page 2 of Plats, Oakland County Records and all or part of Lot(s) 269 to 276 inclusive, and 312 to 320 inclusive, and vacated alley adjacent to Lot(s) 269 to 276 inclusive, and Lot 320, "Builders Park No. 1, as recorded in Liber 47, Page 40 of Plats, Oakland County Records, described as follows: A parcel of land located in the Northwest 1/4 of Section 34, Town 1 North, Range 9 East, City of Farmington, Oakland County, Michigan, described as follows: Commencing at the Northwest corner of said Section 34; thence along the West line of Section 24, South 0 degrees 30 minutes West, 33.00 feet; thence South 89 degrees 38 minutes 37 seconds East, 60.00 feet to a point of beginning; thence along the South Right-of-Way line of Nine Mile Road (South 1/2 being 33 feet wide) South 89 degrees 38 minutes 37 seconds East, 573.17 feet; thence South 00 degrees 30 minutes 00 seconds West, 567.00 feet; thence North 89 degrees 38 minutes 37 seconds West, 573.17 feet; thence along the East Right-of-Way line of Farmington Road (East 1/2 60 feet wide) North 0 degrees 30 minutes East, 567.00 feet to the point of beginning.



**Parcel 2:**

Together with a Non-Exclusive Easement over driveways and entrances as recited in Agreement of Mutual Easement recorded in Liber 9681, Page 451, Oakland County Records.

**Parcel 3:**

Together with Retention Pond as recited in Joint Maintenance Agreement recorded in Liber 9681, Page 457, Oakland County Records.

**Parcel 4:**

Together with easement for Dumpster's as recited in Easement and Maintenance Agreement recorded in Liber 10405, Page 212.

c/k/a: 22004-22128 Farmington Rd

Tax ID #: 23-34-101-010

**CITY OF FARMINGTON**  
**23600 Liberty Street, Farmington 48335**  
 Phone (248) 474-5500 FAX (248) 473-7261  
[www.farmgov.com](http://www.farmgov.com)

COUNCIL..... Sara Bowman, Mayor  
 Joe LaRussa, Mayor Pro Tem  
 David Delind  
 Steve Schneemann  
 Maria Taylor

Clerk..... (Phone (248) 474-5500 Ext. 2218)..... Mary J. Mullison  
 Treasurer ..... (Phone (248) 474-5500 Ext. 2247).. Christopher M. Weber  
 Manager ..... David Murphy  
 Director of Public Safety..... Ted Warthman  
 Fire Marshall..... James Wren  
 Assessor ..... Oakland County Equalization Division  
 District Court Judges (47th)..... James B. Brady and Marla E. Parker

**CITY OF FARMINGTON HILLS**  
**31555 West Eleven Mile Road, Farmington Hills 48336-1165**  
 Phone (248) 871-2410 FAX (248) 871-2411  
[www.fhgov.com](http://www.fhgov.com)

COUNCIL..... Vicki Barnett, Mayor  
 Jackie Boleware, Mayor Pro Tem  
 Michael Bridges  
 Valerie Knol  
 Kenneth D. Massey  
 Mary Newlin  
 Matthew Strickfaden

Clerk..... (Phone (248) 871-2420) ..... Pamela B. Smith  
 Treasurer ..... (Phone (248) 871-2446) ..... Thomas Skrobola  
 City Manager ..... Gary Mekjian  
 Chief of Police ..... Jeff King  
 Fire Chief..... Jon Unruh  
 Assessor ..... Matthew Dingman  
 District Court Judges (47th)..... James B. Brady and Marla E. Parker

Sec. 35-30. - Determination of Similar Use.

A. This chapter acknowledges that all potential uses of land cannot be specifically identified in the zoning districts. All applications for a use not specifically addressed in any zoning district shall be submitted to the planning commission for review and decision, based on the following standards:

1. The planning commission shall identify a use listed in the zoning ordinance that most closely resembles the proposed use. Such similar use shall be determined using criteria such as potential impact on property values, nature of use, traffic generated, aesthetics, noise, vibration, dust, smoke, odor, glare and other objectionable impacts on the health, safety and welfare of the city.
2. If a similar use is determined, the proposed use shall comply with any special land use standards or other zoning ordinance requirements that apply to the similar use.

B. The determination as to whether a proposed use is similar in nature and class to another permitted or special land use within a district shall be considered as an interpretation of the use regulations, and not as a use variance. Any use determined by the planning commission to be similar shall thereafter be deemed to be included in the enumeration of the uses.

C. Any use not listed or found similar to another permitted or special land use is prohibited.

(Ord. No. C-746-2010, § 1, 4-19-10)

ARTICLE 7. - CBD CENTRAL BUSINESS, C2 COMMUNITY COMMERCIAL, C3 GENERAL COMMERCIAL AND RO REDEVELOPMENT OVERLAY DISTRICTS

Sec. 35-101. - Intent.

- A. *CBD Central Business District.* The CBD Central Business district is intended to provide for a traditional mixture of office buildings, retail stores, entertainment, public spaces, residential uses and related activities that are mutually supporting and serve the needs of both the city and surrounding communities. The intent of these district regulations is to encourage a lively social environment and economically viable downtown with a wide variety of uses in a pedestrian-oriented unified setting, with shared parking.
- B. *C2 Community Commercial District.* The C2 Community Commercial district is intended to create mixed-use neighborhood centers with retail services that provide convenience shopping of persons residing in nearby residential areas. The intent of this district is to concentrate businesses that harmonize with the character of the surrounding uses, and to prohibit uses that might create traffic hazards, offensive noises and late hours of operation. As a mixed use neighborhood center, this district may also include multiple-family residential, such as apartments above retail uses.
- C. *C3 General Business District.* The C3 General Business district is intended to accommodate commercial establishments that serve community-wide shopping and service needs. This district is intended to create cohesive commercial areas that take advantage of access provided by the city's transportation system, but also provide convenient vehicular access between businesses in attractive settings, thereby ensuring safety and discouraging undesirable strip commercial development.
- D. *Redevelopment Overlay District.* The RO district is intended to encourage the redevelopment of commercial sites that have constraints due to small lot size, irregular configuration, lack of parking or obsolete buildings. This district is intended to facilitate redevelopment of commercial sites that are on small lots following the recommendations of the Master Plan. The RO district is not intended to facilitate the removal of historic buildings within the CBD, nor is it intended to circumvent the requirements of this ordinance on sites that could otherwise be redeveloped based upon the existing underlying zoning.

(Ord. No. C-746-2010, § 1, 4-19-10)

Sec. 35-102. - Table of Uses.

Use P: Use is permitted by right in district SLU: Special Land Use in accordance with <u>Article 12, Special Land Uses</u>	CBD	C2	C3
<i>RETAIL:</i>			
General commercial/retail businesses and shopping centers 50,000 square feet of floor area or less	P	P	P
General commercial/retail business or shopping center exceeding 50,000 square feet of floor area	SLU	SLU	SLU
Drive-through accessory to a retail use, not specified elsewhere		-	SLU (c)
Drive-through accessory to a pharmacy	-	SLU	P
Commercial outdoor display, sales or storage (accessory only)	P (a)	SLU (a)	P (a)
Garden centers and nurseries	P (a)	P (a)	P (a)
Home improvement showrooms and supply stores	SLU	P	P
Smoke shop	-	-	SLU
Wholesale establishments	-	-	P
<i>RESTAURANTS:</i> (see definitions in <u>Article 21, Definitions</u> )			

Standard restaurant	P	P	P
Banquet facilities	P	-	P
Bars, taverns, lounges	P	SLU	SLU
Carry-out	P	P	P
Drive-in	-	-	SLU
Drive-through	-	SLU (c)	SLU (c)
Open front window (when principal or accessory use)	P	P	P
Outdoor seating accessory to a restaurant use	P (b)	P (b)	P (b)
<i>SERVICES/OFFICE:</i>			
Animal grooming and training establishments (without 24-hour services or boarding)	SLU	SLU	SLU
Banks, credit unions and similar financial institutions	P	P	P
Banks with drive-through facilities		SLU (c)	SLU (c)
Banking centers separate from a financial institution (including ATMs)	P	P	P
Bed and breakfasts and boarding houses	SLU	SLU	SLU
Business offices and service establishments	P	P	P

Dry cleaning establishments and laundromats	P	P	P
Drive-through accessory to a dry cleaning establishment	-	SLU (c)	P (c)
Dry cleaning plants	-	-	SLU
Funeral homes and mortuary establishments	P	P	P
Hotels and motels	P (d)	P	P
Medical and dental offices and clinics	P	P	P
Personal service establishments	P	P	P
Professional offices and service establishments	P	P	P
Repair service establishments	P	P	P
Showrooms for contractors	P	SLU	SLU
Studios for photography, dance, music, art and similar uses	P	P	P
Tattoo establishment	-	-	SLU
Tool and equipment rental	-	-	SLU
Veterinary office and clinics (not 24-hour)	P	P	P
Veterinary clinics and hospitals (24-hour)	SLU	SLU	SLU
<i>AUTOMOBILE USES:</i>			
Automobile gasoline stations	-	SLU	SLU



Automobile service/maintenance facilities	-	-	SLU
Automobile wash establishments	-	-	SLU
Automobile and vehicle dealerships, new and used	-	-	SLU
Automobile, vehicle and truck rental and leasing establishments	-	-	SLU
<i>ENTERTAINMENT AND RECREATION:</i>			
Fitness centers and health clubs	P	P	P
Golf courses	-	-	P
Indoor entertainment and amusement establishments	P	SLU	P
Instructional entertainment uses	P (i)	P (i)	P (i)
Recreation facilities (municipal)	P	P	P
Recreation facilities (commercial)	P (e)	P (e)	P (e)
Social clubs, halls and similar uses	SLU	P	P
Theaters (indoor), cinemas and auditoriums	SLU	-	P
<i>INSTITUTIONAL:</i>			
Adult and child care facilities	In accordance with <u>Sec. 35-25</u> , Adult and Child Care Facilities		

Churches, temples and similar places of worship and related facilities	SLU	P	P
Municipal buildings and structures	P (f)	P (f)	P (f)
Public or private primary and secondary schools; colleges and universities; business, trade and vocational schools	SLU	SLU	SLU
Public and quasi-public institutional buildings, structures and uses	SLU	P	P
<i>RESIDENTIAL:</i>			
Single-family attached dwellings/townhouses	P	P (g)	PUD
Multiple-family dwelling units	P	P (g)	PUD
Residential dwellings in upper stories of mixed-use buildings	P	P (g)	PUD
Nursing homes and senior assisted living	P	P (g)	P
<i>OTHER:</i>			
Off-street parking as a principal use, including parking decks	P	-	-
Essential public services	P	P	P
Essential public service buildings	P	SLU	SLU
Accessory buildings, structures and uses	In accordance with <u>Sec. 35-43</u> , Accessory Buildings		

Special Provisions

(a) All retail businesses shall be conducted within a completely enclosed building; provided, however, that a site plan may be approved by the planning commission for accessory outdoor display, sales, or storage, including garden centers and nurseries, subject to article 13, site plan approval and the following requirements:

1. Outdoor display, sales, or storage may be considered for the following businesses:

- a. Businesses located within a shopping center as defined in this section.
- b. Businesses located within a building that exceeds 10,000 square feet in size.
- c. Businesses located within the central business district (CBD).
- d. Service stations located within a "C" commercial district.

2. Items sold shall:

- a. Relate and be accessory to the permanent business conducted within the building in which the business is located, such as the sale of flowers at a home improvement store, or sale of ice melt at automobile service stations, and shall be owned and operated by the same merchant operating within the building.
- b. Not include items that are customarily sold inside the building. For example, furniture stores may not place furniture outside for sale.
- c. Be located on a durable and dustless surface and shall be graded and drained to dispose of all surface water.
- d. Be arranged and constructed so as not to pose a hazard to pedestrians and to minimize risk of fire hazard.

3. Outdoor storage, sales, or display is allowed outside of the required yards and is confined to areas shown on an approved site plan. The planning commission may require that areas where outdoor display, sales, or storage are permitted be clearly marked with pavement markings or other means for purposes of enforcement and ensure maintenance of fire lanes.

4. Outdoor vending machines and drop boxes or donation bins shall be prohibited. This provision shall not apply to ice machines and newspaper stands.

5. Display or storage areas shall be limited to ten (10) percent of the gross floor area of the principal building, or that portion of the building occupied by the business.

6.

Display or storage areas shall also maintain adequate clear area for safe pedestrian circulation along the sidewalk in front of the building, which shall be no less than three (3) feet wide in C-2 and C-3; provided, however, that the width of the clear area shall in all events meet all applicable state and federal regulations and building codes, including all barrier-free and ADA requirements.

7. Displays or sales shall be prohibited on municipally-owned sidewalks, public land, or public right-of-way except as may be allowed by the city council for special events.
8. Outdoor storage of propane tanks is permitted for service station, hardware store, and convenience store uses, except in the CBD district, provided that:
  - a. The tanks shall not be larger than the standard twenty (20)-pound tank size.
  - b. The tanks are stored in a locked storage container.
  - c. The container does not exceed fifty (50) cubic feet and six (6) feet in height.
  - d. The container complies with all applicable fire and safety codes.
  - e. At least three (3) feet of clearance for pedestrian traffic is provided.
  - f. Advertising shall be limited to one (1) square foot.
9. All loading and truck maneuvering shall be accommodated on-site or on a dedicated easement.
10. Fencing and lighting for security and aesthetic purposes may be required as determined by the planning commission. Fences shall comply with all lighting shall be shielded from adjacent residential areas in accordance with section 35-48, exterior lighting.
11. Uncovered items may be displayed or stored outside between April 15<sup>th</sup> and October 31<sup>st</sup>. The building official may extend this time as weather permits. All structures associated with temporary outdoor display shall be temporary and removed at the end of the season for storage indoors.
12. Outdoor display, sales, and storage may be permitted as part of an approved site plan, under the following terms:
  - a. The permit shall be valid for one (1) calendar year.
  - b. Following the initial planning commission site plan approval, the permit may be renewed annually by the building official, subject to the plan originally approved by the planning commission. If the building official finds any

violations of this section or the conditions of the planning commission's original approval, no renewal shall be issued, and any new outdoor display shall require a new permit from the planning commission.

- c. Approved outdoor display, sales and storage areas may continue until such time as the property ownership changes or a revised site plan is approved. Approval shall not be transferrable to new owners or users. Changes of ownership or use shall be required to return to the planning commission for a renewal of their privileges, to ensure they are aware of the limitations that exist.

13. The planning commission may allow outdoor display, sales, and storage for businesses that do not meet the criteria listed in subsection 1., provided all other provisions of this section (a) are met and the applicant establishes that compliance with the strict requirements of subsection 1. would unreasonably prevent the use of the property for a permitted purpose; that the proposed display, sales, and/or storage would not adversely affect adjacent or nearby properties and would not adversely affect the public health, welfare, and safety.

(b) Accessory outdoor seating areas may be permitted by annual license when accessory to a permitted or special land use in the district subject to the following:

1. Whether the seating area is proposed as part of a site plan application or an existing business, it shall require site plan review and approval by the planning commission in accordance with Article 13 Site Plan Review. Insurance in a form and amount deemed acceptable by the city attorney's office shall be provided with the application. Once initial approval has been granted by the planning commission, an annual license shall be issued by the building official. The license may be renewed annually by the building official, provided that it complies with the original planning commission approval and the requirements of this section. The building official may, at any time, refer an outdoor seating permit to the planning commission for renewal if the Building Official feels additional review is necessary.
2. Outdoor seating shall be permitted between April 15 and October 31, with all furniture and fixtures removed after October 31. All tables, chairs, railings and related fixtures shall be removed when not in use. If weather permits, the building official may extend this time for outdoor seating on privately owned property only.
3. Outdoor seating shall not be the primary seating of the restaurant, except for carry-out restaurants when approved by the planning commission.

4. Outdoor seating areas shall be located in a manner to maintain a minimum pathway width of five (5) feet (clear of structures such as light poles, trees and hydrants) along the sidewalk so as not to interfere with pedestrian traffic. Outdoor dining areas may be either curbside or adjacent to the building front provided that the location change allows an appropriate walking path alignment with neighboring properties as determined by the city.
5. Chairs and tables shall be of quality durable material such as metal or wood.
6. Outdoor seating areas shall be maintained in a clean and sanitary condition. Waste receptacles shall be provided in instances where wait staff does not clear all tables.
7. Outdoor service areas shall be well-defined, with clearly marked access points, making it obvious to patrons whether they are within or outside of the designated dining area. The on-premises licensee shall not sell, or allow the consumption of, alcoholic liquor outdoors, except in the defined area. Outdoor seating areas shall be delineated by outlining the periphery in some manner as to distinguish the public walkway from dining area. This may be accomplished by the use of planters, railings, or walls reviewed and approved by the planning commission.
8. For outdoor seating areas located within the public right-of-way, approval by the corresponding jurisdiction (i.e., Farmington DPW, MDOT, or Road Commission for Oakland County) is required. Proof of insurance naming the city as an additional insured, in a form and amount deemed acceptable by the city attorney's office, shall be required. A license agreement in a form deemed acceptable to the city attorney's office shall also be required.
9. If there is not adequate space to allow for outdoor dining on the sidewalk adjacent to the site, an elevated, ADA compliant, platform may be erected in a parking lot to create an outdoor dining area, but only if the city engineer determines there is sufficient space available for this purpose given parking and traffic conditions. Specially designated parking spaces (ADA accessible, loading zones, etc.) shall only be considered for use if the spaces can be temporarily replaced within a close proximity. Use of a public parking lot for such purpose shall require city council approval.
10. Additional outdoor lighting and/or amplification is prohibited without approval of the city.
11. Applicants may be asked to demonstrate that additional parking demand can be met before approval.

12. The city retains the right to revoke outdoor seating permits if all sections of this article have not been met, or if the operation of such areas is found by the city to be dangerous or otherwise detrimental to surrounding uses or pedestrian or vehicular traffic.
- (c) Drive-through uses may be allowed as an accessory to any permitted bank, pharmacy, dry cleaner, or restaurant use, provided the following are met:
1. Drive-through uses shall be designed to minimize conflicts with pedestrian or vehicular circulation and shall meet the following standards:
  2. The number of drive-through lanes shall be limited to the following:
    - a. Drive-through banks and car washes shall have a maximum of three (3) drive-through lanes, including any that are devoted to ATM(s).
    - b. All other drive-through uses shall have a maximum of one (1) drive-through lane.
  3. Stacking Spaces shall be provided as required in Article 14, Off-Street Parking and Loading Standards and Access Design.
  4. Communication and speaker boxes shall meet the following requirements:
    - a. Speakers shall be placed as close as safely possible from the edge of the drive-through lane; in no case may speakers be more than three (3) feet from the drive-through lane.
    - b. Where feasible, speakers shall face away from residential neighborhoods.
    - c. Noise from communication speakers shall not exceed fifty (50) decibels at a nonresidential property line and thirty (30) decibels at any residential property line. Where a screening wall is provided, the noise level shall be measured on the residential side of the screening wall.
  5. Site design for drive-through uses shall use the minimum number of driveways possible. Use of two (2) directional driveways may only be allowed if there are no other reasonable alternatives, such as access to a side street, rear alley, cross-access easement or shared driveway.
  6. Circulation patterns shall separate pedestrian and vehicular traffic where possible. Clear delineation of pedestrian crossings shall be provided in the form of textured concrete or asphalt, striping or other method that clearly draws attention.
- (d) No hotel or motel lodging rooms shall be permitted on the ground floor.
- (e) Outdoor recreation facilities in the CBD, C2 and C3 districts shall not include activities

that include automobiles, motorcycles or other motor-driven vehicles.

- (f) All city-owned buildings and uses shall be permitted after a finding that the particular use and development would not be injurious to the surrounding neighborhoods and would not be contrary to the spirit and purpose of this chapter. In the event the planning commission does not approve the use or site plan, city council may grant such approval by an affirmative vote of no less than four (4) members.
- (g) In the C2 district, residential buildings and dwelling units in mixed-use buildings shall be permitted up to a maximum density of twenty-two (22) dwelling units per acre.
- (h) The allowed uses within the RO district shall be the same uses as permitted in the underlying zoning district, provided multiple-family dwelling units may be permitted by special land use.
- (i) Instructional entertainment uses shall meet the following requirements:
  1. Such uses may be permitted by the city manager, if determined compliant with this section.
  2. Once initial approval has been granted by the city manager, an annual license shall be issued by the building official. The license may be renewed annually by the building official, provided that it complies with the original approval and the requirements of this section. The building official may, at any time, refer any request to the city manager or planning commission for renewal if they feel additional review is necessary.
  3. Such uses may remain open until 12:00 a.m. (midnight).
  4. All activity associated with the use shall be conducted indoors. Accessory outdoor seating may be permitted by the city manager only if all of the requirements in subsection (b) above are met.
  5. Gambling, gaming, betting, sweepstakes, games of chance, adult regulated uses, or other similar activities may not be conducted in conjunction with such use.
  6. All activity associated with the use shall be conducted in accordance with all local, county, state and federal laws.

(Ord. No. C-746-2010, § 1, 4-19-10; Ord. No. C-765-2012, § 1, 8-20-12; Ord. No. C-775-2014, § 1, 3-14-14; Ord. No. C-779-2015, § 1, 9-21-15; Ord. No. C-798-2020, § 2, 3-16-20)

Sec. 35-103. - Lot and Yard Requirements for C2, C3 and RO Districts.



Lot and Yard Requirements (d)		
	C2	C3
Minimum lot area (square feet)	(b)	(b)
Minimum lot width (feet)	(b)	(b)
Maximum building height:		
In feet	35	35
In stories	3	3
Minimum front yard setback (feet)	(c)	25
Minimum side yard setback - least one (feet) (a)	10 (c)	10
Side yard setback - total (feet) (a)	20 (c)	20
Side yard setback, when abutting a single-family use or district - total (feet)	25	25
Minimum rear yard setback (feet)	20 (c)	20
Minimum rear yard setback, when abutting a single-family use or district (feet)	25 (c)	25
Minimum parking setback (feet)	In accordance with <u>Sec. 35-171</u> , General Requirements	
Minimum useable floor area (square feet)	800	800
Maximum lot coverage	-	-

## Special Provisions

- (a) *Side Yard Setbacks.* The city planning commission shall not require a side yard setback if the side walls are wholly without windows, doors, or other openings and are of fireproof construction, and where a side yard setback is not otherwise necessary to satisfy any of the foregoing considerations and where the absence of a side yard setback would not be detrimental to adjoining buildings. If a side yard setback is required by the planning commission, the basis for such determination shall be specifically set forth as a finding.
- (b) *Lot Area.* No minimum requirement, but must meet minimum required building setbacks, parking and landscaping requirements.
- (c) *C2 District.* All principal buildings shall be built to the front lot line and parking shall be located to the side or rear of the building. This may be modified by the planning commission based upon the relationship of the site to surrounding uses and the predominant setback along the block. For lots that back up to a public alley, the rear yard setback may be reduced to zero where a majority of other buildings on the block have the same setback from the alley and there is maintained a minimum twenty-five-foot separation between the building and a residentially zoned lot.
- (d) *RO District.* The city may rezone properties to the RO district to encourage renovation and redevelopment or an individual property owner may petition for a site to be rezoned to the RO district following the procedures of Article 20, Amendment Procedure. Site plans for renovation or redevelopment of sites in the RO district may be submitted for review and approval by the planning commission following the rezoning or may be reviewed concurrently with the RO district rezoning, with the site plan approval conditioned on the approval of the rezoning by the city council.

For sites in the RO district where site plan approval is being sought, the planning commission shall have the authority to modify the dimensional requirements of the underlying zoning district and parking requirements. Such modification shall only be granted following a public hearing conducted in accordance with the special land use requirements of Article 12, Special Land Uses and where the following standards are met:

1. The site is occupied by a residential, commercial, office or industrial building that is proposed to be removed or rehabilitated.
2. A use permitted within the underlying zoning district is to be established.

3. Buildings that are considered to be historic by the planning commission are not removed and any renovation to historic buildings enhances the historic integrity of the architecture. In such instance, the planning commission shall refer the site plan to the historical commission for review and recommendation.
4. The flexibility in dimensional standards is necessary to allow for innovative design in redeveloping the site and will result in a higher quality of development than would be possible without the modification.
5. The new building and site are designed to be pedestrian oriented with safe and convenient access to the building from the public sidewalk and a site design that minimizes the dominance of the parking lot as viewed from the street.
6. Adequate buffers are provided between the site and any adjoining residential district.
7. Any site nonconformities are brought into compliance with ordinance requirements to the maximum extent deemed practical by the planning commission.
8. The planning commission determines that the proposed redevelopment of the site will be an enhancement to the site and surrounding area following the recommendations of the Master Plan, provided the planning commission may attach reasonable conditions to ensure this standard is met.

(Ord. No. C-746-2010, § 1, 4-19-10)

Sec. 35-104. - Central Business District—Nonresidential and Mixed-Use Development Requirements.

The following regulations shall apply to all nonresidential buildings and "mixed use" buildings, which are those that contain nonresidential uses on the first floor and residential above the first floor. Any development or modification to a building in the CBD that requires planning commission approval under Article 13, Site Plan Review, shall be first reviewed by the DDA design committee prior to being placed on the agenda for final site plan approval by the planning commission. The DDA design committee shall review the site plan and building architecture for compliance with the requirements of this section and provide a recommendation to the planning commission.

A. *Area and Bulk Requirements.*

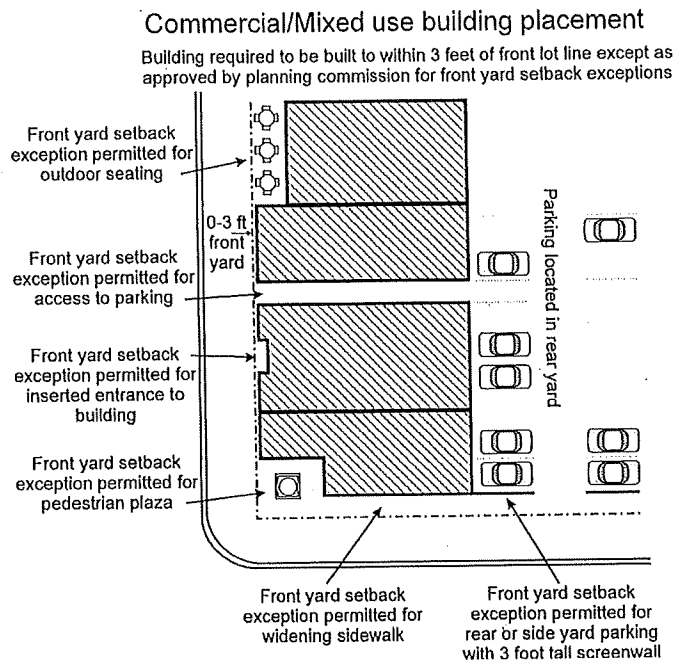
1. *Lot Area and Width.* There is no required minimum lot area or width.
- 2.

*Setback Requirements.* The required nonresidential and mixed-use building setbacks are intended to promote streetscapes that are consistent with the desired character of the CBD and reinforce a pedestrian orientation and built-up streetscape. The setback requirements for areas that abut residential zones are intended to promote development that will maintain light, air, and the potential for privacy for adjacent residential zones.

	Setback
Front (a)	The building shall be built to within 3 feet of the front lot line and cannot be set back a greater distance except as provided for in subsection 3., below.
Side	There shall not be a minimum side yard setback required; provided a side wall of a building that is not a fire rated wall or contains windows shall be set back a minimum of 10 feet from the side lot line.
Rear	There shall be no minimum rear yard setback.
Lot line abutting a residential zone	Where the side or rear lot line adjoins a lot that is zoned single-family residential, two-family residential or multiple-family residential, a minimum 30-foot setback shall be provided.

- a. Projections into setbacks permitted under section 35-39, projections into yards, including cornices, eaves, sills, balconies, bay windows, awnings, signs and other architectural elements, shall also be permitted to project over the public sidewalk with planning commission approval; provided, there shall be a minimum eight-foot vertical clearance between the sidewalk grade and the architectural element that is overhanging the sidewalk.

3. *Front Yard Building Setback Exceptions.* One hundred (100) percent of the length of the ground level street-facing facade of the building must be built to within three (3) feet of the front lot line. The building height along the frontage shall be a minimum of twenty-four (24) feet. Exceptions may be granted by the planning commission when the front yard area, or forecourt, is used for the following purposes listed below.



- a. Widening the sidewalk along the frontage of the building.
- b. Providing a public gathering area or plaza that offers seating, landscape enhancements, public information and displays, fountains, or other pedestrian amenities.
- c. Accommodating an inset entranceway to the building.
- d. Providing outdoor seating for the proposed use.
- e. Where necessary to avoid utilities.
- f. The building is used for public or quasi-public/institutional purposes with a plaza or open space area provided in the front yard.
- g. Driveway or pedestrian access to parking at the rear of the building.
- h. Side yard parking along no more than forty (40) percent of the frontage, with a three-foot tall screenwall between the parking and public sidewalk, set back three (3) feet from the front lot line and subject to the requirements of subsection D., below.

- i. Where older residential structures have been converted to a nonresidential or mixed-use and are to be retained.
  - j. Sandwich board signs (or A-frame signs), marquee signs and wall signs as permitted in the sign ordinance are the only business signs permitted within the forecourt area.
4. *Building Height.* The height limits are intended to control the overall scale of buildings and to discourage buildings that visually dominate adjacent residential areas.

Building Height Requirement	
Minimum	24 feet and 1 story
Maximum	45 feet and 4 stories

- a. For buildings with more than two (2) stories adjacent to a single-family residential zone, the floors above the second story of the building shall be tiered back such that the highest point of the building is set back a distance at least equal to twice the height of the building from the adjacent single family residential lot.
- b. If a development is proposed as a planned unit development (PUD), the planning commission may approve an increase in the maximum building height and number of stories, if the proposed development is for a mixed-use building with retail, or service business on the first floor and residential, or office on the upper floors. The planning commission may require a greater setback from any adjoining single-family residential district in order to minimize the impact of building mass on views and sunlight in the residential district. In determining the amount of additional required setback, the planning commission shall take into account the area and configuration of the adjoining residential parcel or parcels, the size, height, and location of existing residential structures on the adjoining residential parcel or parcels, and any other relevant characteristics of the adjoining residential parcel or parcels.

- c. If a parking structure is proposed as part of the building the planning commission may approve additional total building height and stories to achieve additional usable building floor area equal to the area occupied by the parking deck, subject to the regulations of subsection D., below.
- d. Buildings located at the corner of two (2) intersecting streets may be increased in height to fifty (50) feet.
- e. Refer to section 35-42, exceptions to height limit, for allowable building height projections.

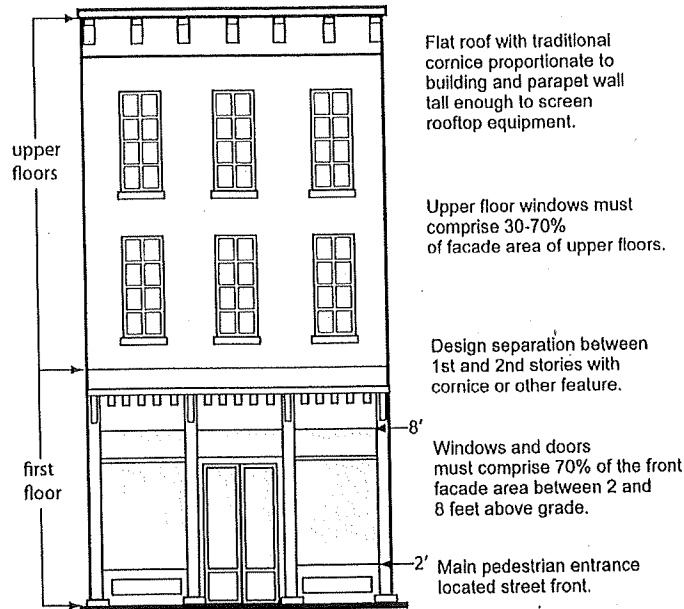
B. *Pedestrian-Oriented Design Requirements.* All sites shall be designed to promote safe and effective pedestrian and transit-oriented circulation on-site, between sites, and between parking and streets. Sites shall comply with pedestrian-oriented design requirements of section 35-45, pedestrian walkways, and Chapter 28, Streets, Sidewalks and Other Public Places, of the City of Farmington Code.

C. *Building Design.*

1. *Purpose.* The following building design standards ensure that new construction in the CBD reflect a high level of building quality that will endure over time and will incorporate timeless design details. The requirements also ensure that all new construction is consistent because the character of the CBD is not reflected in just one (1) structure, but in all the buildings combined. The regulations herein are intended to ensure proper building form, relationship to the street and compatibility with other buildings. The regulations are not intended to dictate a particular style of architecture, rather to encourage innovative design that is consistent and complementary to the existing built environment.
2. *Main Entrance.* All buildings shall have a main entrance that is located on at least one (1) streetfront. Main entrances shall have design details that enhance the appearance and prominence of the entrance so that it is recognizable from the street and parking areas. The front entranceway shall be inset a minimum of three (3) feet from the front building wall to minimize encroachment on the sidewalk.
3. *Roofs.* Roofs shall be required to meet the following:
  - a. Unless otherwise approved by the planning commission, buildings should have flat roof appearance from the street with a cornice that is designed proportionate to the size of the building and length of the wall.

- b. The planning commission may permit a pitched roof if the design of the roof and building are consistent with the character of the CBD and adjacent buildings. Pitched and mansard roofs shall not be permitted with eaves below a height of twenty-four (24) feet. All roof edges shall be accentuated in a manner proportionate to the size of the building and length of the wall.
  - c. Flat roofs shall be enclosed by parapets.
  - d. All rooftop-mounted equipment shall be screened from view on all sides of the building.
  - e. Parapets and other screening treatment shall use high-quality building materials and shall blend with the design of the building in terms of color, materials, scale and height.
4. *Awnings.* Awnings in the CBD may project over the public sidewalk; provided they shall be:
- a. Positioned immediately above the ground floor window area of the facade.
  - b. Provide a minimum eight-foot clearance from the sidewalk.
  - c. Constructed of a durable, weather-proof material such as canvas or steel.
  - d. Have a straight shed that projects from the building at a straight angle with open sides.
  - e. Signage is in conformance with the city sign code.
5. *Required Window Area and Exterior Finishes.* While creativity in building design is encouraged, buildings in the CBD must adhere to the following:





The above drawing is intended to illustrate the application of the design standards in this ordinance, but not require a specific architectural style.

a. *Windows.*

- (1) Facades facing a public street or sidewalk shall include windows that equal seventy (70) percent of the wall area measured between two (2) feet and eight (8) feet above grade. The bottom of any window may not be more than four (4) feet above grade.
- (2) Required window areas shall consist of clear glass windows, clear glass doors and clear glass panels, and may not be covered or blocked with the back of shelving units.
- (3) Required window areas shall be either windows that allow views into retail space, working areas or lobbies, pedestrian entrances, or display windows set into the wall.
- (4) Windows and doors above the first floor shall comprise between thirty (30) percent and seventy (70) percent of the total wall area of all upper floors.
- (5) The number, shape, size, and spacing of the windows shall be compatible with the established rhythm of adjoining or nearby buildings in the downtown.

b. *Exterior Finish Materials.* The building wall (exclusive of any windows or doors) of any facade visible from public view shall consist of the following:

- (1)

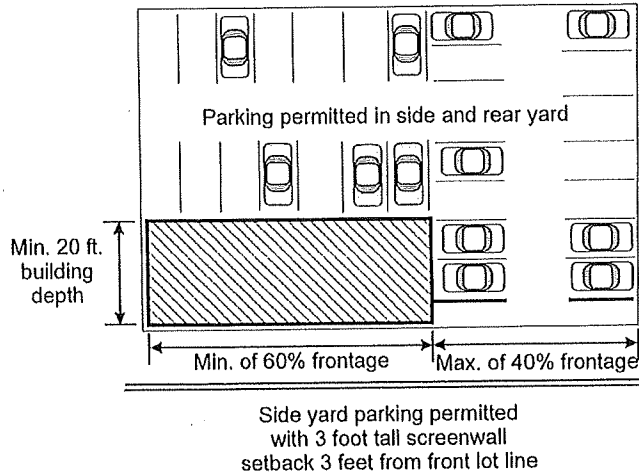
The wall shall be constructed of at least seventy-five (75) percent modular brick or stone. Panel brick and tilt-up brick textured paneling shall not be permitted on the front facade.

- (2) Up to twenty-five (25) percent of the remaining wall area may include wood siding, fiber cement siding, exterior insulation finish systems (EFIS), stucco (cementitious finish), precast masonry, metal or molded polyurethane trim.
  - (3) Exterior walls that may be concealed by future building development on adjacent sites may be constructed of lower-cost materials that are consistent with the building facade, including modular brick or stone, panel brick, tilt-up brick textured paneling, wood siding, fiber cement siding, exterior insulation finish systems (EFIS), stucco (cementitious finish), precast masonry, metal or molded polyurethane trim.
  - (4) The planning commission may permit other high-quality exterior finish materials comparable to those required above. The planning commission shall consider the standards of subsection 35-104.C.10., Modifications, and a recommendation of the DDA design committee that the amount, design, and type of materials proposed are consistent with the intended character of the CBD.
  - (5) Buildings that have upper stories shall be designed to create a distinct and separated ground floor area through the use of accents such as a cornice, change in material or textures, or an awning or canopy between the first and second stories.
6. *Corner Buildings.* Buildings situated at a corner shall possess a level of architectural design that incorporates accents and details that accentuate its prominent location. This can be accomplished through height projections incorporated into a design feature such as additional height, a building peak, tower, or similar accent with the highest point located at the intersecting corner. Alternatively, a pedestrian plaza may be provided at the corner of the intersecting streets. A main entrance must be on a street-facing wall and either at the corner or within twenty-five (25) feet of the corner.

7.

*Overhead Doors.* Overhead doors are not encouraged in the CBD. When necessary for loading, unloading, and other service needs they shall be located where it will receive the least visibility to the public or neighboring residential uses, and have the least impact on traffic operations. Overhead doors for loading areas shall be closed when not in use for loading operations.

8. *Converted Dwellings.* Where buildings that were originally constructed for single-family residential purposes have been converted to nonresidential uses, the building design requirements of this subsection may be modified by the city where consistent with the historic character of the building. Such modifications may include allowing the use of siding in lieu of masonry materials and residential fenestration (windows) in lieu of the requirement for storefront windows on the first floor.
9. *Modifications.* The planning commission may approve deviations to the building design standards of this subsection 35-104.C., following the recommendation of the DDA design review committee, in order to achieve the objectives of this subsection through the use of creativity and flexibility in development and design. Each deviation shall require a finding that the design standard sought to be deviated from would, if no deviation was permitted, prohibit an enhancement that would be in the public interest. A front elevation drawing of the proposed building shall be provided superimposed on a color drawing or photograph of the entire block showing the relation of the proposed building design to other buildings along the block, which shall be utilized to evaluate the proposed building design based upon all of the following criteria:
  - a. Innovations in architectural design may be permitted, provided the building design shall be in keeping with the desired character of the CBD, as articulated in the city Master Plan and the Downtown Plan, and the proposed building fits within the context of adjacent buildings along the block.



- b. The building shall be oriented towards the front sidewalk and maintain or enhance the continuity of the pedestrian oriented environment.
- c. The roof design shall not be out of character with other buildings along the block and shall be within the minimum and maximum height requirements of the district.
- d. The exterior finish materials shall be of equal or better quality and durability as those permitted above, with the intent to allow for new technologies in building material while maintaining the desired character of the CBD.
- e. Ground floor windows shall be provided along the front sidewalk to maintain the pedestrian orientation of the streetscape and upper story windows shall not be incompatible with the rhythm and proportions of windows on other buildings along the block.

D. *Parking.* Parking lots shall meet the following requirements:

1. Parking is permitted only in side and rear yards. When parking is located in a side yard (behind the front building line) and has frontage on a public right-of-way, no more than forty (40) percent of the total site's frontage shall be occupied by parking. Parking in the side yard shall be screened by a three-foot tall brick screening wall between the sidewalk and the parking lot. The screening wall shall be set back a minimum of three (3) feet and designed and located to ensure a safe, clear vision zone is provided for vehicles and pedestrians.

2.

Where off-street parking is proposed, at least sixty (60) percent of the site's frontage shall be occupied by usable building space to a depth of at least twenty (20) feet. Where a parking structure is provided, usable building space shall occupy at least sixty (60) percent of the site's frontage on the first level to a depth of at least twenty (20) feet.

3. Parking lot design shall conform to the requirements of Article 14, Off-Street Parking and Loading Standards and Access Design. Because the regulations of this section are intended to encourage pedestrian/transit friendly design and compact mixed-use development that requires less reliance on automobiles; on-site parking required under Article 14 may be waived under the following conditions:
  - a. The site is located within five hundred (500) feet of other parking facilities intended for public use, such as a municipal parking lot, parking structure or on-street parking that provides adequate parking spaces to serve the proposed use.
  - b. Failure to provide on-site parking shall be deemed to constitute and acknowledgement and acceptance of a benefit (i.e., the relaxation of on-site parking standards) such that, if the city establishes a special assessment district to fund the construction operation and maintenance of public parking that will serve the property, the property owner agrees to become part of such district and further agrees to payment of the assessment in lieu of providing on-site parking. The city may require a written acknowledgement with respect to the benefit provided.
- E. *Landscaping.* For buildings that comply with the front build-to requirements of this section, street trees located within the public sidewalk may be used to satisfy the frontage landscaping requirements of Article 15, Landscaping Standards. Where existing street trees along the frontage are in poor condition, the planning commission may require replacement of the trees. Where there are no street trees along the site frontage, or there is a gap of sixty (60) feet or more between existing trees, the planning commission may require the installation of a new tree, with a tree grate that matches the other tree grates used in the downtown.
- F. *Access Management.* Refer to Article 14, Off-Street Parking and Loading Standards and Access Design, for access management requirements. In addition to current access management standards, a strong emphasis shall be placed in the CBD to

limit driveways on Grand River Avenue and Farmington Road. Whenever possible, existing driveways shall be removed and access provided to the site from rear access or from an intersecting side street.

G. *Lighting.* Refer to section 35-48, exterior lighting, for lighting requirements.

(Ord. No: C-746-2010, § 1, 4-19-10)

Sec. 35-105. - Central Business District—Residential Design Standards.

The regulations of this section shall apply to buildings and sites that contain only residential and residential accessory uses. Mixed-use developments with residential uses above commercial uses must comply with section 35-104. Any new residential development in the CBD that requires planning commission or council approval under Article 13, Site Plan Review, shall be first reviewed by the DDA design committee prior to being placed on the agenda for review by the planning commission. The DDA design committee shall review the site plan and building architecture for compliance with the requirements of this section and provide a recommendation to the planning commission.

A. *Area, Bulk and Density Requirements.*

1. *Lot Area and Width.* There is no required minimum lot area or width.
2. *Density.* Density permitted by right shall be thirty-four (34) dwelling units per acre, provided the planning commission may approve an increased density of up to forty-seven (47) units per acre for projects approved as a PUD under Article 10, PUD.
3. *Setback Requirements.* The required residential building setbacks promote streetscapes that are consistent with the desired character of the CBD and reinforce a pedestrian orientation and built-up streetscape. The setback requirements for areas that abut single-family residential zones promote development that will maintain light, air, and the potential for privacy for adjacent residential zones.

	Setback
Front	The building shall be set back a minimum of 5 feet, provided a stoop, steps or ramp may project into the required front yard.

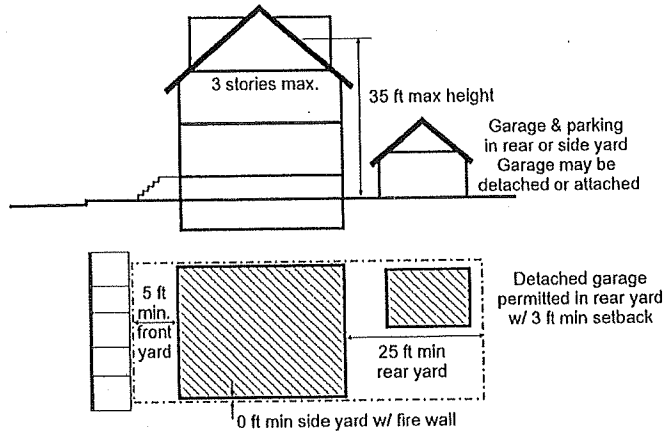
Side	There shall not be a minimum setback required, provided a side wall of a building that is not a fire rated wall or contains windows shall be set back a minimum of 10 feet from the side lot line.
Rear	The minimum rear yard setback shall be 25 feet.
Lot line abutting a residential zone	Where the side or rear lot line adjoins a lot that is zoned single-family residential, a minimum 30 foot setback shall be provided.

4. *Building Height.* The height limits are intended to control the overall scale of buildings and to discourage buildings that visually dominate adjacent residential areas.

Requirement	Maximum (a), (b), (c)
Building height	35 feet
Number of stories	3

- a. If a development is proposed as a planned unit development (PUD), the planning commission may approve an increase in the maximum building height and number of stories, if either one (1) of the following apply:
  - (1) The proposed development will provide a setback equal to its height from any adjoining single-family residential zoning district;

Residential use building placement



(2) A minimum of fifteen (15) percent of the site will be set aside as open space in the form of a pocket park, pedestrian plaza, or recreational area; or

(3) The additional height or floors are being transferred from another building in the CBD that is below the corresponding height requirement and is being preserved with a recorded deed restriction and historic preservation easement under Michigan Public Act 451 of 1994.

b. Refer to section 35-42, exceptions to height limit, for allowable building height projections.

c. Basements and below-grade garages shall not be included in the calculation of height or number of stories.

*B. Pedestrian-Oriented Design Requirements.*

1. An interconnected street and sidewalk network shall be provided to unify neighborhoods and provide more convenient access to businesses and community facilities.
2. Sidewalks shall be a minimum of five (5) feet wide, seven (7) feet wide where abutting a parking space or a road curb. The planning commission may require a wider sidewalk if needed to be consistent with the adjoining sidewalk system.
3. Pedestrian-scale ornamental street lighting shall be provided along all sidewalks and within parking areas.

*C. Building Design.*

- 1.



Residential buildings shall utilize high-quality traditional architecture, such as but not limited to: Arts and Crafts, Colonial, Gothic Revival, Italianate, Tudor, Victorian and other traditional styles characteristic of the Midwestern United States and with historic buildings in the city, including modern variations of traditional styles.

2. All residential units shall provide a pedestrian door facing the front lot line.
3. The front facade of all residential units shall be at least fifteen (15) percent windows or doors.
4. All dwellings shall include a front porch or front stoop with steps or an accessible ramp.
5. All buildings shall utilize high quality building materials that are in keeping with traditional architectural styles of the downtown. Permitted wall materials include, brick, stone, wood and fiber cement siding. Vinyl siding shall not be utilized, except the planning commission may permit limited use of vinyl siding on facades not visible from the street.
6. Garage doors shall be located on the side or rear of the building. Garage doors shall not be visible from Farmington Road or Grand River Avenue. The planning commission may prohibit or limit visibility from other side streets as determined appropriate when considering visibility from the public right-of-way and orientation of the front of the proposed units.

D. *Parking.*

1. Shall meet the requirements of Article 14, Off-Street Parking and Loading Standards and Access Design. The planning commission may reduce the number of parking spaces required to one and one-half (1.5) per dwelling unit where on-street parking is provided for guest parking at the rate of one-half (0.5) spaces per dwelling unit.
2. Parking shall not be permitted between the front of the building containing the pedestrian entrance and the front lot line. Off-street parking shall be to the side or rear of the building. Where side yard parking is visible from the street, a streetwall shall be provided consisting of a picket fence, ornamental wrought iron fence, a brick wall or a continuous evergreen hedge.

E. *Landscaping.* Shall meet the requirements of Article 15, Landscaping Standards.

(Ord. No. C-746-2010, § 1, 4-19-10)

Sec. 35-106. - Site Development Requirements.

All uses permitted by right and special land uses are subject to the following site development requirements:

- A. General provisions in accordance with Article 2, General Provisions.
- B. Site plan review as may be required in accordance with Article 13, Site Plan Review.
- C. Off-street parking and loading as may be required in accordance with Article 14, Off-Street Parking and Loading Standards and Access Design.
- D. Landscaping and tree replacement as may be required in accordance with Article 15, Landscape Standards.

(Ord. No. C-746-2010, § 1, 4-19-10)

Secs. 35-107—35-110. - Reserved.

ARTICLE 8. - IND INDUSTRIAL DISTRICT

Sec. 35-111. - Intent.

The intent of the IND Industrial district is to encourage the development of industrial establishments in settings conducive to public health; economic stability and growth; protection from blight, deterioration and nonindustrial encroachment; and efficient traffic movement including employee and truck traffic. Land appropriate for this district is limited in availability and is therefore primarily restricted to industrial use in the interest of the community's tax base and its economic growth and development.

The IND Industrial district is also designed to provide locations for retail and service businesses that are industrial in nature. Uses may include automotive repair, landscape supplies, home improvement supplies, contractors and self-storage facilities. The nature of these uses would not be compatible with other commercial shopping areas of the city due to the character of buildings, large amount of outdoor storage and use of trucks, and construction equipment. Recreational uses due to the nature of the use and size of buildings may also be appropriate in this district.

(Ord. No. C-746-2010, § 1, 4-19-10)

Sec. 35-112. - Table of Uses.

Use P: Use is permitted by right in district SLU: Special Land Use in accordance with <u>Article 12</u> , Special Land Uses	IND
<i>INDUSTRIAL:</i>	
Light industrial facilities (a)	P
General industrial facilities (b) <i>(W/NO RESIDENTIAL/COMMERCIAL)</i>	P
Heavy industrial facilities (c)	SLU
Indoor self-storage facilities	P

Outdoor storage (accessory use only)	SLU
Warehouses	P
<i>RETAIL:</i>	
Commercial outdoor display and sales	SLU
Garden centers and nurseries	P
Home improvement showrooms and supply stores	P
Pawn shops	SLU
<i>SERVICES/OFFICE:</i>	
Animal grooming and training establishments	SLU
Blueprinting and photostating establishments	P
Contractor's establishments, including showrooms and storage yards as accessory uses only	SLU
Dry cleaning plants	P
Kennels	SLU
Landscaping services	SLU
Professional offices and service establishments	P
Printing and publishing establishments	P
Radio, television, recording and movie studios	P

Repair services	P
Tool and equipment rental	SLU
Veterinary offices, clinics and hospitals	SLU
Adult regulated uses	SLU in accordance with <u>Sec. 35-158, Adult Regulated Uses</u>
<i>AUTOMOBILE USES:</i>	
Automobile and truck repair facilities	P
Automobile gasoline stations	SLU
Automobile maintenance/service facilities	SLU
Automobile, vehicle and truck rental and leasing establishments	SLU
Automobile wash establishments	SLU
<i>INSTITUTIONAL:</i>	
Adult and child care facilities	In accordance with <u>Sec. 35-25, Adult and Child Residential Care Facilities</u>
Business, trade and vocational schools	SLU
Municipal buildings and structures	P
<i>RECREATIONAL:</i>	

Recreation facilities, indoor and outdoor, commercial and public	P
<i>RESIDENTIAL:</i>	
Living quarters of a watchman or caretaker employed on the premises	SLU
<i>OTHER/ACCESSORY:</i>	
Accessory buildings, structures and uses	In accordance with <u>Sec. 35-43</u> , Accessory Buildings
Essential public services	P
Essential public service buildings	SLU
Essential public service storage yards	SLU
Wireless communication towers and antennae	SLU

*Special Provisions*

- (a) Light industrial uses include, but are not limited to: Engineering, experimental and testing laboratories; research and development facilities; corporate offices.
- (b) General industrial uses include, but are not limited to: The assembly, manufacture, compounding, processing, packaging or treatment from previously prepared materials, or repair, of products; the assembly, manufacture, fabrication, processing, packaging, or treatment of products indoors from previously prepared material including bone, canvas, cellophane, cloth, cork, elastomers, feathers, felt, fibre, fur, glass, hair, horn, leather, paper, rubber, precious or semiprecious metals or stones, shell, textiles, tobacco, wax, wire, wood (planing mills shall not be permitted) and yarns; breweries,

distilleries, and wineries; painting and varnishing shops; printing, lithography, blueprinting, publishing and similar uses; tool, die, gauge, and machine shops; warehousing and wholesale establishments; and material distribution facilities.

(c) Heavy industrial uses include, but are not limited to: Canning factories and food processing, excluding slaughtering or rendering; cogeneration plants; concrete and asphalt batch plants; extractive operations (sand, gravel mining, etc.); heating and electric power generating plants; incinerators, recycling centers, and composting facilities; lumber and planing mills; metal plating, buffing and polishing and salvage yards.

(Ord. No. C-746-2010, § 1, 4-19-10)

Sec. 35-113. - Lot and Yard Requirements.

	IND
Minimum lot area	-
Minimum lot width	-
Minimum front yard setback (b)	25
Minimum side yard setback - least one (a) (b)	10
Minimum side yard setback - total (b)	-
Minimum rear yard setback (b)	20
Minimum useable floor area (square feet)	800
Maximum lot coverage	-
Maximum height	
- In feet	40
- In stories	2

Special Provisions

- (a) *Side Yards.* No side yards are required, however a minimum side yard of ten (10) feet shall be required where side walls are not wholly without windows, doors or other openings and are not of fireproof construction.
- (b) *Adjacent to Residential.* Any yard adjacent to a residential district or use shall be a minimum of twenty (20) feet.

(Ord. No. C-746-2010, § 1, 4-19-10)

Sec. 35-114. - Site Development Requirements.

All uses permitted by right and special land uses are subject to the following site development requirements:

- A. General provisions in accordance with Article 2, General Provisions.
- B. Site plan review as may be required in accordance with Article 13, Site Plan Review.
- C. Off-street parking and loading as may be required in accordance with Article 14, Off-Street Parking and Loading Standards and Access Design.
- D. Landscaping and tree replacement as may be required in accordance with Article 15, Landscape Standards.

(Ord. No. C-746-2010, § 1, 4-19-10)

Secs. 35-115—35-120. - Reserved.



<b>Farmington Planning Commission Staff Report</b>	<b>Planning Commission Date:</b> February 14, 2022	<b>Reference Number</b> 6
<b>Submitted by:</b> Kevin Christiansen, Economic and Community Development Director		
<b>Description</b> Review and Discussion - Zoning Ordinance Audit		
<b>Background</b>  This item is a review and discussion of the audit of the City of Farmington Zoning Ordinance. Attached is a link to Chapter 35, Zoning, of the City of Farmington Code of Ordinances.  <a href="https://library.municode.com/mi/farmington/codes/code_of_ordinances?nodeId=PTIICOOR_CH35ZO">https://library.municode.com/mi/farmington/codes/code_of_ordinances?nodeId=PTIICOOR_CH35ZO</a>  Attachment		

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ROSATI | SCHULTZ  
JOPPICH | AMTSBUECHLER

## MEMORANDUM

TO: Farmington Planning Commission

FROM: Beth Saarela, Assistant City Attorney

DATE: February 11, 2022

RE: **Zoning Ordinance Audit**  
**Articles 8 through 11**

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We will be reviewing Articles 8 through 11 of Chapter 35, City of Farmington Zoning Ordinance at the February 14, 2022 meeting, which address the following regulations and uses:

- **ARTICLE 8. - IND INDUSTRIAL DISTRICT**
- **ARTICLE 9. - R1P SINGLE-FAMILY PARKING DISTRICT**
- **ARTICLE 10. - PUD PLANNED UNIT DEVELOPMENT**
- **ARTICLE 11. - GRC GRAND RIVER CORRIDOR OVERLAY DISTRICT[3]**

With respect to the Zoning Districts, review should be focused on the need to add new or additional uses, or to modify any regulations that would allow the City to address the planning considerations identified in the Master Plan for each District.

With respect to the PUD Ordinance, review should focus on whether the process has been successful and the need for any changes to procedure.

cc: Kevin Christiansen, Economic and Community Development Director  
Mary Mullison, City Clerk

## Calendar for Fiscal Year 2023-28 Capital Improvement Program Process

October	Planning Meeting to discuss calendar David, Kevin, Chuck, Chris
October 8	Meeting with Beautification Committee
October 15	South Farmington Baseball and Softball
October 27	Department Heads meet to discuss CIP Program at Department Head Meeting.
November 3	DDA Meeting to discuss CIP and appoint Kate or a Board member to Steering Committee. Items must be submitted by January 7.
November 8	Planning Commission meets to discuss CIP Program and appoint a member to serve on the committee. Items must be submitted by January 12.
November 10	Pathways Committee to formalize items for submission to CIP Steering Committee
November 11	CIA Meeting to discuss CIP Program and appoint representative to CIP Steering Committee. Items must be submitted by January 7.
November 15	City Council meets to discuss CIP Program and to appoint representative to CIP Steering Committee. Items must be submitted by January 5.
November 17	Parking Committee to formalize items for submission to CIP Steering Committee.
December 1	DDA to formalize items for submission to CIP Steering Committee.
December 6	Council to formalize items for submission to CIP Steering Committee.
December 10	City Manager's Office to schedule 3 meetings in January/February for CIP Steering Committee.
December 9	CIA to formalize items for submission to CIP Steering Committee.

- December 10 Department Heads to formalize items for submission to CIP Steering Committee
- December 13 Planning Commission to formalize items for submission to CIP Steering Committee
- December 13 All Submittals in
- December 17 Draft Schedule of Capital Improvements circulated to CIP Steering Committee.
- Jan 2 – Feb 5 CIP Steering Committee meets to create CIP.
- Feb 7 Planning Commission schedules public hearing for March 14.
- Feb 7 – Feb 18 Draft CIP created.
- Feb 20 E&CD advertises Public Hearing for FY 2023-28 CIP on February 11 and posts plan on website on February 18.
- March 14 Planning Commission meets to hold public hearing regarding CIP and possibly approve plan.
- April 11 Planning Commission meets to approve CIP if not already approved on March 8.
- April 18 City Manager submits CIP along with proposed budget to City Council.
- April 25 City Council Budget Review Session & Review of DDA Budget.
- April 26 - May 16 City Council reviews and adjusts proposed budgets.
- May 16 City Council schedules budget and millage public hearing for June 20.
- June 6 City Clerk advertises Public Hearing for FY 2022-23 Budget.
- June 20 City Council holds Public Hearing regarding FY 2022-23 Budget and Millage Rate, and considers adoption.
- June 22 City Clerk publishes summary of adopted budget.

Planning Commission  
 Department Heads

DDA  
City Council  
CIA