



**Regular Planning Commission Meeting  
7:00 PM, MONDAY, NOVEMBER 9, 2015  
Conference Room  
Farmington City Hall  
23600 Liberty St  
Farmington, MI 48335**

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**REGULAR MEETING AGENDA**

**I. ROLL CALL**

**II. APPROVAL OF AGENDA**

**III. APPROVAL OF ITEMS ON THE CONSENT AGENDA**

**A. October 12, 2015 Minutes**

**1. October 12, 2015 Meeting Minutes**

**IV. FINAL PUD PLANNED UNIT DEVELOPMENT SITE PLAN REVIEW AND APPROVAL**

**1. Orchards Phase II, 33300 Slocum Drive**

**V. ELECTION OF OFFICERS**

**A. Accept Nominations for Chairperson**

**B. Accept Nominations for Vice Chairperson**

**C. Accept Nominations for Secretary**

**1. Election of Officers - Chairperson, Vice Chairperson and Secretary**

**VI. PUBLIC COMMENT**

**VII. PLANNING COMMISSION COMMENT**

**VIII. ADJOURNMENT**

**Farmington City Council  
Staff Report**

**Council Meeting Date:**  
November 9, 2015

**Reference  
Number  
(ID # 2051)**

**Submitted by:** Kevin Christiansen, Economic Community Development Director

**Description:** October 12, 2015 Meeting Minutes

**Requested Action:**

Approve

**Background:**

**Agenda Review**

**Review:**

Kevin Christiansen      Pending

City Manager      Pending

Planning Commission      Pending      11/09/2015 7:00 PM

FARMINGTON PLANNING COMMISSION PROCEEDINGS  
 City Council Chambers, 23600 Liberty Street  
 Farmington, Michigan  
 October 12, 2015

Chairperson Bowman called the Meeting to order at 7:00 p.m. at City Council Chambers, 23600 Liberty Street, Farmington, Michigan, on Monday, October 12, 2015.

**ROLL CALL**

Present: Bowman, Buyers, Chiara, Crutcher, Gronbach,

Absent: Majoros

A quorum of the Commission was present.

**OTHER OFFICIALS PRESENT:** Director Christiansen

**APPROVAL OF AGENDA**

MOTION by Chiara, seconded by Crutcher, to approve the agenda as submitted.

Motion carried, all ayes.

**APPROVAL OF ITEMS ON CONSENT AGENDA**

**a. Minutes of Regular Meeting – September 14, 2015**

Motion by Buyers, seconded by Crutcher, to approve the items on the Consent Agenda.  
 Motion carried, all ayes.

**REVIEW OF ORCHARD LAKE/10 MILE ROADS PLACEPLANS PROJECT**

Chairperson Bowman introduced this agenda item and turned it over to staff.

Christiansen stated at the June 17, 2015 Orchard Lake and Ten Mile Road PlacePlans Meeting the final report and design proposal for the future redevelopment and enhancement of the Orchard Lake/Ten Mile Road Intersection area was presented to the cities of Farmington and Farmington Hills. The purpose of the itme this evening is to review the plan and to accept it as part of the City of Farmington Master Plan and Comprehensive Plan Program. All information was attached with the staff report in the Commissioners' packets. Christiansen presented the plan on the overhead. He indicated that the plan is on the City's website as well as Farmington Hills website.

He stated that PlacePlan is a statewide program sponsored by the Michigan State Housing Development Authority, Michigan State University and the Michigan Municipal League, MML, and supports local projects focused on creating a community and a vision for selective neighborhoods. The Cities of Farmington Hills and Farmington submitted a PlacePlan Application for the Orchard Lake and Ten Mile Road Intersection. The City's project was selected and has been working in partnership with

City of Farmington Planning Commission

Minutes of October 12, 2015

Page 2

MML, Lawrence Technological University, Master of Urban Design Program, Faculty and Graduate Students and the Detroit Studio Community Outreach Program on this study. The report is a documented account of both research and design efforts that have been made in reimagining the transformation of the Ten Mile and Orchard Lake Intersection into a sense of place. He stated the culmination of the efforts of all involved in presented in the report.

He went through the process was initial engagement, meetings with both cities with those that supported, provided service, and also directly engaging stakeholders, the residents of the community in the area, residents of both cities, as well as the business owners and property owners, nonresidential properties, both commercial, office and other properties that were nonresidential. He detailed what was involved in the process resulting in the final plan being put together, the report before the Planning Commission tonight.

Christiansen talked about the vision for enhancement of Ten Mile and Orchard Lake Roads. He stated there was a circulation analysis done showing commute time, sidewalk circulation, public bus routes existing, adjacent communities.

He showed an aerial photo of community amenities and businesses, to see existing conditions, parking lots and parking areas, landscaping, sidewalk, and the mix of various elements in the area.

He stated there was a natural system analysis, taking a look at existing conditions with respect to vegetation and other elements. There was tree information, tree canopy information, a demographic analysis, age, income, other sort of demographic data was evaluated, Farmington/Farmington Hills population information, forecast in population, median age projected 2016, median household income, and a photo analysis of existing conditions.

He talked about Greene's Hamburgers, the icon of the intersection, and its import to the area.

He indicated the Analysis and Hypothesis Section talks about the surrounding commercial/residential area of the intersection. The revised circulation system was shown that better connects buslines, integrating bike paths, to develop a bike network of the City. He stated that the Community Engagement part of the report discusses a little bit of the survey of the business owners and their responses.

He then presented the proposed design of the area, a concept design better identifying delineating pedestrians crossings at the intersection, infill opportunity with new development, streetlights that are LED based and energy efficient, biking and walking designated lanes and examples of pocket parks, pedestrian islands, landscape buffers, street lights, vegetated boulevard.

He went over in detail more information on the area. He stated he wanted to inform the Planning Commission on what was done and why and who was involved and also really what the plan represents. He stated the next step would be to move beyond the concept and to look to establish a more specific focus.

In summary he stated that they did not get into any level of detail or laying up a specific timeline or anything in terms of detailed projects, nor were any funding sources identified to implement any of the plan.

Bowman thanked Christiansen and acknowledged the long process it took to study this project and including residents and stakeholders to participate.

Christiansen stated it was basically an inventory of existing conditions that is now documented and will gain input from those that really care about this area, by living here, work here, shop here, play here, property owners, business owners, and it was an opportunity to take a look at the existing conditions and have dialogue and exchange ideas, share information and produce a document that represents all of that that provides a foundation or basis to go forward in the future for redevelopment.

Christiansen indicated Administration is asking the Planning Commission to accept the Orchard Lake/Ten Mile Roads PlacePlans as part of City of Farmington Master Plan and Comprehensive Planning Program.

Motion by Gronbach, supported by Chiara, that the Orchard Lake/Ten Mile Roads Placeplan Project be accepted by the Planning Commission and included as part of the City of Farmington's Master Plan and Comprehensive Planning Program.

Motion carried, all ayes.

### **PLANNING COMMISSION APPOINTMENT TO RECREATION MASTER PLAN COMMITTEE**

Chairperson Bowman introduced this agenda item and turned it over to staff.

Christiansen stated the September 21<sup>st</sup> Special Meeting the City Council agreed to move forward with the Farmington Parks and Recreation Master Plan Update. Administration is now in the process of putting together a committee to spearhead this process. City Council appointed one member to the committee at its October 5<sup>th</sup> Special Meeting. Also, the Downtown Development Authority appointed a member to the Committee at its meeting last Wednesday. The Planning Commission must also appoint one member to the committee so that we can move forward with Recreation Master Plan Update.

He gave a brief overview, stating that the City of Farmington Recreation Master Plan was initiated in 2004, its current plan was completed and adopted in 2005. So it is at a point where it needs to be reviewed, evaluated and updated, and there are also changes over the last ten years that need to be incorporated into the Recreation Master

Plan. Also, the Michigan Department of Natural Resources, their recreation division looks to potentially consider providing a level of assistance and in particular being eligible communities to receive grant monies if their Recreation Master Plan and Parks and Recreation Master Plan is current, that status being if it is within five years since it's last been updated.

Christiansen indicated that Council has made a decision to have a Recreation Master Plan Update that will take about six months, starting in October and carry on through the fall and winter with a draft plan being available for review in approximately February of 2016. He stated a decision was made to create a five member committee that consists of a member of City Council, and a member of the Downtown Development Authority, a member of the Planning Commission, a resident member at large and then a rotating member of various stakeholder groups. He said they are looking to hold one meeting a month and needs a representative from the Planning Commission to participate.

Buyers volunteers to accept the position.

MOTION by Crutcher, supported by Chiara, to move to accept Paul Buyers as the Planning Commission member of the Recreation Master Plan Committee.  
 Motion carried, all ayes.

Bowman thanked Buyers for his volunteering to serve.

### **PUBLIC COMMENT**

None heard.

### **PLANNING COMMISSION COMMENTS**

Buyers asked Christiansen about the barrels that were up on the south side of Grand River and what feedback he has received on same and further discussion was held.

Bowman commented that Exxon has paved and striped their parking lot.

Buyers inquired of Fresh Thyme's intention of putting up steel before the weather breaks.

Crutcher stated they are digging foundation today

### **STAFF COMMENTS**

None heard.

**ADJOURNMENT**

MOTION by Gronbach, seconded by Crutcher, to adjourn the meeting.  
Motion carried, all ayes.

The meeting was adjourned at 7:55 p.m.

Respectfully submitted,

\_\_\_\_\_  
Secretary

**Farmington City Council  
Staff Report**
**Council Meeting Date:**  
November 9, 2015

**Reference  
Number  
(ID # 2052)**
**Submitted by:** Kevin Christiansen, Economic Community Development Director

**Description:** Orchards Phase II, 33300 Slocum Drive

**Requested Action:**

Approve

**Background:**

This item is a Final Site Plan Review on a proposed PUD Planned Unit Development Plan for the redevelopment of the DDA property located at 33300 Slocum Drive. At the June 8, 2015 Planning Commission Meeting, the Commission held a pre-application conference (discussion and review) with the applicant on a proposed PUD planned unit development concept plan for the redevelopment of the site. A second pre-application conference (discussion and review) with the applicant on a revised proposed PUD planned unit development concept plan was held at the August 10, 2015 Planning Commission meeting. At the September 14, 2015 Planning Commission meeting, the Commission held the required PUD Public Hearing and recommended approval of the preliminary/conceptual PUD Plan to the City Council. At their September 21, 2015 meeting, the City Council approved the preliminary/conceptual PUD plan for Orchards Phase II.

The applicant, Cervi Construction, LLC of Livonia, MI has submitted a Final PUD Site Plan for the redevelopment of 33300 Slocum Drive. The final site plan includes a boundary/topographic survey, a detailed final site plan and a landscape plan. Also attached is a photometric plan. The following additional information is attached:

- A Final PUD Site Plan review letter from LSL Planning dated 11/4/15.

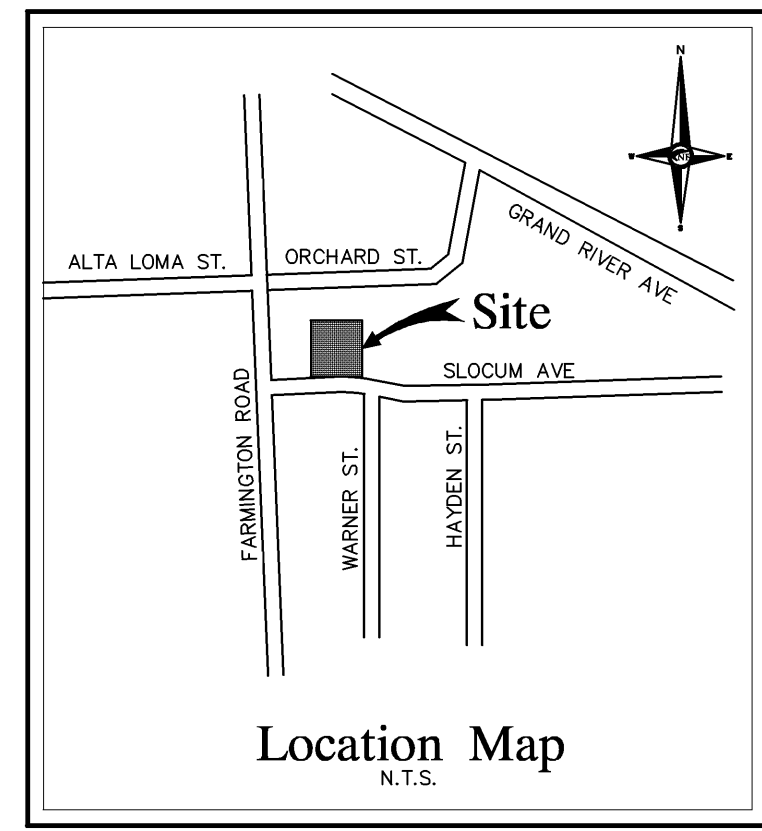
The applicant will be at the November 9, 2015 meeting to present the Final PUD Site Plan to the Commission.

Attachments

**Agenda Review**
**Review:**

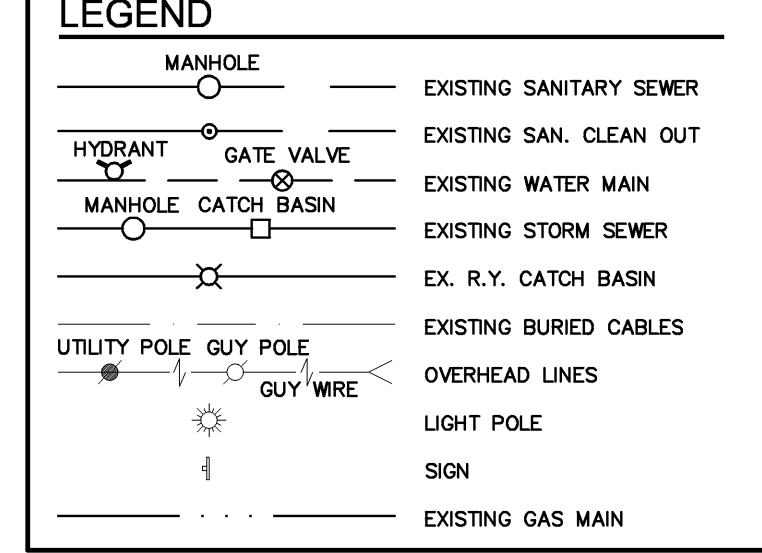
<b>Kevin Christiansen</b>	<b>Pending</b>	
<b>City Manager</b>	<b>Pending</b>	
<b>Planning Commission</b>	<b>Pending</b>	<b>11/09/2015 7:00 PM</b>





**NOWAK & FRAUS ENGINEERS**  
46777 WOODWARD AVE.  
PONTIAC, MI 48342-5032  
TEL. (248) 332-7931  
FAX. (248) 332-8257

**LEGEND**



**PROJECT**

Townhouse  
Condominium  
Development

**CLIENT**

Cervi Construction, LLC  
12419 Stark Road  
Livonia, MI 48150

**Contact:**

Fabio Cervi  
Tel: (737) 261-4300  
Fax: (248) 388-7436

**PROJECT LOCATION**

Part of the W 1/4  
of Section 27  
T.1N., R.9E.  
City of Farmington,  
Oakland County, Michigan

**SHEET**

Boundary / Topographic /  
Tree Survey



Know what's below  
Call before you dig.

DATE	ISSUED / REVISED

**DRAWN BY:**

**DESIGNED BY:**

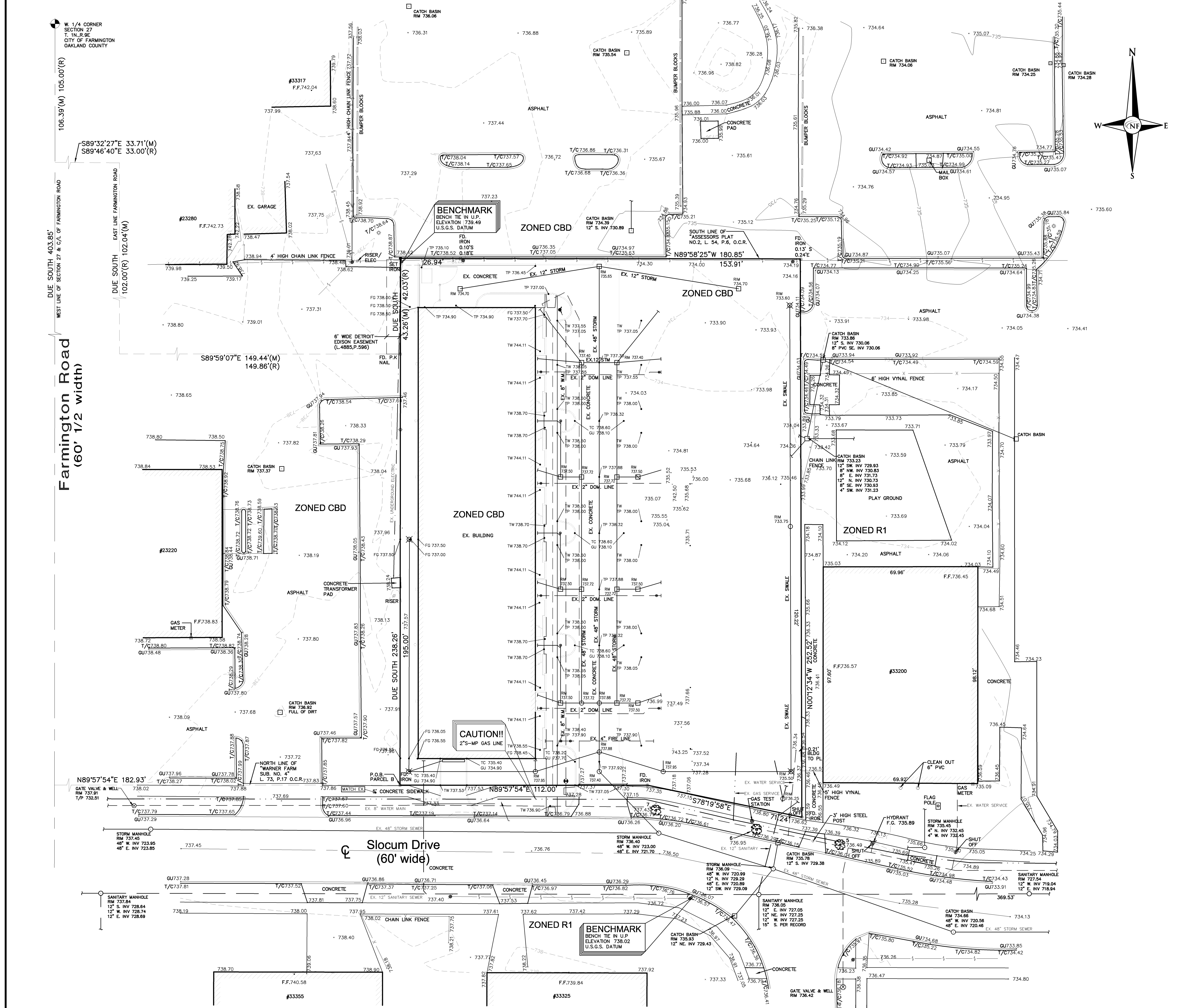
**APPROVED BY:**

P. Williams  
DATE:

01-28-14  
SCALE: 1" = 20'

NFE JOB NO. SHEET NO.  
D347-02 SP-1

Packet Pg. 9



**LEGAL DESCRIPTION**

A PARCEL OF LAND IN THE WEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 27, TOWN 1 NORTH, RANGE 9 EAST, CITY OF FARMINGTON, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS BEGINNING AT A POINT IN THE EAST LINE OF FARMINGTON ROAD LOCATED DUE SOUTH 433.85 FEET AND N.89°57'54"E, 182.55 FEET FROM THE WEST 1/4 CORNER OF SAID SECTION 27, THENCE N.89°57'54"E, 112.00 FEET; THENCE S.78°19'56"E, 71.24 FEET; THENCE N.00°12'34"W, 252.52 FEET; THENCE N.89°58'25"W, 180.85 FEET; THENCE DUE SOUTH 238.26 FEET TO THE POINT OF BEGINNING.

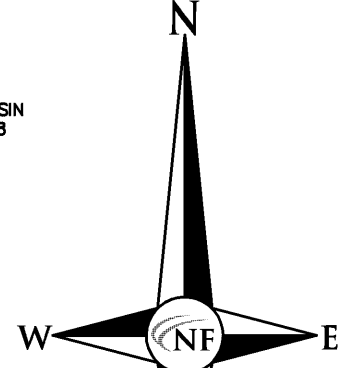
CONTAINING 43,678.28 SQUARE FEET OR 1.003 ACRES OF LAND.

**FLOOD HAZARD NOTE**

THIS PROPERTY IS NOT LOCATED WITHIN THE FLOOD HAZARD AREA INDICATED BY FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 260171 0005 B DATED: 07-16-80

**CAUTION!!**  
2"-MP GAS LINE

**BENCHMARK**  
BENCH TIE IN U.P.  
ELEVATION 738.02  
U.S.G.S. DATUM



Farmington Road  
(60' 1/2 width)

Slocum Drive  
(60' wide)

**TOPOGRAPHIC SURVEY NOTES**

ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.

UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.

THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER



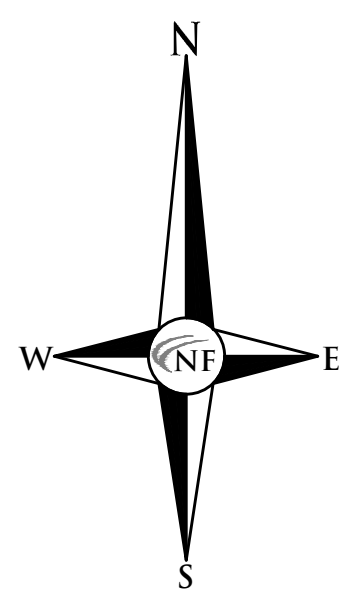


CIVIL ENGINEERS  
LAND SURVEYORS  
LAND PLANNERS

NOWAK & FRAUS ENGINEERS  
46777 WOODWARD AVE.  
PONTIAC, MI 48342-5032  
TEL. (248) 332-7931  
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Location Map  
N.T.S.



W. 1/4 CORNER  
SECTION 27  
T. 1N., R. 9E.  
CITY OF FARMINGTON  
OAKLAND COUNTY

106.39'(M) 105.00'(R)

S89°32'27"E 33.71'(M)  
S89°46'40"E 33.00'(R)

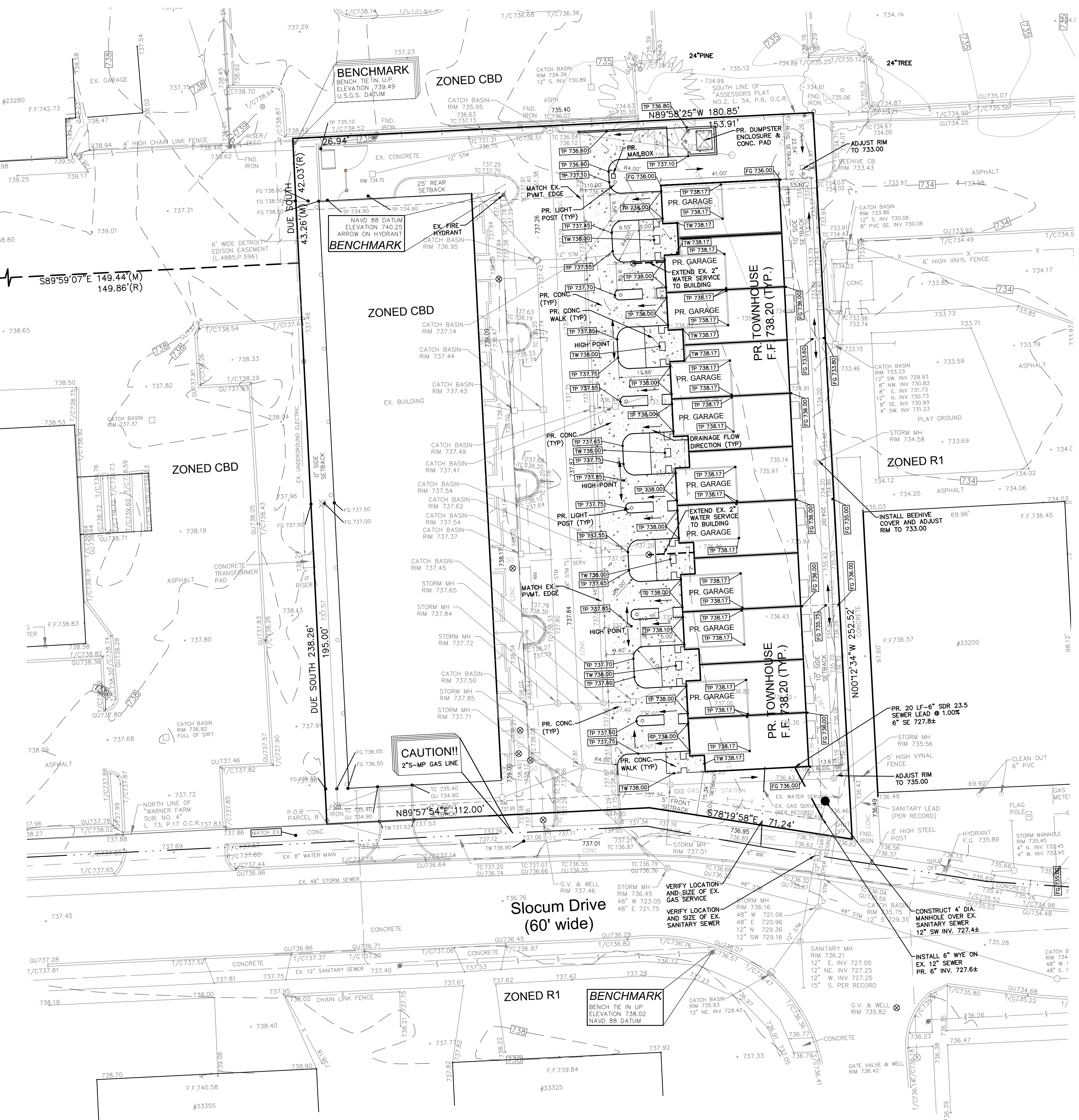
DUE SOUTH 403.85'  
WEST LINE OF SECTION 27 & C/L OF FARMINGTON ROAD

DUE SOUTH 102.00'(R) 102.04'(M)

EAST LINE FARMINGTON ROAD

S89°59'07"E 149.44'(M)  
149.86'(R)

Farmington Road  
(60' 1/2 width)



**LEGEND**

CLEAN-OUT	MANHOLE	EXISTING SANITARY SEWER
HYDRANT	GATE VALVE	EXISTING WATER MAIN
INLET	RYOB	EXISTING STORM SEWER
UTILITY POLE	GUY POLE	EXISTING BURIED CABLES
EXISTING LIGHT POLE	EXISTING SIGN	EXISTING GAS MAIN
C.O.	MANHOLE	PR. SANITARY SEWER
HYDRANT	GATE VALVE	PROPOSED WATER MAIN
INLET	RYOB	PROPOSED STORM SEWER
COMPACT TO 95% MAX. DENSITY		PR. SAND BACKFILL
A		UTILITY CROSSING
TC 600.00		PR. TOP OF CURB ELEVATION
GU 600.00		PROPOSED GUTTER ELEVATION
TW 600.00		PR. TOP OF WALK ELEVATION
TP 600.00		PR. TOP OF PAVEMENT ELEV.
FG 600.00		PROPOSED FINISH GRADE
600		PROPOSED CONTOUR
		PROPOSED SWALE
		PR. DRAINAGE DIRECTION
		PROPOSED INLET FILTER
		DRAINAGE AREA LIMITS
		PROPOSED SILT FENCE
		LIMITS OF SOIL DISRUPTION

**PAVING LEGEND**

[Pattern]	PROPOSED CONCRETE PAVEMENT
[Pattern]	PROPOSED ASPHALT PAVEMENT

**GENERAL NOTES**

EXISTING UTILITIES SHOWN ON SITE ARE PER RECORD AND SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.

SUMP DISCHARGE FOR THE PROPOSED BUILDING SHALL UTILIZE EXISTING STORM LEADS WHERE POSSIBLE.

DOWNSPOUTS AT REAR OF BUILDING SHALL SPLASH ON GRADE AND FLOW TO PROPOSED REAR YARD SWALES.

EXISTING UNDERGROUND DETENTION SYSTEM WAS DESIGNED TO SERVE THE EXISTING AND PROPOSED DEVELOPMENT.

**NOTE:**

A MINIMUM OF 6" HORIZONTAL SPACING IS REQUIRED FROM ALL PUBLIC UTILITIES.

**NOTE**

CONTRACTOR TO COORDINATE WITH MECHANICAL/ELECTRICAL PLANS FOR EXACT LOCATION OF GAS & WATER METER TIE IN.

ALL BUILDING CONSTRUCTION REQUIRES THE PAYMENT OF SANITARY SEWER AND WATER MAIN TAP FEES BASED UPON THE BUILDING SQUARE FOOTAGE AND BUILDING USE.

THE CONTRACTOR SHALL VERIFY BUILDING SERVICE LEAD SIZE AND LOCATIONS WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.

ALL TAPS OF 2" DIAMETER OR SMALLER ARE MADE BY THE OAKLAND COUNTY DRAIN COMMISSIONER OFFICE.

PROPOSED BUILDING TO BE CONSTRUCTED WITHOUT BASEMENT.

**SITE DATA**

**SITE AREA**  
GROSS: 43,680 SQUARE FEET OR 1.00 ACRES

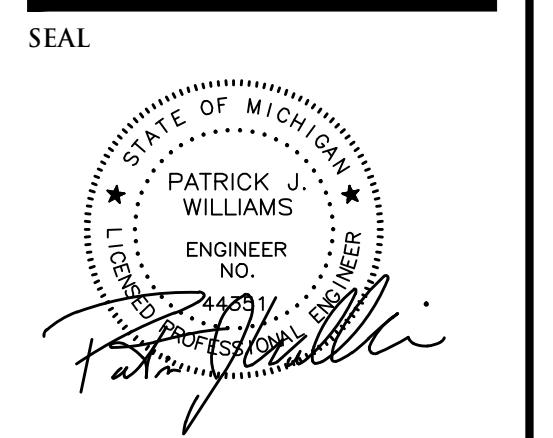
**BUILDING AREA**  
GROSS: = 8,062 S.F.

**ZONING**  
EXISTING: OMD CENTRAL BUSINESS DISTRICT

**SETBACKS:** REQUIRED PROVIDED  
FRONT SOUTH: 5' 15.34' (TO PR. BUILDING FACE)  
SIDE EAST: 0' 13.10' (TO PR. BUILDING FACE)  
SIDE WEST: 0'  
REAR NORTH: 25' 22.54' (TO PR. BUILDING FACE)

**BUILDING HEIGHT:**  
MAXIMUM: 35 FEET / 3 STORIES

**PARKING PROVIDED:**  
PARKING SHALL BE PROVIDED BY ENCLOSED SINGLE CAR GARAGE SPACES (ONE PER UNIT) WITH ONE SPACE IN FRONT FOR A TOTAL OF 2 SPACES PER UNIT.



**PROJECT**  
Townhouse  
Condominium  
Development

**CLIENT**  
Cervi Construction, LLC  
12419 Stark Road  
Livonia, MI 48150

**Contact:**  
Fabio Cervi  
Tel: (737) 261-4300  
Fax: (248) 388-7436

**PROJECT LOCATION**  
Part of the W 1/4  
of Section 27  
T. 1N., R. 9E.  
City of Farmington,  
Oakland County, Michigan

**SHEET**  
General Site Plan



**DATE** ISSUED / REVISED

**DRAWN BY:**  
A. Wiseman

**DESIGNED BY:**  
A. Wiseman

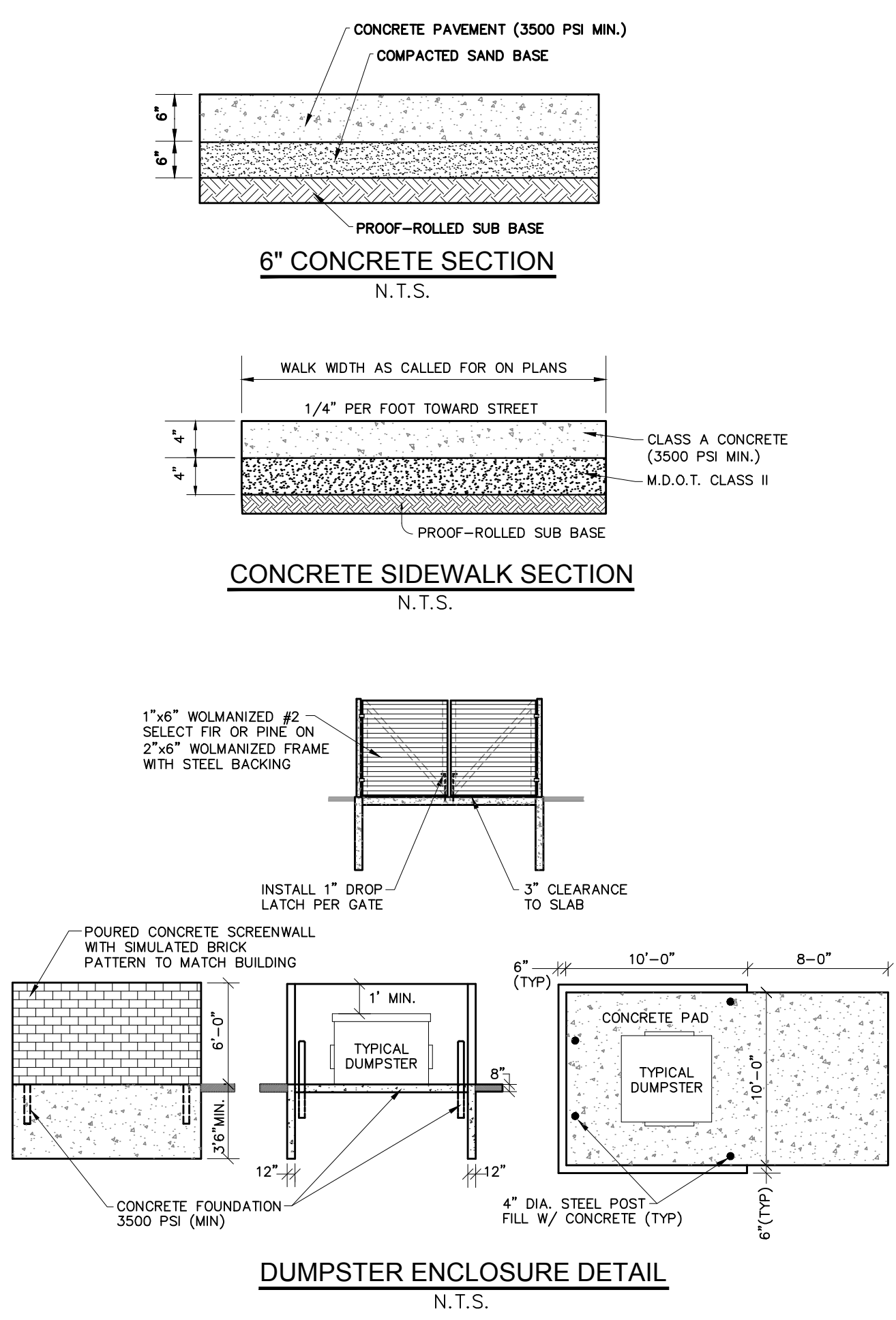
**APPROVED BY:**  
P. Williams

**DATE:**  
10-12-15

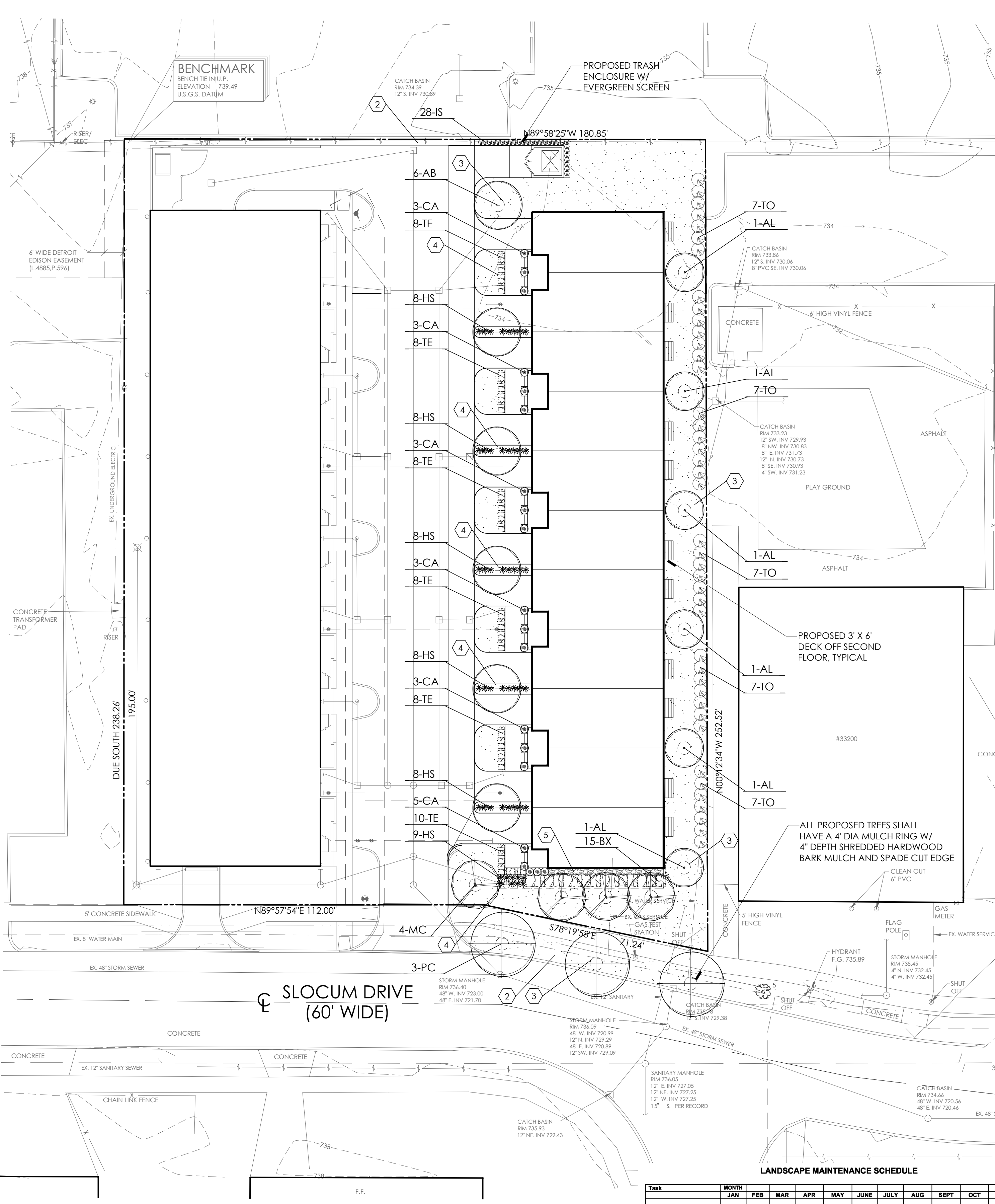
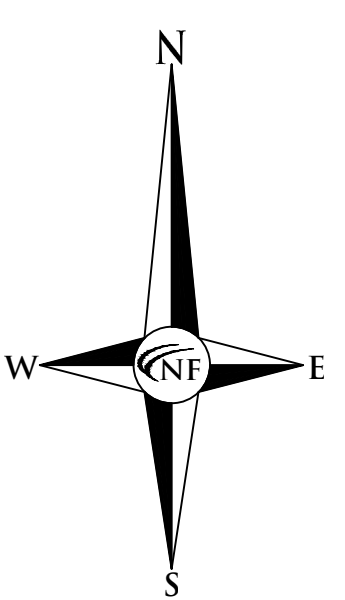
**SCALE:**  
1" = 20'

**NOT FOR CONSTRUCTION**

NFE JOB NO. **D347-02** SHEET NO. **SP-2**







**GROUND COVER KEY**

- 1 TYPICAL SOD LAWN AREAS, SOWN ON 3" TOPSOIL
- 2 RESTORE EXISTING LAWN AREAS W/ HYDROSEED AND MULCH
- 3 3-4" DIA SPADE CUT EDGE W/ 3" SHREDDED BARK MULCH
- 4 3" DEPTH DOUBLE SHREDDED HARDWOOD BARK MULCH
- 5 3/4" - 1 1/2" STONE MULCH, 3-4" DEPTH ON WEED BARRIER

**GENERAL LANDSCAPE NOTES**

- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, THE PLAN SHALL GOVERN QUANTITIES. CONTACT THE LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON-SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES AND SHALL REPORT ANY UNCORRECTABLE SITE CONDITIONS TO THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT.
- PLANTS SHALL BE FULLY BRANCHED AND IN HEALTHY, VIGOROUS GROWING CONDITION.
- PLANTS SHALL BE WATERED BEFORE AND AFTER PLANTING IS COMPLETE. ALL TREES MUST BE STAKED, FERTILIZED AND MULCHED AND SHALL BE GUARANTEED TO EXHIBIT A NORMAL GROWTH CYCLE FOR AT LEAST ONE (1) YEAR FOLLOWING PLANTING.
- ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED IN THE MOST RECENT EDITION OF THE "AMERICAN STANDARDS FOR NURSERY STOCK".
- CONTRACTOR WILL SUPPLY FINISHED GRADE AND EXCAVATE AS NECESSARY TO SUPPLY PLANT MIX DEPTH IN ALL PLANTING BEDS AS INDICATED IN PLANT DETAILS AND A DEPTH OF 4" IN ALL LAWN AREAS.
- PROVIDE CLEAN BACKFILL SOIL USING MATERIAL STOCKPILED ON-SITE. SOIL SHALL BE SCREENED AND FREE OF DEBRIS, FOREIGN MATERIAL, AND STONE.
- SLOW RELEASE FERTILIZER SHALL BE ADDED TO THE PLANT PITS BEFORE BARK BACKFILL. APPLICATION SHALL BE AT THE MANUFACTURER'S RECOMMENDED RATES.
- AMENDED PLANT MIX (PREPARED TOPSOIL) SHALL CONSIST OF 1/3 SCREENED TOPSOIL, 1/3 SAND, AND 2/3 TURF COOP COMPOST. MIXED WELL AND SPREAD TO A DEPTH AS INDICATED IN PLANTING DETAILS.
- ALL PLANTINGS SHALL BE MULCHED WITH SHREDDED HARDWOOD BARK, SPREAD TO A DEPTH OF 3" FOR TREES AND SHRUBS, AND 2" ON ANNUALS, PERENNIALS, AND GROUND COVER PLANTINGS. MULCH SHALL BE FREE FROM DEBRIS AND FOREIGN MATERIAL AND PRECISE ON INCONSISTENT SIZE.
- NO SUBSTITUTIONS OR CHANGES OF LOCATION, OR PLANT TYPE SHALL BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS PRIOR TO INSTALLATION.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL IN A VERTICAL CONDITION THROUGHOUT THE GUARANTEED PERIOD.
- THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE SHALL HAVE THE RIGHT TO REJECT ANY WORK OR MATERIAL THAT DOES NOT MEET THE REQUIREMENTS OF THE PLANS AND/OR SPECIFICATIONS.
- LANDSCAPE CONTRACTOR SHALL SEED AND MULCH OR SOO (AS INDICATED ON PLANS) ALL AREAS DESIGNATED AS SUCH ON THE PLANS THROUGHOUT THE CONTRACT LIMITS. FURTHER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING AREAS DISTURBED DURING CONSTRUCTION, NOT IN THE CONTRACT LIMITS, TO EQUAL OR GREATER CONDITION.
- ALL LANDSCAPE AREAS SHALL HAVE PROPER DRAINAGE THAT PREVENTS EXCESSIVE WATER FROM PONDING ON LAWN AREAS OR AROUND TREES AND SHRUBS.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND SYSTEM.

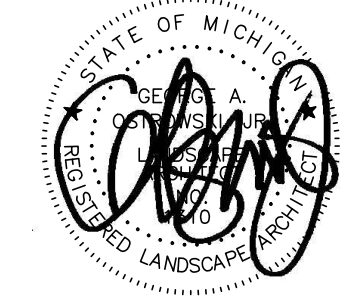


LOCATION MAP N.T.S.



**NOWAK & FRAUS ENGINEERS**  
 46777 WOODWARD AVE.  
 PONTIAC, MI 48342-5032  
 TEL. (248) 332-7931  
 FAX. (248) 332-8257

SEAL



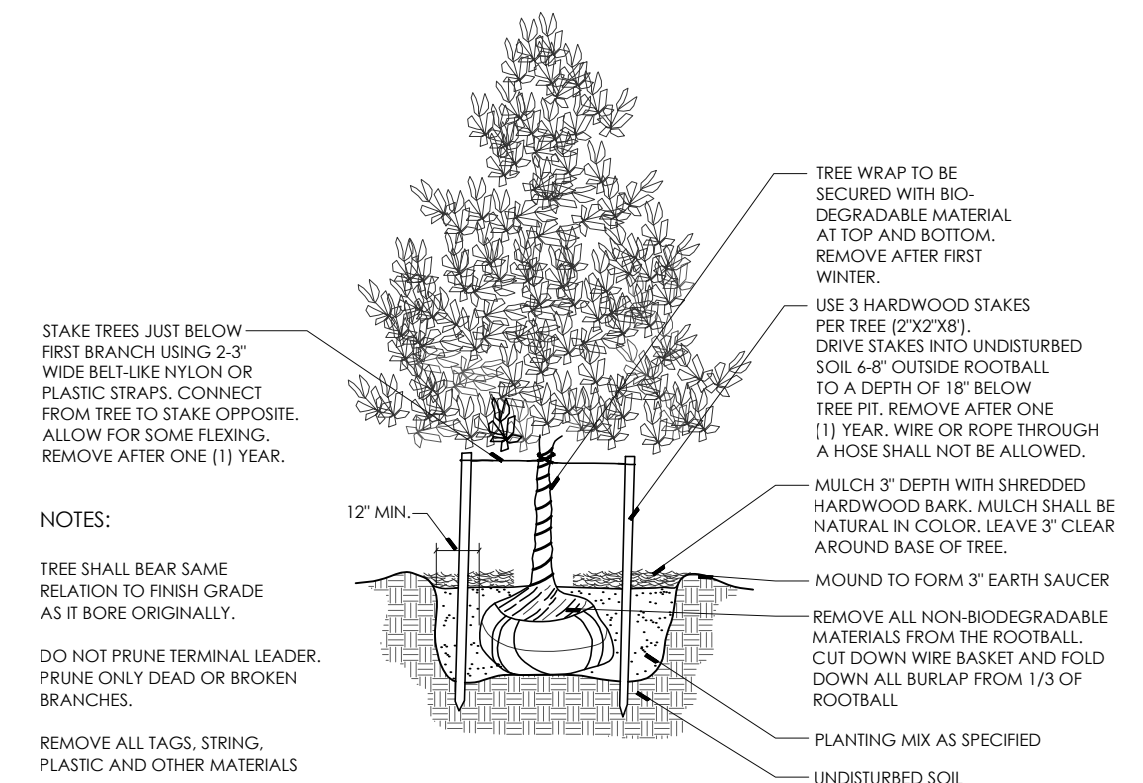
PROJECT  
 Townhouse  
 Condominium  
 Development

CLIENT  
 Cervi Construction, LLC  
 12419 Stark Road  
 Livonia, MI 48150

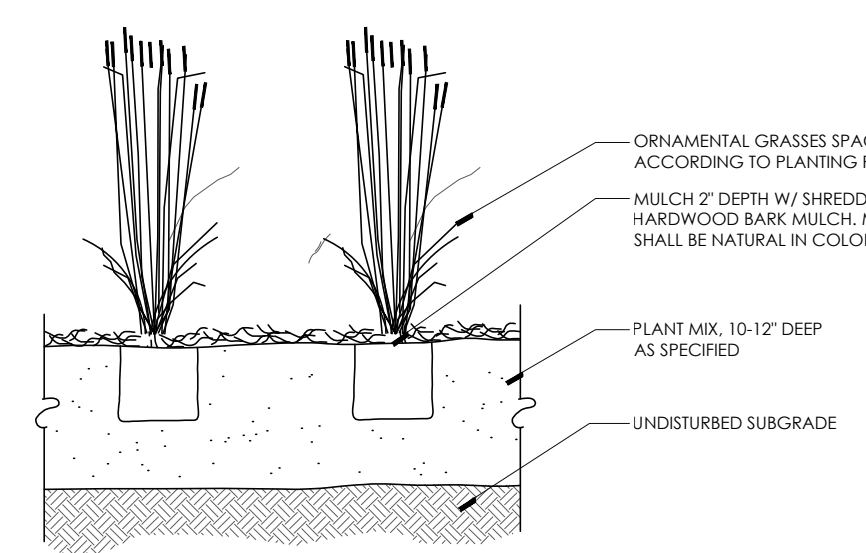
Contact:  
 Fabio Cervi  
 Tel: (737) 261-4300  
 Fax: (248) 388-7436

PROJECT LOCATION  
 Part of the W 1/4  
 of Section 27  
 T.1N., R.9E.  
 City of Farmington,  
 Oakland County, Michigan

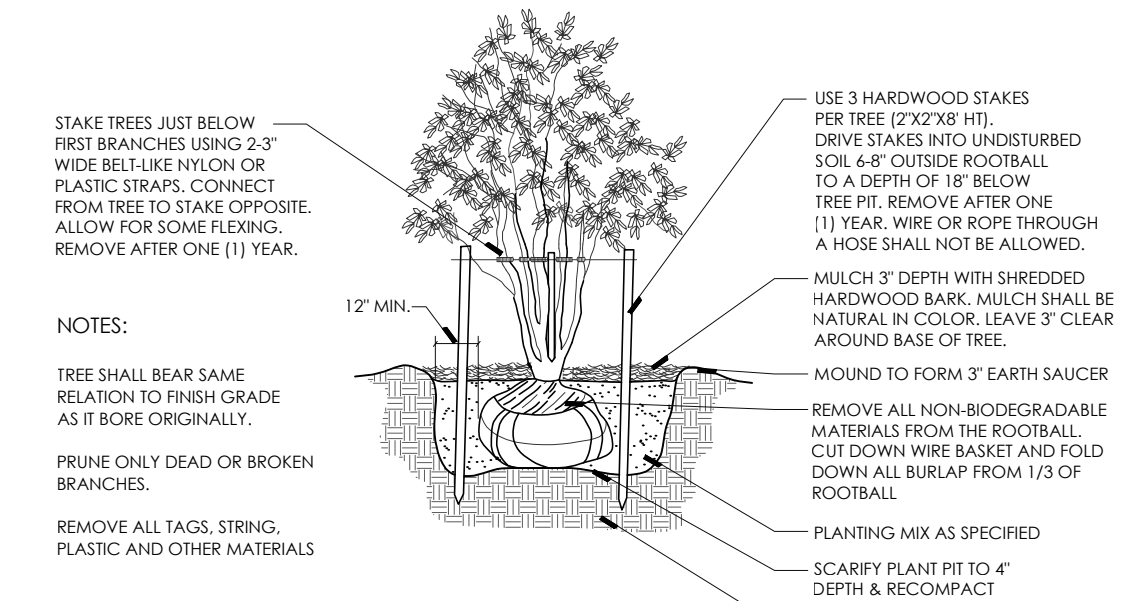
SHEET  
 Landscape Plan



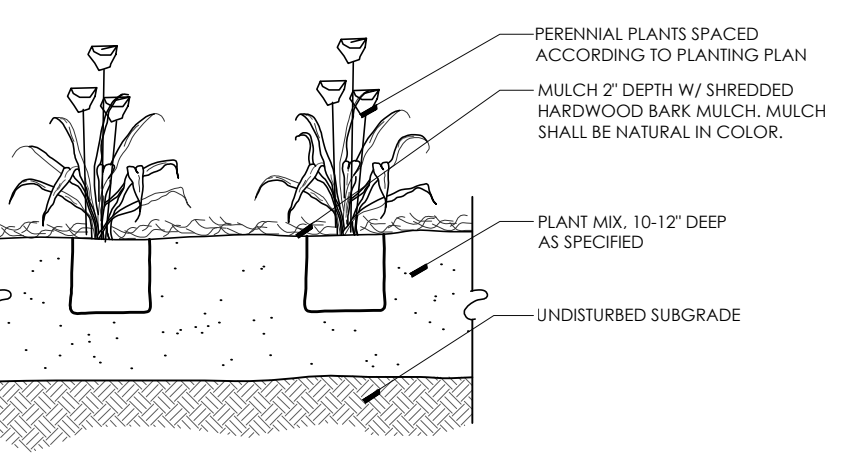
DECIDUOUS TREE PLANTING DETAIL N.T.S.



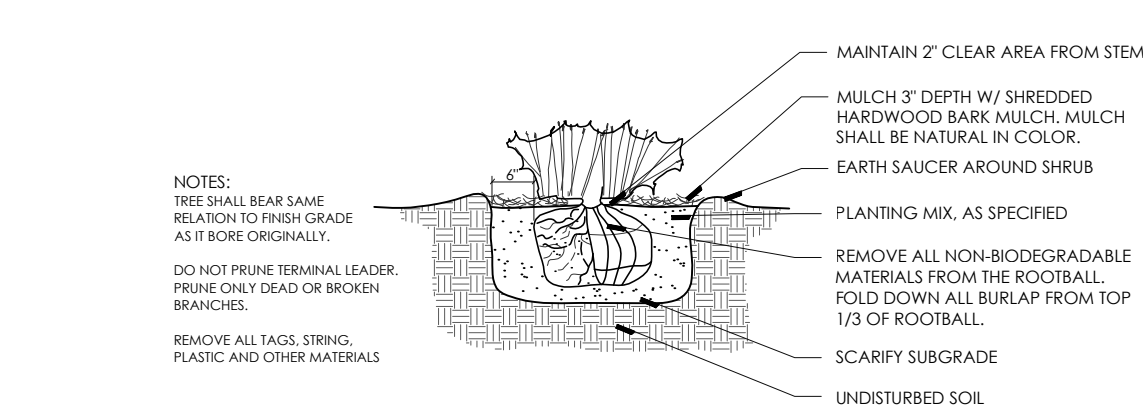
ORNAMENTAL GRASS PLANTING DETAIL N.T.S.



MULTI-STEM TREE PLANTING DETAIL N.T.S.



PERENNIAL PLANTING DETAIL N.T.S.



HEDGE PLANTING DETAIL N.T.S.

**SLOCUM DRIVE (60' WIDE)**

**LANDSCAPE MAINTENANCE SCHEDULE**

Task	MONTH	MONTH												
		JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC	
<b>CARE OF PLANTS</b>														
Monitoring														
Pruning (if needed)														
Deep watering														
Fertilization														
Cut back perennials & grasses														
Watering - as needed														
<b>PLANTING BEDS</b>														
Edging														
Watering - as needed														
Mulching														
Soil testing														
Leaf Removal (if needed)														
<b>PEST MANAGEMENT</b>														
Monitoring														
<b>LAWNS</b>														
Fertilize														
Seeding														
<b>WINTER CLEAN UP</b>														
Monitoring														
<b>SNOW REMOVAL PLAN</b>														

**GENERAL SEED NOTE:**  
 ALL LAWN AREAS DESIGNATED TO BE SEEDED, SHALL BE HYDRO-SEEDED WITH SPECIFIED BLENDS, AND STABILIZED WITH WOOD CELLULOSE FIBER MULCH (2,000 LBS PER ACRE), IN AREAS SUBJECT TO EROSION, SEEDED LAWN SHALL BE FURTHER STABILIZED WHERE NECESSARY WITH BIODEGRADABLE EROSION BLANKET AND STAKED UNTIL ESTABLISHED. ALL SEED SHALL BE APPLIED OVER A MINIMUM 3" PREPARED TOPSOIL, AND SHALL BE KEPT MOIST AND WATERED DAILY UNTIL ESTABLISHED.  
 SEEDING INSTALLATION SHALL OCCUR ONLY:  
 SPRING: APRIL 1 TO JUNE 1  
 FALL: AUGUST 15 TO OCTOBER 15

**GENERAL SOD NOTE:**  
 ALL LAWN AREAS DESIGNATED TO BE SODDED, SHALL BE SODDED WITH A BLENDED DURABLE BLUEGRASS SOD, TYPICALLY GROWN IN THE REGION. ALL TURF SHALL BE PLACED ON A MINIMUM 3" PREPARED TOPSOIL, AND WATERED DAILY UNTIL ESTABLISHMENT. IN AREAS SUBJECT TO EROSION, SODDED LAWN SHALL BE STABILIZED WHERE NECESSARY, AND LAID PERPENDICULAR TO SLOPES  
 SOD INSTALLATION SHALL OCCUR ONLY:  
 SPRING: APRIL 1 TO JUNE 1  
 FALL: AUGUST 15 TO OCTOBER 15

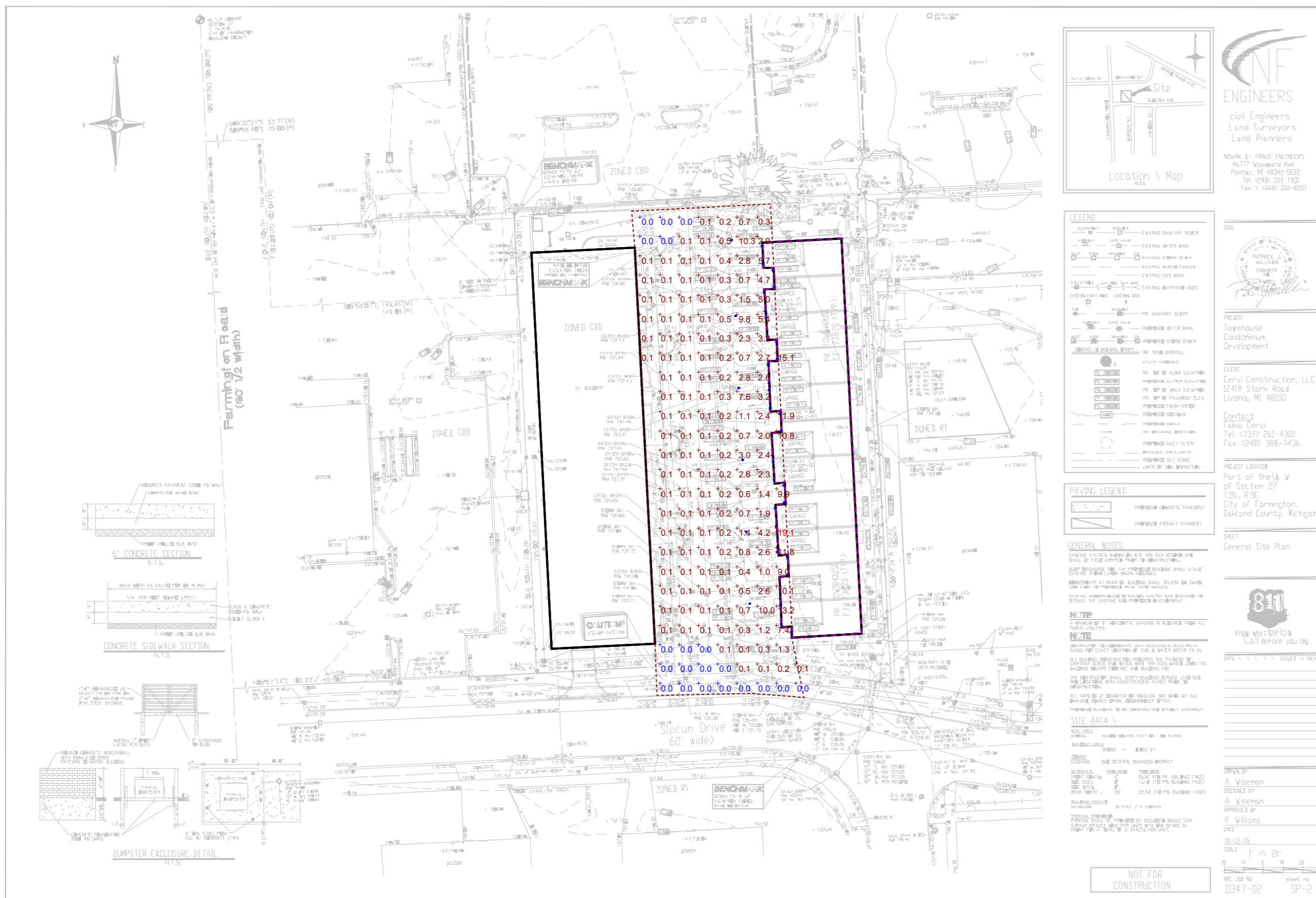


DATE ISSUED / REVISED

DRAWN BY:  
**G. Ostrowski**  
 DESIGNED BY:  
**G. Ostrowski**  
 APPROVED BY:  
**G. Ostrowski**  
 DATE:  
 07-23-15  
 SCALE:  
 1" = 20'

NFE JOB NO. SHEET NO.  
**D347-02 L1**





Plan View  
Scale - 1" = 50'

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Calc Zone #1	+	1.5 fc	19.1 fc	0.0 fc	N/A	N/A	0.1:1

**ENGINEERS**  
Civil Engineers  
Land Surveyors  
Land Planners

NEWARK, MI: FRAUD ENGINEERS  
4877 Woodford Ave  
Farmington, MI 48334-5022  
Tel: (248) 332-1933  
Fax: (248) 332-8257

**Location Map**

**LEGEND**

- EXISTING SANITARY SEWER
- EXISTING WATER MAIN
- EXISTING GAS MAIN
- EXISTING BURIED LINES
- PROPOSED SANITARY SEWER
- PROPOSED WATER MAIN
- PROPOSED GAS MAIN
- PROPOSED BURIED LINES
- PROPOSED CONCRETE PAVEMENT
- PROPOSED ASPHALT PAVEMENT

**PAVING LEGEND**

- PROPOSED CONCRETE PAVEMENT
- PROPOSED ASPHALT PAVEMENT

**GENERAL NOTES**

EXISTING UTILITIES SHOWN ON THIS PLAN ARE FOR INFORMATION ONLY. THE CLIENT SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**NOTICE**

A PORTION OF THIS PROJECT IS SUBJECT TO THE CITY OF FARMINGTON'S LED LIGHTING ORDINANCE. ALL LIGHTING FIXTURES SHALL BE LED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE ORDINANCE.

**NOTE**

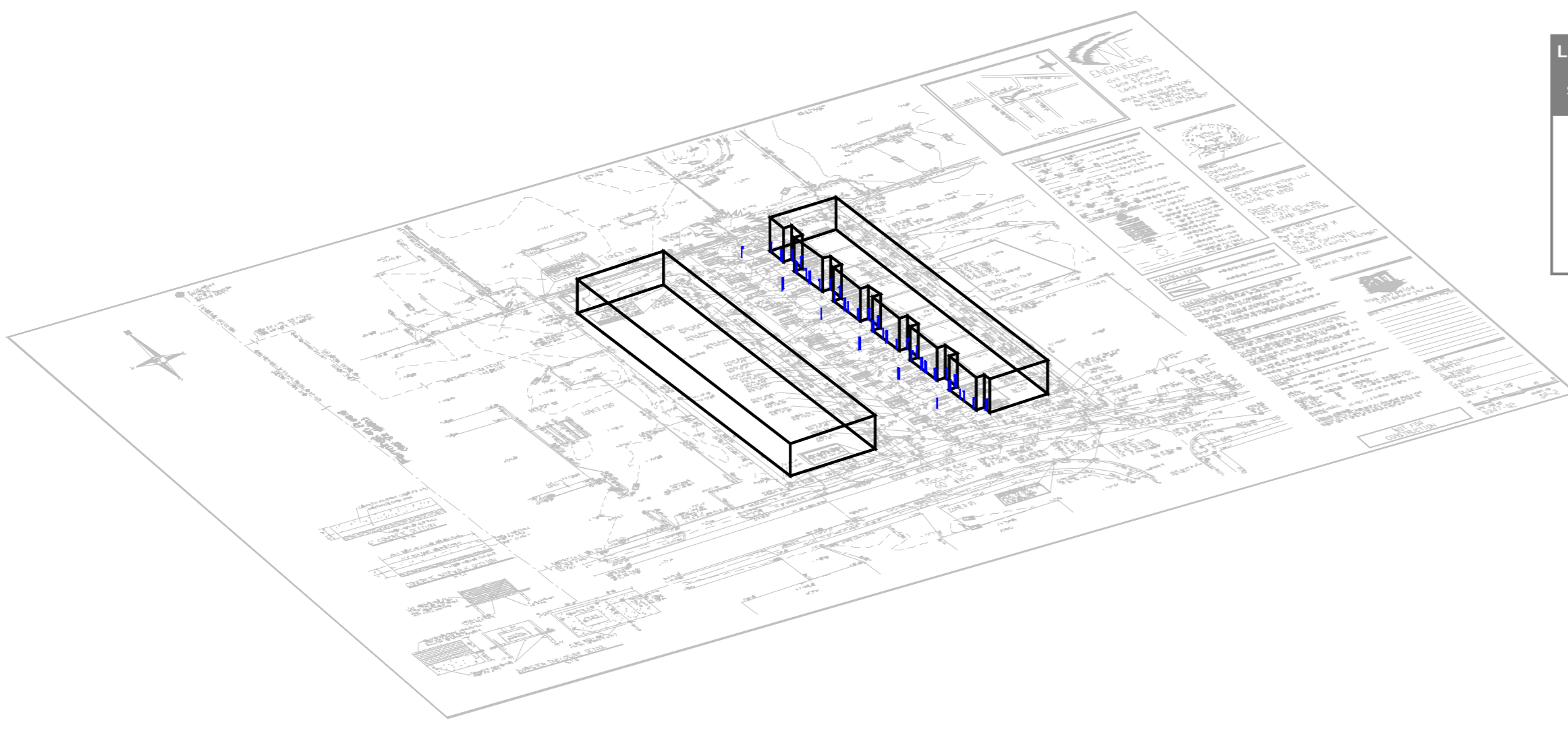
ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF FARMINGTON'S LED LIGHTING ORDINANCE. ALL LIGHTING FIXTURES SHALL BE LED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE ORDINANCE.

**SITE DATA**

PROJECT: Farmington Hills Project  
DATE: 10/12/15  
SCALE: 1" = 50'

**NOT FOR CONSTRUCTION**

Cervi Construction LLC  
Farmington Hills Project  
America's Green Line  
LED Photometrics



South West View

Symbol	Label	QTY	Catalog Number	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage
⊕	A	39	AGL-12MW	osram	1	1377.5	0.78	13.5

Max: 773cd



November 4, 2015

Planning Commission  
City of Farmington  
23600 Liberty Street  
Farmington, Michigan 48335

**Attention:** Mr. Kevin Christiansen, Economic and Community Development Director  
**Subject:** **Orchards Phase II PUD**  
**Location:** 33300 Slocum  
**Zoning:** CBD, Central Business District

Dear Mr. Christiansen:

At your request we have reviewed the final site plans for the proposed apartment building as the Orchard Phase II project in accordance with the 2004 PUD and 2010 PUD Amendment. The applicant is proposing to develop a “townhouse style” 11 unit building with individual garages and driveways. The City Council recently approved the PUD Concept Plan. Their approval mirrors the Planning Commission’s finding that this development meets PUD standards and that it could move forward with final site plan review and a PUD Development Agreement. This report provides the Planning Commission with our recommendations for final site plan approval. Our review is based on consistency with the PUD Concept Plan and conditions of approval, relevant text in the PUD Agreement, and the City’s Zoning Ordinance.

#### SITE PLAN REVIEW

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This site is zoned CBD, Central Business District, and surrounding properties are developed as residential neighborhoods, multi-unit condos, and commercial properties. The proposed site plan shows 11 proposed townhouses.

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1. **Parking Spaces.** The site plan provides 2 spaces per unit, meeting the requirements of the City of Farmington Zoning Ordinance and exceeding that of the original PUD requirements, though the PUD Agreement shows underground parking.
2. **Parking Setbacks.** The PUD Agreement was based on the proposed underground parking garage, this development will have individual driveways, though the southernmost driveway aligns with the southernmost parallel parking space in the Orchards I development, giving them essential the same parking setback.
3. **Driveway Access.** The site shows individual driveways to each of the proposed units. The PUD Agreement called for one driveway to an underground parking garage. The proposed driveways will all be accessed within the site.

4. **Walkway Connection.** During the Conceptual Plan Review it was pointed out that there needs to be an internal walkway along the street and a connection to the public sidewalk. Though more paved area cutting across the front of the driveways has been provided, it is not clearly defined as a walkway or sidewalk. The pavement appears to blend in with the driveway aprons. There is also no connection the existing public sidewalk.
4. **Waste Receptacles.** Dumpsters are shown at the rear of the site. A detail of the dumpster enclosure is provided with additional screening of evergreens adjacent to the properties to the north.
5. **Lighting.** There are light posts indicated on the drawings between the units, but no additional details are provided. During the Conceptual Plan review it was requested that decorative light posts be added along the street. Details of the proposed light posts should be supplied for review. There are also areas on the photometric plan that exceed the allowable foot candle levels per ordinance. More detail on light fixtures is needed.
6. **Landscaped Greenbelt.** The proposed plans show a total of 15 new trees, exceeding the 14 from the previously approved PUD. The new structure layout offer room for additional green space between driveways and a variety of shrubs, flowers and grasses are proposed for these areas.
7. **Landscaped Buffer.** There is an over 15' buffer between the R1, Single family residential, District south of Slocum. This setback is greater than the previously approved setbacks in the PUD, offering a larger buffer and transition zone to the less intense land uses.
9. **Mechanical Equipment.** The site plan does not show proposed mechanical equipment. Such equipment shall be screened either by landscaping (if ground mounted) or a parapet wall (if roof mounted).

## RECOMMENDATION

We recommend approval of the Final Site Plan for the Orchard Phase II Planned Unit Development proposed at 33300 Slocum Drive pending the following changes:

1. The walkway/ sidewalk should be better defined and redesigned to look like an "urban" sidewalk adding to the walkable downtown feel of the development. A connection should also be made to the existing public sidewalk on Slocum Drive.
2. Details of the added light posts between the units should be provided as well as all other light fixtures proposed for the site. Light intensity levels need to be modified for areas exceeding 10 foot candles within the site.

If you have any questions, please do not hesitate to contact me.

Sincerely,  
LSL PLANNING, INC.



Caitlin Malloy-Marcon  
Senior Planner

**Farmington City Council  
Staff Report**

**Council Meeting Date:**  
November 9, 2015

**Reference  
Number  
(ID # 2053)**

**Submitted by:** Kevin Christiansen, Economic Community Development Director

**Description:** Election of Officers - Chairperson, Vice Chairperson and Secretary

**Requested Action:**

Approve

**Background:**

The purpose of this item is to hold the annual election for Planning Commission Officers, including a Chairperson, Vice Chairperson and Secretary.

**Agenda Review**

**Review:**

Kevin Christiansen      Pending

City Manager      Pending

Planning Commission      Pending      11/09/2015 7:00 PM